



Mayor
ROB MEDINA
Deputy Mayor
DONNY FELIX
Councilmembers
KENNY JOHNSON
RANDY FOSTER
VACANT

AGENDA

Regular Council Meeting 2023-07 Thursday

**March 16, 2023 - 6:00 PM
Council Chambers, 120 Malabar Road SE, Palm Bay FL 32907**

CALL TO ORDER:

INVOCATION:

1. Pastor Jim Campbell - Bay West Church, Palm Bay.

PLEDGE OF ALLEGIANCE:

ROLL CALL:

ANNOUNCEMENTS:

1. One (1) vacancy on the Youth Advisory Board (represents 'at-large student member' position).++
2. One (1) vacancy on the Palm Bay City Council (represents 'Seat 5' position).++

AGENDA REVISIONS:

1. A presentation for the Palm Bay Strategic Plan has been provided for Item 1, under Presentations.
2. A presentation relating to the Comprehensive Plan has been provided for Item 2, under Public Hearings.
3. Item 11, under Consent Agenda, relating to the Treatment Plant Operator position, has been withdrawn.
4. Item 12, under Consent Agenda, relating to the Victims of Crime Act grant funds, has been updated to include the Legislative Memorandum, notice of availability, and draft application.

PROCLAMATIONS AND RECOGNITIONS:

1. Proclamation: Mayor's Business Spotlight Recipient - Drain Mechanics LLC.
2. Proclamation: Parliamentary Law Month - April 2023.

PRESENTATIONS:

1. Jacquelyn McCray, Baker Tilly Management Partners – Palm Bay Strategic Plan, Fiscal Years 2024-2028.
2. Valentino Perez, Chief Building Official – Building Department and Public Works Process Improvements.

PUBLIC COMMENTS/RESPONSES:

Public comments will be heard by the City Council on non-agenda issues. Speakers must complete 'Public Comment Cards' (orange) and are limited to three (3) minutes each.

PUBLIC HEARINGS:

1. Ordinance 2023-12, amending the Code of Ordinances, Chapter 185, Zoning Code, Subchapter 'General Provisions', by modifying provisions related to accessory dwelling units (Case T-16-2023, City of Palm Bay), final reading.
2. Ordinance 2023-13, amending the Transportation, Housing, Recreation and Open Space, Conservation, Intergovernmental Coordination, Coastal Management, Capital Improvements, Infrastructure and Private Property Rights Elements of the Comprehensive Plan of the City of Palm Bay (Case CP-6-2023, City of Palm Bay), first reading.
3. Ordinance 2023-10, amending the Code of Ordinances, Chapter 50, Elections, Subchapter 'Filling of Vacancies', by modifying provisions contained therein pursuant to the Palm Bay City Charter. (RECONSIDERED FOR FIRST READING UNDER NEW BUSINESS)

CONSENT AGENDA:

There will be no separate discussion on those items listed under Consent Agenda. They will be enacted by the City Council on one motion. If discussion is desired by the City Council, that item will be removed from the Consent Agenda by Council and will be considered in the order that it appears on the agenda.

1. Adoption of Minutes: Meeting 2023-03; February 2, 2023.
2. Award of Proposal: Citywide debt collection services – RFP 15-0-2023 – Utilities and Building Departments (R.T.R. Financial Services, Inc.).
3. Contract: Consultant engineering services agreement, Amendment 2 (Malabar Road widening PD&E pond site report) – Public Works Department (Kittelson & Associates - \$64,641).
4. Miscellaneous: 'Cooperative Purchase', Bauer Air Trailer (National Purchasing Partners contract) - Fire Rescue Department; consideration of Intergovernmental Agreement with NPP and initially utilizing General Fund Undesignated Fund Balance, then CDBG funding once formally approved (Compressed Air Supplies & EQMT - \$126,000).
5. Miscellaneous: Brush truck vehicle radios and air packs/bottles, Fire Stations 2, 3 and 5 - Fire Rescue Department; consideration of initially utilizing General Fund Undesignated Fund Balance, then CDBG funding once formally approved (\$119,000).
6. Miscellaneous: Polymer feed system, North Regional Wastewater Treatment Plant – Utilities Department (MKI Services, Inc. - \$27,500); and appropriation of funds from the Utilities Renewal and Replacement Undesignated Fund Balance.
7. Miscellaneous: Air conditioner replacement, South Regional Administration Building – Utilities Department (Competitive Air and Heat - \$26,000); and appropriation of funds from the Utilities Renewal and Replacement Undesignated Fund Balance.
8. Resolution 2023-08, authorizing the submission of a grant application to the Florida Inland

Navigation District (FIND) Waterway Assistance Program (WAP) for continued improvements to Castaways Point Park.

9. Consideration of adopting the Palm Bay Strategic Plan for Fiscal Years 2024-2028.
10. Consideration of the Bayfront Community Redevelopment Agency 2022 Annual Report.
11. Consideration of appropriating funds from the Utilities Operating Undesignated Fund Balance for an additional Treatment Plant Operator position at the South Regional Water Treatment Plant (\$30,191). (WITHDRAWN)
12. Consideration of submitting an application for Victims of Crime Act grant funds. (AGENDA REVISION)
13. Acknowledgement of the City's monthly financial report for January 2023 (Unaudited).
14. Acknowledgement of the March 2023 GO Road Bond Paving report update.

UNFINISHED AND OLD BUSINESS:

1. Appointment of one (1) member to the Planning and Zoning Board.

NEW BUSINESS:

1. Ordinance 2023-10, amending the Code of Ordinances, Chapter 50, Elections, Subchapter 'Filling of Vacancies', by modifying provisions contained therein pursuant to the Palm Bay City Charter, first reading.
2. Consideration of a revision to the co-sponsorship for the West Indian Caribbean Culture and Sports, Inc. for the Family Fun Days event to be held on the first Saturday of every month in 2023.

COMMITTEE AND COUNCIL REPORTS:

1. Committee/Council Reports

ADMINISTRATIVE AND LEGAL REPORTS:

PUBLIC COMMENTS/RESPONSES: Speakers are limited to 3 minutes.

ADJOURNMENT:

Councilmembers who are members of the Space Coast Transportation Planning Organization (TPO) may discuss TPO issues which may subsequently be addressed by the TPO.

If an individual decides to appeal any decision made by the City Council with respect to any matter considered at this meeting, a record of the proceedings will be required, and the individual will need to ensure that a verbatim transcript of the proceedings is made, which record includes the testimony and evidence upon which the appeal is based (FS 286.0105). Such person must provide a method for recording the proceedings verbatim.

In accordance with the Americans with Disabilities Act, persons needing special accommodations for this meeting shall, at least 48 hours prior to the meeting, contact the Office of the City Clerk at (321) 952-3414 or Florida Relay System at 711.

If you use assistive technology (such as a Braille reader, a screen reader, or TTY) and the format of any material on this website or documents contained therein interferes with your

ability to access information, please contact us. To enable us to respond in a manner most helpful to you, please indicate the nature of your accessibility problem, the preferred format in which to receive the material, the web address of the requested material, and your contact information. Users who need accessibility assistance can also contact us by phone through the Federal Information Relay Service at 1-800-877-8339 for TTY/Voice communication.

Pursuant to Council Policies and Procedures, members of the public wishing to use electronic media when addressing City Council must provide the electronic file to staff for screening no later than 2:00 P.M. on the day of the meeting; audio presentations must be submitted to the City Clerk at least twenty-four (24) hours prior to the meeting.

THIS MEETING IS BROADCAST LIVE ON THE CITY'S WEBSITE AND TELEVISED ON THE SPACE COAST GOVERNMENT TV CHANNEL.



LEGISLATIVE MEMORANDUM

DATE: 3/16/2023

RE: Jacquelyn McCray, Baker Tilly Management Partners – Palm Bay Strategic Plan, Fiscal Years 2024-2028.

ATTACHMENTS:

Description

Palm Bay Strategic Plan



City of Palm Bay

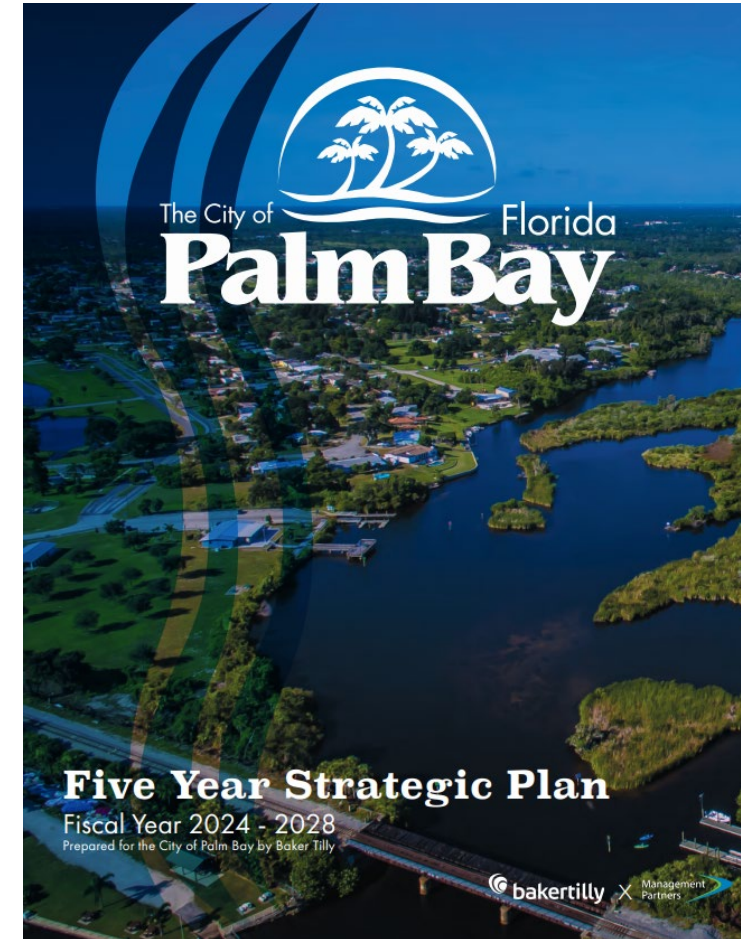
Review of Strategic Plan Elements

March 16, 2023

Jacquelyn McCray, PhD, Director

Methodology

- Conducted **individual interviews** with Mayor, each Council member, and City leadership team
- Administered **employee survey**
- Administered **community survey**
- Reviewed local and regional data and trends
- Held **City Council and staff Strategic Planning Workshop** on December 5, 2022



Five Overarching Priorities

Develop sustainable and innovative infrastructure

Grow the community in a well-balanced manner

Increase public safety for residents, businesses and visitors

Increase commercial and industrial growth

Improve community engagement and feedback



Vision, Mission, Organizational Values

Vision	<i>Palm Bay is a thriving community dedicated to economic prosperity, public safety, quality infrastructure, with a diverse culture and recreational amenities for all.</i>		
Mission	<i>Our mission is to provide quality services, promote economic growth and ensure a safe and secure environment for Palm Bay residents and the public.</i>		
Organizational Values	<i>Commitment</i> <i>Integrity</i>	<i>Transparency</i> <i>Trust</i>	<i>Service before Self</i>

Goal A: Develop Sustainable and Innovative Infrastructure

Strategies

1. Annually assess current and future infrastructure and technology needs and update the Capital Improvement Plan, as needed.
2. Create a plan to regularly evaluate current and future staffing and facilities needs for city departments.
3. Expand two-way fiber infrastructure among all city buildings.
4. Identify and implement innovative technologies and solutions to improve City service delivery and the overall resident experience using “smart city” strategies.

Goal B: Grow the Community in a Well-Balanced Manner

Strategies



1. **Update the City's Land Development Code to align with the adopted comprehensive plan.**
2. **Establish criteria to assess potential annexation opportunities.**
3. **Establish a phased approach to expand the wastewater collection system, provide for mandatory water connection, and assist households with funding as available (i.e., grants).**
4. **Identify available funding sources to expand utilities, transportation, stormwater, parks, and public safety infrastructure.**
5. **Prepare and maintain a master plan for maintenance, improvements and expansion of all infrastructure, including roads, stormwater, utilities, sidewalks, streetlights, parks, and public safety.**
6. **Implement placemaking and complete streets strategies that create a sense of place and promote equitable development.**

Goal C: Increase Public Safety for Residents, Businesses and Visitors

Strategies

1. Identify strategies to reduce emergency response times.
2. Prepare and maintain a master plan for maintenance, improvements and expansion of police and fire capital equipment, vehicles, and facilities.
3. Identify techniques to increase the number of interactions and engagement opportunities between residents and public safety staff.
4. Identify strategies to fund growth and expansion of the police and fire departments to meet the growing needs of the community.



Goal D: Increase Commercial and Industrial Growth

Strategies

1. Identify areas for commercial and industrial growth.
2. Identify incentives and inducements to attract new commercial and industrial development.
3. Craft a plan of action for marketing underdeveloped areas of the City, to include leveraging municipally owned parcels within the area known as “the compound.”
4. Establish a marketing campaign to leverage economic assets of the City and region to recruit new and diverse industry.

Goal E: Improve Community Engagement and Feedback

Strategies

1. Enhance communication with advisory boards in the decision-making process, by including regular progress updates to City Council.
2. Increase opportunities for public engagement by convening workshops and special meetings within various quadrants of the City, where possible.
3. Identify strategies to further communicate City news and information with primary target audiences, including homeowner associations, professional and business organizations, and other community groups.
4. Establish stronger relationships with media partners, locally and regionally, to communicate positive news and messaging about Palm Bay.





Thank you!

Jacquelyn McCray, PhD, Director
Jacquelyn.McCray@BakerTilly.com





LEGISLATIVE MEMORANDUM

DATE: 3/16/2023

RE: Valentino Perez, Chief Building Official – Building Department and Public Works Process Improvements.

ATTACHMENTS:

Description

Presentation



Building Department and Public Works Process Improvements



Plan Review Changes

One of the biggest plan review changes implemented was honoring the engineering plans being submitted by the Engineer of Record for drainage.

Instead of doing a full in-depth plan review, our team is now focused on Completeness Checks of the proposed plan for required compliance with adopted ordinances.

This has cut our review time per plan to about 5 minutes.



Office Changes

The Driveway/Drainage Team was moved to the Building Department, where they now work directly with the Building Department Team.

Contractors/Homeowners now have only one stop to make for their permitting of Single-Family Dwellings, New Driveways, New culverts, etc.

iMS Changes

We were able to make some adjustments to the iMS software to make processing permits more efficient.

We have put in place some better practices to assist the team to rely more on the iMS system.



Plan Review Backlog

Two weeks ago, Driveway/Drainage was backlogged with approximately 280 permits

As of, February 28th, Driveway/Drainage has only 20 permits in backlog – and we have had a meeting with that contractor to resolve the issue, which should be all approved within three weeks.

Plan Review Backlog cont'd

Prior to implemented changes plan reviews were backlogged to about October (4-5 months for a review) to now permits are being reviewed 24-48 hours after submittal.

Contractor Meetings

The Driveway and Drainage Team has met with several Engineers, Contractors, Surveyors, and Construction Permit Technicians to get suggestions, complaints, improvement ideas, and helping to educate contractors struggling through the process.

Summary

We have received phone calls and comments from several contractors about the ease of permitting now that both Public Works and the Building Department are in one office.

We have had several calls from contractors stating how quickly they are now receiving permits.

We will continue forward with positive changes and positive attitudes.





LEGISLATIVE MEMORANDUM

TO: Honorable Mayor and Members of the City Council

FROM: Suzanne Sherman, City Manager

THRU: Alexandra Bernard, Growth Management Director

DATE: 3/16/2023

RE: Ordinance 2023-12, amending the Code of Ordinances, Chapter 185, Zoning Code, Subchapter 'General Provisions', by modifying provisions related to accessory dwelling units (Case T-16-2023, City of Palm Bay), final reading.

A public hearing is to be held on the above subject ordinance and the caption read for the second and final time at tonight's Council meeting.

A textual amendment to the City of Palm Bay's Code of Ordinances, Title XVII, Land Development Code, Chapter 185: General Provision, Section 185.006 to add language on Accessory Dwelling Unit (ADU).

The key changes to the City's Code includes how accessory dwellings are classified for purpose of impact fees. Currently, ADUs are classified as multi-family; however, for purposes of rendering impact fees and actual impact to police, fire, transportation, and parks, staff proposes classifying ADUs as mobile home until such time that impact fees are studied, and classifications can include ADUs or similar construction/development.

REQUESTING DEPARTMENT:

Growth Management

FISCAL IMPACT:

There is no fiscal impact.

RECOMMENDATION:

Motion to approve an Ordinance providing for the textual amendment to the City of Palm Bay's Code of Ordinances, Title XVII, Land Development Code, Chapter 185: General Provision, Section 185.006 to add language on Accessory Dwelling Unit.

Planning and Zoning Board Recommendation:

Unanimous approval of textual amendment, Case T-16-2023.

ATTACHMENTS:**Description**

Case T-16-2023 - Staff Report

Case T-16-2023 - Application

Case T-16-2023 - Legal Ad

Case T-16-2023 -- Minutes

Ordinance 2023-12



STAFF REPORT

LAND DEVELOPMENT DIVISION

120 Malabar Road SE • Palm Bay, FL 32907 • Telephone: (321) 733-3042

landdevelopmentweb@palmbayflorida.org

Prepared by

Jesse Anderson, Assistant Director, Growth Management

CASE NUMBER

T-16-2023

PLANNING & ZONING BOARD HEARING DATE

February 1, 2023

APPLICANT

City of Palm Bay

PROPERTY LOCATION/ADDRESS

Not Applicable

SUMMARY OF REQUEST

A textual amendment to the City of Palm Bay's Code of Ordinances, Title XVII, Land Development Code, Chapter 185: General Provision, Section 185.006 to add language on Accessory Dwelling Unit.

Existing Land Use

Not Applicable

Site Improvements

Not Applicable

Site Acreage

Not Applicable

SURROUNDING ZONING & USE OF LAND

North

Not Applicable

East

Not Applicable

South

Not Applicable

West

Not Applicable

BACKGROUND:

A textual amendment to the City of Palm Bay's Code of Ordinances, Title XVII, Land Development Code, Chapter 185: Comprehensive Plan Regulations, Section 185.006 to add language to the definition of Accessory Dwelling Unit (ADU) The proposed Textual Amendment changes to the Land Development Code are provided below:

Proposed language for this amendment is attached in legislative style with additions between >>arrow<< symbols and deletions in ~~strikethrough~~ format.

SECTION PURPOSE AND INTENT:

The purpose and intent of this amendment is to establish a clear definition and intent to build Accessory Dwelling Units within the jurisdictional limits of the City. The added language will allow more clarity to the land use and zoning regulations regarding the Accessory Dwelling Unit application.

ANALYSIS:

The proposed textual amendment will codify language that enables the City to regulate the Accessory Dwelling Unit. The staff has drafted this amendment to allow for the change in verbiage as described above and textually written below to ensure compliance with the current Florida Statute.

STAFF FINDINGS:

Case T-16-2023 meets the minimum criteria for a textual amendment request.

TITLE XVII: LAND DEVELOPMENT CODE

Chapter 185: Zoning Code

§ 185.006 DEFINITIONS.

For the purpose of this chapter, the following definitions shall apply unless the context clearly indicates or requires a different meaning.

ACCESSORY DWELLING UNIT. A residential dwelling unit, but not a mobile home or recreational vehicle, located on the same lot or parcel of land as a single-family dwelling unit, with a separate, complete housekeeping unit including a separate kitchen, sleeping area, and full bathroom facilities. The unit may be attached to the single-family dwelling unit or detached in a free-standing structure. An accessory dwelling unit is not permitted as accessory to a two-family dwelling, multi-family dwelling, or mobile home dwelling.

(1) The unit shall be accessory to and on the same property as a single-family dwelling unit and may only be located on lots or parcels of land that meet the minimum lot size requirement of this >>any Single-Family Residential District (SF-1, RS-1, RS-2, and RS-3), Estate Residential District (RE), Rural Residential District (RR), or General Use Holding District (GU) where single-family dwellings are permitted<< zoning district.

(2) The unit shall be developed in conjunction with or after development of the principal dwelling unit and the owner of the property must reside within either the principal or the accessory dwelling unit.

(3) Not more than one (1) accessory dwelling unit Excluding converted (existing) garage accessory dwelling units, the per property is permitted.

(4) No accessory dwelling unit shall be sold separately from the principal dwelling unit. The accessory dwelling unit and the principal dwelling unit shall be located on a single lot or parcel, or on a combination of lots or parcels.

(5) The air-conditioned floor area of the accessory dwelling unit shall not exceed 50% of the air-conditioned floor area of the principal structure, or 800 square feet, whichever is less. The accessory dwelling unit shall be no less than 200 square feet of air-conditioned floor area.

(6) The unit shall meet the accessory structure setback and height provisions identified in §§ [185.118](#)(A) and (B).

(7) ~~Excluding converted (existing) garage accessory dwelling units, t~~The unit shall be designed so that the exterior façade material is similar in appearance (material and color) of the existing principal structure.

(8) A minimum of one (1), but not more than two (2) parking spaces shall be provided for the accessory dwelling unit, in addition to the spaces required for the principal dwelling unit.

(9) Construction of the accessory dwelling unit, in combination with all structures on the property, shall not cause the maximum lot coverage of ~~this~~ >>the<< zoning district to be exceeded.

(10) The accessory dwelling unit shall be serviced by centralized water and waste water or meet the health department's well and septic tank and drain field requirements. Modification, expansion or installation of well and/or septic tank facilities to serve the accessory dwelling unit shall be designed in a manner that does not render any adjacent vacant properties "unbuildable" for development when well and/or septic tank facilities would be required to service development on those adjacent properties.

(11) An accessory dwelling unit shall be treated as a ~~multi-family~~ >>mobile home<< unit for impact fees.



LAND DEVELOPMENT DIVISION

120 Malabar Road SE • Palm Bay, FL 32907 • Telephone: (321) 733-3042
Landdevelopment@palmbayflorida.org

CODE TEXTUAL AMENDMENT APPLICATION

This application must be deemed complete and legible, and must be returned by the first day of the month during division office hours, with all enclosures referred to herein, to the Land Development Division, Palm Bay, Florida, to be processed for consideration the following month at the earliest by the Planning and Zoning Board. The application will then be referred by the Planning and Zoning Board for study and recommendation to the City Council. You or your representative are required to attend the meeting(s) and will be notified by mail of the date and time of the meeting(s). The Planning and Zoning Board holds their regular meeting the first Wednesday of every month at 7:00 p.m. in the City Hall Council Chambers, 120 Malabar Road SE, Palm Bay, Florida, unless otherwise stated.

ORDINANCE SECTION(S) PROPOSED TO BE CHANGED:

Section 185.006

PROPOSED LANGUAGE (attach addendum if necessary):

See attached

JUSTIFICATION FOR PROPOSED CHANGE (attach other documents if necessary)

To update the regulations and fees associated with Accessory Dwelling Units.

CITY OF PALM BAY, FLORIDA
CODE TEXTUAL AMENDMENT APPLICATION
PAGE 2 OF 2

THE APPLICATION FEE MUST BE SUBMITTED WITH APPLICATION TO PROCESS THIS REQUEST:

☒ *\$1,500.00 Application Fee. Make Check payable to "City of Palm Bay."

I, the undersigned understand that this application must be complete and accurate before consideration by the Planning and Zoning Board/Local Planning Agency and certify that all the answers the questions in said application, and all data and matter attached to and made a part of said application are honest and true to the best of my knowledge and belief.

Under penalties of perjury, I declare that I have read the foregoing code textual amendment application and that the facts stated in it are true.

Signature of Applicant

Date

Printed Name of Applicant

Full Address

Telephone

Email

PERSON TO BE NOTIFIED (If different from above):

Printed Name

Full Address

Telephone

Email

*NOTE: APPLICATION FEE IS NON-REFUNDABLE UPON PAYMENT TO THE CITY

Gm

A Daily Publication By:



CITY OF PALM BAY
SUITE 201
120 MALABAR RD SE
PALM BAY, FL, 32907

STATE OF WISCONSIN COUNTY OF BROWN:
Before the undersigned authority personally appeared said legal clerk, who on oath says that he or she is a Legal Advertising Representative of the **FLORIDA TODAY**, a daily newspaper published in Brevard County, Florida that the attached copy of advertisement, being a Legal Ad in the matter of

Notice Public Hearing

as published in **FLORIDA TODAY** in the issue(s) dated:
or by publication on the newspaper's website, if authorized,
on

01/19/2023

Affiant further says that the said **FLORIDA TODAY** is a newspaper in said Brevard County, Florida and that the said newspaper has heretofore been continuously published in said Brevard County, Florida each day and has been entered as periodicals matter at the post office in **MELBOURNE** in said Brevard County, Florida, for a period of one year next preceding the first publication of the attached copy of advertisement; and affiant further says that he or she has never paid nor promised any person, firm or corporation any discount, rebate, commission or refund for the purpose of securing this advertisement for publication in the said newspaper.

Sworn to and Subscribed before me this 19th of January 2023, by legal clerk who is personally known to me

Affiant

Notary State of Wisconsin County of Brown
5.15.23

My commission expires

Publication Cost: \$97.52

Ad No: 0005561601

Customer No: BRE-6CI213

This is not an invoice

of Affidavits 1

Ad#5561601 01/19/2023
CITY OF PALM BAY, FLORIDA
NOTICE OF PUBLIC HEARING

Notice is hereby given that a public hearing will be held by the Planning and Zoning Board/Local Planning Agency on February 1, 2023, and by the City Council on March 7, 2023, both to be held at 6:00 p.m., in the City Hall Council Chambers, 120 Malabar Road SE, Palm Bay, Florida, for the purpose of considering the following case(s):

1. T-16-2023 - City of Palm Bay (Growth Management Department)

A Textual Amendment to the Code of Ordinances, Title XVIII, Land Development Code, Chapter 185: Zoning Code, Section 185.006, to amend Definitions for Accessory Dwelling Unit

2. CP-3-2023 - City of Palm Bay (Growth Management Department)

A comprehensive textual amendment to provisions of the City of Palm Bay Comprehensive Plan Future Land Use (FLU) Element

If an individual decides to appeal any decision made by the Planning and Zoning Board/Local Planning Agency or the City Council with respect to any matter considered at this meeting, a record of the proceedings will be required and the individual will need to ensure that a verbatim transcript of the proceedings is made, which record includes the testimony and evidence upon which the appeal is based (FS 286.0105). Such person must provide a method for recording the proceedings verbatim.

Please contact the Palm Bay Land Development Division at (321) 733-3041 should you have any questions regarding the referenced cases.

Chandra Powell
Planning Specialist

RECEIVED

JAN 24 2023

City of Palm Bay
Accounting Division

NANCY HEYRMAN
Notary Public
State of Wisconsin

CITY OF PALM BAY, FLORIDA

PLANNING AND ZONING BOARD/
LOCAL PLANNING AGENCY
REGULAR MEETING 2023-02

Held on Wednesday, February 1, 2023, in the City Hall Council Chambers, 120 Malabar Road SE, Palm Bay, Florida.

This meeting was properly noticed pursuant to law; the minutes are on file in the Land Development Division, Palm Bay, Florida. The minutes are not a verbatim transcript but a brief summary of the discussions and actions taken at this meeting.

Chairperson Leeta Jordan called the meeting to order at approximately 6:00 p.m.

Mr. Donald Boerema led the Pledge of Allegiance to the Flag.

ROLL CALL:

CHAIRPERSON:	Leeta Jordan	Present
VICE CHAIRPERSON:	Philip Weinberg	Present
MEMBER:	Donald Boerema	Present
MEMBER:	Robert Good	Present
MEMBER:	Randall Olszewski	Present
MEMBER:	Rainer Warner	Present
MEMBER:	VACANT	
NON-VOTING MEMBER:	David Karaffa	Present
	(School Board Appointee)	

CITY STAFF: Present were Ms. Alexandra Bernard, Growth Management Director; Mr. Jesse Anderson, Ph.D., Assistant Growth Management Director; Ms. Tania Ramos, Senior Planner; Ms. Uma Sarmistha, Senior Planner; Ms. Carol Gerundo, Planning Specialist; Ms. Chandra Powell, Recording Secretary; Mr. Rodney Edwards, Assistant City Attorney.

ADOPTION OF MINUTES:

1. Regular Planning and Zoning Board/Local Planning Agency Meeting 2023-01; January 4, 2023.

Motion to approve the minutes as presented.

2. **T-16-2023 - Accessory Dwelling Unit - City of Palm Bay, Florida (Growth Management Department) - A Textual Amendment to the Code of Ordinances, Title XVII, Land Development Code, Chapter 185: Zoning Code, Section 185.006, to amend the definition for Accessory Dwelling Unit**

Mr. Anderson presented the staff report for Case T-16-2023. Case T-16-2023 met the minimum criteria for a textual amendment request.

Mr. Olszewski wanted to know what led to the proposed amendment. Ms. Bernard stated that it was brought to staff's attention that an accessory dwelling unit had the same impact fees as a single-family home. Mr. Olszewski inquired whether accessory dwelling units could now be erected without impact fee charges. Mr. Anderson explained that the subject proposal was to allow accessory dwelling units to be built on single-family lots and charged the same impact fee as a mobile home, which was a lesser fee.

Mr. Warner asked if the accessory dwellings would be limited to certain areas. He commented on mothers-in-law and adult children residing in the units. Mr. Anderson stated that accessory dwellings were currently allowed in single-family residential zoning districts, which was not being changed. The intent was to help accessory dwelling units come to fruition to diversify the housing stock. No other regulations besides the associated impact fee was being amended; however, accessory dwelling units would be readdressed by staff in the near future.

Ms. Jordan noted that dwelling units were limited to 800 square feet regardless of lot size, and she wanted to know the impact of lowering the impact fees. Mr. Anderson stated that the square footage of accessory dwelling units and lot sizes would be revisited in the future, and he explained that the accessory dwelling unit's impact was substantially less than the impact of a single-family home. The mobile home impact fee was more acceptable, whereas the single-family impact fee appeared to be an overcharge.

Mr. Boerema commented on how property size regulated the size of an accessory dwelling unit because of setbacks. Mr. Anderson reiterated that code adjustments would be done to address larger properties that could accommodate larger accessory dwellings.

The floor was opened for public comments.

Mr. Bill Battin (resident at Ocean Spray Street SW) wanted to know whether accessory structures on a property would be included in the overall lot calculations to permit an accessory dwelling unit.

In response to the comments from the audience, Mr. Anderson clarified that accessory structures such as barns and tool sheds were a separate category and calculated separate from accessory dwelling units.

The floor was closed for public comments, and there was no correspondence in the file.

Motion to submit Case T-16-2023 to City Council for approval.

Motion by Mr. Olszewski, seconded by Mr. Weinberg. Motion carried with members voting as follows:

Aye: Jordan, Weinberg, Boerema, Good, Olszewski, Warner.

3. **CP-3-2023 - Comp Plan Future Land Use Element - A comprehensive textual amendment to provisions of the City of Palm Bay Comprehensive Plan Future Land Use (FLU) Element**

Ms. Bernard stated that staff was excited about the new Comprehensive Plan Future Land Use Element, and she introduced the consultant for the City, Mr. Chris Dougherty, Inspire Placemaking Collective. Mr. Dougherty, project manager, stated that the Future Land Use Element was the culmination of the Visioning Process that began in 2020 and 2021. He gave a PowerPoint presentation on the timeline and scope of the Comprehensive Plan Elements,

ORDINANCE 2023-12

AN ORDINANCE OF THE CITY OF PALM BAY, BREVARD COUNTY, FLORIDA, AMENDING THE CODE OF ORDINANCES, TITLE XVII, LAND DEVELOPMENT CODE, CHAPTER 185, ZONING CODE, SUBCHAPTER 'GENERAL PROVISIONS', BY MODIFYING PROVISIONS RELATED TO ACCESSORY DWELLING UNITS; PROVIDING FOR THE REPEAL OF ORDINANCES OR PARTS OF ORDINANCES IN CONFLICT HERewith; PROVIDING FOR INCLUSION IN THE CITY OF PALM BAY CODE OF ORDINANCE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

BE IT ENACTED BY THE CITY COUNCIL OF THE CITY OF PALM BAY, BREVARD COUNTY, FLORIDA, as follows:

SECTION 1. The City of Palm Bay Code of Ordinances, Title XVII, Land Development Code, Chapter 185, Zoning Code, Subchapter 'General Provisions', Section 185.006, Definitions, is hereby amended and shall henceforth read as follows:

"Section 185.006 DEFINITIONS.

For the purpose of this chapter, the following definitions shall apply unless the context clearly indicates or requires a different meaning.

ABROGATE. To abolish; repeal; or annul.

ACCESSORY DWELLING UNIT. A residential dwelling unit, but not a mobile home or recreational vehicle, located on the same lot or parcel of land as a single-family dwelling unit, with a separate, complete housekeeping unit including a separate kitchen, sleeping area, and full bathroom facilities. The unit may be attached to the single-family dwelling unit or detached in a free-standing structure. An accessory dwelling unit is not permitted as accessory to a two-family dwelling, multi-family dwelling, or mobile home dwelling.

(1) The unit shall be accessory to and on the same property as a single-family dwelling unit and may only be located on lots or parcels of land that meet the minimum lot size requirement of ~~this zoning district~~ >>any Single-Family Residential District (SF-1, RS-1, RS-2, and RS-3), Estate Residential District (RE), Rural Residential District (RR), or General Use Holding District (GU) where single-family dwellings are permitted<<.

* * *

(7) ~~Excluding converted (existing) garage accessory dwelling units, the~~ >>The<< unit shall be designed so that the exterior façade material is similar in appearance (material and color) of the existing principal structure.

(8) A minimum of one (1), but not more than two (2) parking spaces shall be provided for the accessory dwelling unit, in addition to the spaces required for the principal dwelling unit.

(9) Construction of the accessory dwelling unit, in combination with all structures on the property, shall not cause the maximum lot coverage of this >>the<< zoning district to be exceeded.

(10) The accessory dwelling unit shall be serviced by centralized water and waste water or meet the health department's well and septic tank and drain field requirements. Modification, expansion or installation of well and/or septic tank facilities to serve the accessory dwelling unit shall be designed in a manner that does not render any adjacent vacant properties "unbuildable" for development when well and/or septic tank facilities would be required to service development on those adjacent properties.

(11) An accessory dwelling unit shall be treated as a multi-family >>mobile home<< unit for impact fees."

SECTION 2. All ordinances or parts of ordinances in conflict herewith are hereby repealed and all ordinances or parts of ordinances not in conflict herewith are hereby continued in full force and effect.

SECTION 3. It is the intention of the City Council of the City of Palm Bay that the provisions of this Ordinance shall be made a part of the City of Palm Bay Code of Ordinances and the sections may be renumbered to accomplish such intention.

SECTION 4. If any portion, clause, phrase, sentence or classification of this ordinance is held or declared to be either unconstitutional, invalid, inapplicable, inoperative or void, then such declaration shall not be construed to affect other portions of the ordinance; it is hereby declared to be the express opinion of the City Council of the City of Palm Bay that any such unconstitutional, invalid, inapplicable, inoperative or void

portion or portions of this ordinance did not induce its passage, and that without the inclusion of any such portion or portions of this ordinance, the City Council would have enacted the valid constitutional portions thereof.

SECTION 5. The provisions within this ordinance shall take effect immediately upon the enactment date.

Read in title only at Meeting 2023- , held on , 2023; and read in title only and duly enacted at Meeting 2023- , held on , 2023.

Rob Medina, MAYOR

ATTEST:

Terese M. Jones, CITY CLERK

Reviewed by CAO: _____

Applicant: City of Palm Bay
Case: T-16-2023

Strikethrough words shall be deleted; highlighted words that will included will be placed in between two arrow symbols (>> <<). Deletions and additions constitute the proposed amendment. Words remaining are now in effect and remain unchanged.



LEGISLATIVE MEMORANDUM

TO: Honorable Mayor and Members of the City Council

FROM: Suzanne Sherman, City Manager

THRU: Alexandra Bernard, Growth Management Director

DATE: 3/16/2023

RE: Ordinance 2023-13, amending the Transportation, Housing, Recreation and Open Space, Conservation, Intergovernmental Coordination, Coastal Management, Capital Improvements, Infrastructure and Private Property Rights Elements of the Comprehensive Plan of the City of Palm Bay (Case CP-6-2023, City of Palm Bay), first reading.

As part of the City's update to its Comprehensive (Comp) Plan, the City competitively solicited services under RFP #64-0-2020/JG and contracted Inspire Placemaking Collective (formerly a part of S&ME, Inc.). The RFP included services for preparing and submitting on behalf of the City an updated Evaluation & Appraisal Report (EAR), visioning study, and Comp Plan Update. To date, the EAR and visioning study are complete. As part of the Comp Plan Update process, Inspire Placemaking Collective prepared and presented, for first reading, an amendment to the Future Land Use (FLU) Element of City's Comprehensive Plan at the March 2, 2023 Regular Council Meeting. As the final step in the Comp Plan rewrite, the remaining elements of the Comp Plan were presented to Planning & Zoning Board at the regular meeting on March 1, 2023, and are presented herein for City Council, first reading.

This amendment shall be adopted by City Council by Ordinance. Second reading of the ordinance will not occur until the City receives transmittal from the State of satisfactory review. Staff will schedule the second and final reading of the ordinance for a future Council meeting, based upon receipt from the State.

Attached are the proposed revised elements to the Comprehensive Plan, to include Transportation, Housing, Recreation and Open Space, Conservation, Intergovernmental Coordination, Coastal Management, Capital Improvements, Infrastructure, and Private Property Rights.

REQUESTING DEPARTMENT:

Growth Management

FISCAL IMPACT:

There is no fiscal impact.

RECOMMENDATION:

Motion to approve Ordinance, updating the Comprehensive Plan remaining elements, to include Transportation, Recreation and Open Space, Housing, Conservation, Intergovernmental Coordination, Coastal Management, Capital Improvements, Infrastructure, and Private Property Rights Elements (Case CP-6-2023, City of Palm

Bay), first reading.

Planning and Zoning Board Recommendation:

Planning and Zoning Board minutes are not fully transcribed at this time; the following is an excerpt:

Motion to submit Case CP-6-2023 to City Council for approval.

Motion by Mr. Weinberg, seconded by Mr. Olszewski. Motion carried with members voting as follows:

Aye: Jordan, Weinberg, Boerema, Good, Olszewski, Warner.

ATTACHMENTS:

Description

Case CP-6-2023 - Staff Report

Case CP-6-2023 - Palm Bay 2045 Comprehensive Plan Cover Page

Case CP-6-2023 - Future Land Use Element Data Analysis

Case CP-6-2023 - Proposed Future Land Use Element

Case CP-6-2023 - Transportation Element Data Analysis

Case CP-6-2023 - Proposed Transportation Element

Case CP-6-2023 - Proposed Housing Element

Case CP-6-2023 - Housing Element Data Analysis

Case CP-6-2023 - Coastal Management Element Data Analysis

Case CP-6-2023 - Recreation and Open Space Element Data Analysis

Case CP-6-2023 - Proposed Coastal Management Element

Case CP-6-2023 - Proposed Recreation and Open Space Element

Case CP-6-2023 - Conservation Element Data Analysis

Case CP-6-2023 - Infrastructure Element Data Analysis

Case CP-6-2023 - Proposed Conservation Element

Case CP-6-2023 - Proposed Infrastructure Element

Case CP-6-2023 - Intergovernmental Coordination Element Data Analysis

Case CP-6-2023 - Proposed Intergovernmental Coordination Element

Case CP-6-2023 - Capital Improvements Element Data Analysis

Case CP-6-2023 - Proposed Capital Improvements Element

Case CP-6-2023 - Proposed Property Rights Element

Case CP-6-2023 - Application

Case CP-6-2023 - Legal Ad

Ordinance 2023-13

Comp Plan presentation



STAFF REPORT

LAND DEVELOPMENT DIVISION

120 Malabar Road SE • Palm Bay, FL 32907 • Telephone: (321) 733-3042

landdevelopmentweb@palmbayflorida.org

Prepared by

Alexandra Bernard, Growth Management Director

CASE NUMBER

CP-6-2023

PLANNING & ZONING BOARD HEARING DATE

March 1, 2023

PROPERTY OWNER & APPLICANT

City of Palm Bay; Growth Management
Department

PROPERTY LOCATION/ADDRESS

Not Applicable

SUMMARY OF REQUEST

A Comprehensive Plan Amendment to nine elements in the City of Palm Bay's Comprehensive Plan (Comp. Plan) as required by Section 163.3177 of the Florida Statutes.

Existing Zoning

Not Applicable

Existing Land Use

Not Applicable

Site Improvements

Not Applicable

Site Acreage

Not Applicable

APPLICABILITY

Citywide

COMPREHENSIVE PLAN COMPATIBILITY

Not specifically addressed

BACKGROUND:

Section 163.3177 of the Florida Statutes requires that:

“The comprehensive plan shall provide the principles, guidelines, standards, and strategies for the orderly and balanced future economic, social, physical, environmental, and fiscal development of the area that reflects community commitments to implement the plan and its elements. These principles and strategies shall guide future decisions in a consistent manner and shall contain programs and activities to ensure comprehensive plans are implemented. The sections of the comprehensive plan containing the principles and strategies, generally provided as goals, objectives, and policies, shall describe how the local government’s programs, activities, and land development regulations will be initiated, modified, or continued to implement the comprehensive plan in a consistent manner. It is not the intent of this part to require the inclusion of implementing regulations in the comprehensive plan but rather to require identification of those programs, activities, and land development regulations that will be part of the strategy for implementing the comprehensive plan and the principles that describe how the programs, activities, and land development regulations will be carried out. The plan shall establish meaningful and predictable standards for the use and development of land and provide meaningful guidelines for the content of more detailed land development and use regulations.”

The process above describes exactly what is a comprehensive plan. In January 2021, the City hired the consulting firm S&ME (Inspire) to assist with the effort of overhauling the Comprehensive Plan. This began with the evaluation and appraisal process and then the visioning process and finally the rewrite of the Comprehensive Plan.

Attached you will find the proposed revised elements to the Comprehensive Plan, they include Transportation, Housing, Recreation and Open Space, Conservation, Intergovernmental Coordination, Coastal Management, Capital Improvements, Infrastructure and Private Property Rights.

These changes must be reviewed by Planning & Zoning, approved at a first reading by the City Council and then transmitted to the Department of Economic Opportunity (DEO).

ANALYSIS:

The following analysis is pursuant to Section 163.3191, Florida Statutes, which requires local governments to update the comprehensive plan at least once every seven years to ensure the plan reflects changes in state requirements and are encouraged to comprehensively evaluate and update comprehensive plans to reflect changes in local conditions. The City of Palm Bay

has not comprehensively evaluated and updated its comprehensive plan since 2000. Since that time the City has realized significant growth since the Comprehensive Plan was last fully updated. The explosive population growth and the desire to increase commercial and industrial uses within the City of Palm Bay was considered during the update of the comprehensive plan.

In response to considering LOS standards, the City has conducted a traffic study to identify street capacity (LOS), improvements and identify any reclassifications needed to update the LOS standards adopted in the comprehensive plan. Throughout 2021, a Visioning Study was led by INSPIRE, a consulting company contracted with the Growth Management Department related to the Comprehensive Plan Update, which utilized public workshops and web presence to elicit public participation in the planning process. Following the Visioning Study, the Growth Management department worked with INSPIRE to update the Comprehensive Plan throughout the remainder of 2022. The updating of the Comprehensive Plan is a guiding force for and sets up the next steps of updating the Land Development Code, which will be reflective of the new Comprehensive Plan.

Staff has worked in conjunction with city consultants, INSPIRE, to update the remaining elements of the Comprehensive Plan. These elements are as follows: Transportation, Recreation and Open Space, Conservation, Housing, Intergovernmental coordination, Coastal Management, Capital Improvement, Infrastructure, Private Property Rights. Throughout these elements, various key topics are highlighted that were identified through the Visioning Study and public input, such as establishing placemaking tendencies, advancing equity in land use and diversity, addressing housing affordability and attainability, creating a sustainable economy that provides jobs for a growing work force, and city investments into necessary infrastructure and capital improvements projects.

STAFF RECOMMENDATION:

Case CP-6-2023 is recommended for approval.

PALM BAY 2045

COMPREHENSIVE PLAN



01



FUTURE LAND USE

Table of Contents

1.0 INTRODUCTION	1
1.1 Historical context	1
1.2 Geographic Context	1
1.3 Demographic & Socioeconomic Context	2
1.4 Community Character	3
1.4.1 Suburban Living	3
1.4.2 Commuting Culture.....	3
2.0 LAND USE INVENTORY	6
2.1 Existing Land Use	6
2.2 Natural Resources	8
2.2.1 Waterbodies, Wetlands, & Floodplains	8
2.2.2 Soil Permeability	9
2.2.3 Aquifer Recharge.....	9
2.3 Historic & Cultural Resources	9
2.4 Public Facilities & Services	9
2.4.1 Water & Sewer	9
2.4.2 Airports	10
2.4.3 Railways.....	10
2.4.4 Prisons & Detention Centers.....	10
2.4.5 Military Installations	10
2.5 Community Redevelopment Area.....	10
3.0 LAND USE ANALYSIS	11
3.1 Projected Population	11
3.2 Future Land Use	12
3.2.1 City of Palm Bay Future Land Use Categories.....	14
3.2.2 Brevard County Future Land Use Categories	16
3.3 Holding Capacity	18
3.4 Prevention of Urban Sprawl.....	21
3.5 Considerations for Advancing Equity	21
3.5.1 Environmental Justice.....	21
3.5.2 Heritage Preservation	22
3.5.3 Community Engagement	22

List of Tables

Table FLU - 1: Demographic Comparison – City, County, & State.....	2
Table FLU - 2: Socioeconomic Comparison – City, County, & State	2
Table FLU - 3: Business & Employment Indicators Comparison – City, County, & State.....	4
Table FLU - 4: Number of Businesses per Industry Comparison – City, County, & State	4
Table FLU - 5: Number of Employees per Industry Comparison – City, County, & State	5
Table FLU - 6: Existing Land Use Composition	6
Table FLU - 7: City of Palm Bay Population Projections	12
Table FLU - 8: Future Land Use Map/Category Changes.....	13
Table FLU - 9: City of Palm Bay Future Land Use Categories	14
Table FLU - 10: City of Palm Bay Future Land Use Composition	18
Table FLU - 11: Carrying Capacity Analysis (Prior FLUM).....	19
Table FLU - 12: Carrying Capacity Analysis (Current FLUM)	20

List of Maps

Map FLU - 1: Regional Context	24
Map FLU - 2: Municipal Boundary	25
Map FLU - 3: Existing Land Use.....	26
Map FLU - 4: Wetlands	27
Map FLU - 5: Floodplains.....	28
Map FLU - 6: Soil Permeability	29
Map FLU - 7: Aquifer Recharge.....	30
Map FLU - 8: Historic & Cultural Resources.....	31
Map FLU - 9: Water Service Area.....	32
Map FLU - 10: Sanitary Sewer Service Area.....	33
Map FLU - 11: Future Land Use.....	34
Map FLU - 12: Special Planning Areas.....	35

1.0 INTRODUCTION

The Future Land Use Element (FLUE) is intended to determine the distribution, location, and intensity of uses necessary for accommodating the City's projected population growth, advance its economic interests, minimize impacts to the natural environment, and deliver high-quality public facilities and services. The Data & Analysis portion of this Element provides the basis for future land use decisions and policy changes made by the City. Topics related to land use explored as part of this analysis include demographics and socioeconomic conditions, community character, existing land use, natural resources, historic and cultural preservation, public facilities and services, population growth, future land use, urban sprawl, and considerations for equity.

1.1 HISTORICAL CONTEXT

At the mouth of Turkey Creek where it meets the Indian River, a small but charming settlement known as Tillman slowly began to take shape during the nineteenth century. However, the pace of growth quickly escalated by the arrival of the railroad in the late 1800s, which allowed local farming operations to export their goods to markets throughout the region. Tillman's growing agricultural economy attracted a wealth of new workers and their families to the area, resulting in a sharp rise in the community's population. Yet, this growth would soon slow once again as poor drainage practices at the time hurt the viability of the soil, which caused many local farms to shutter their operations—sharply diminishing the area's population by the early 1920's.

Nevertheless, those who remained in Tillman organized and sought to rebrand their community by renaming the town to Palm Bay, which more aptly reflected the area's local ecosystem and proximity to the water. By the time the City was officially incorporated in 1960, Palm Bay's population stood at approximately 2,800 residents. Around this time, exciting new commercial and industrial projects began to arise within and around Palm Bay—the most prolific of which was the John F. Kennedy Space Center (located in Merritt Island) which helped earn the region its nickname as Florida's Space Coast.

During this time, large-scale residential investments were being made in the area as well. In 1959, the area's leading developer, the General Development Corporation (GDC), purchased large tracts of land and quickly began developing single-family neighborhoods and homes throughout Palm Bay, which allowed the City's population to surge exponentially to 62,632 by 1990—rendering Palm Bay as Brevard County's most populous city. Over thirty years later, this distinction remains, as the City's population was estimated to be 127,256 in 2022—the overwhelming majority of which live in single-family neighborhoods.

Many challenges stemming from the City's quick rise in population continue to persist: the City lacks a defined downtown, the transportation network remains oriented overwhelmingly to the automobile, commercial and industrial development has not kept pace with residential growth, and the housing stock is predominately limited to single-family products. Yet, opportunities for bringing positive changes to Palm Bay have been identified as well, including the completion of the St. Johns Heritage Parkway interchange, the continued progress of several large-scale development projects, and the creation of a new community-driven vision plan for the City. This 2045 Comprehensive Plan addresses the ongoing and emerging topics by establishing a renewed set of Goals, Objectives, and Policies backed by well-informed data and analyses.

1.2 GEOGRAPHIC CONTEXT

Located in Central Florida and spanning a total of 86 square miles, the City of Palm Bay can be found in the southeastern quadrant of Brevard County. The City is surrounded by the Three Forks Conservation Area to the west, Melbourne & West Melbourne to the north, the Indian River Lagoon to the east, and the Indian River County boundary to the south. The community is intersected by two of Florida's most heavily-traveled roadways—I-95

(which splits the City vertically) and US Highway 1, which is located along Palm Bay's eastern boundary. **Map FLUE-1** provides a regional snapshot of the City of Palm Bay, while **Map FLUE-2** provides a more detailed look at the current City limits.

1.3 DEMOGRAPHIC & SOCIOECONOMIC CONTEXT

According to the latest decennial Census, the City of Palm Bay possessed a permanent population of 119,760 in 2020 and is estimated to have grown to 127,256 residents as of June 2022. One method of understanding the lifestyles and rich character of Palm Bay's population is to conduct a profile and analysis of its current demographic (age, sex, and race/ethnicity) and socioeconomic (income, occupation, and education) composition. These findings can then be compared to Brevard County and the State of Florida as a whole to better understand the challenges and opportunities which may be unique to Palm Bay. This comparison is shown in **Tables FLUE-1 & FLUE-2**.

Table FLU - 1: Demographic Comparison – City, County, & State

	City of Palm Bay	Brevard County	State of Florida
Total Population	127,256 ¹	619,038	22,114,754
Total Households ²	40,918	262,376	8,760,977
Average Household Size ³	3.11	2.36	2.52
Median Age	41	48	43
Female Population (%)	52	51	51
Male Population (%)	48	49	49
Senior Population (%)	20	26	22
Race/Ethnicity			
White Alone (%)	60.2	73.1	56.7
Black Alone (%)	17.8	9.7	14.9
American Indian Alone (%)	0.4	0.4	0.4
Asian Alone (%)	2.0	2.7	3.0
Pacific Islander Alone (%)	0.1	0.1	0.1
Some Other Race Alone (%)	6.0	3.5	7.5
Two or More Races (%)	13.5	10.6	17.4
Hispanic Origin (%)	18.2	11.6	27.1
Diversity Index	71	56	77
¹ According to June 2022 electric water meter counts for residential developments within the City. ² Determine by dividing Total Population (Row 2) by Average Household Size (Row 4) ³ Determined by dividing the City's 2020 Census population (119,760) by Palm Bay's estimated number of occupied housing units in 2020 (38,486) according to the Shimberg Center's Florida Housing Data Clearinghouse (FHDC) at the University of Florida			

Sources: City of Palm Bay, ESRI Business Analyst Online, 2022.

Table FLU - 2: Socioeconomic Comparison – City, County, & State

	City of Palm Bay	Brevard County	State of Florida
Median Household Income	\$55,542	\$64,216	\$65,438
Persons in Poverty (%)	13.4	9.9	13.1
Median Home Value	\$214,832	\$272,299	\$285,477
Owner Occupied Housing Units (%)	76.8	76.7	66.1
Renter Occupied Housing Units (%)	23.2	23.3	33.9
Employed Population (%)	95.8	95.9	96.1

	City of Palm Bay	Brevard County	State of Florida
Unemployed Population (%)	4.2	4.1	3.9
High School Graduate or Higher (%)	88.4	93.4	88.5
Bachelor's Degree or Higher (%)	19.6	30.9	20.5

Sources: American Community Survey, 2020; City of Palm Bay, ESRI Business Analyst Online, 2022.

Highlights from the demographic and socioeconomic data available for the City of Palm Bay reveal several important characteristics about the community, particularly when compared at the County and State level. In terms of demographic makeup, Palm Bay residents generally live in larger households and are younger than their comparatives. Socioeconomically, households in Palm Bay generally make less money and are likelier to own less expensive homes than those living in other portions of the County and State. When taken as whole, this information indicates that Palm Bay is a family-oriented community rich with growing, working-class households.

1.4 COMMUNITY CHARACTER

Much of Palm Bay's character today can be traced back to the rapid development led by the GDC in the latter half of the 20th century. Like many other GDC-developed communities, including Port Charlotte, North Port, and Port St. Lucie, extremely large tracts of agricultural and natural lands were purchased and divided into thousands of single-family lots that were often sold to northern retirees with disposable income. As a result, many of these developments eventually grew into sprawling bedroom communities—often lacking the critical components of typical cities, including downtowns, commercial and industrial employment centers, and multifamily housing options. However, the City of Palm Bay remains steadfast in its attempts to correct planning mistakes of the past. Although this section attempts to describe Palm Bay's community character today, it is highly likely these descriptors will no longer be appropriate as the City continues to evolve in the decades ahead.

1.4.1 Suburban Living

Residential neighborhoods in Palm Bay consist primarily of single-family residences built between 1950 and 2009. These neighborhoods are scattered throughout the City, accounting for the primary use of land within the jurisdiction. The vast majority of these neighborhoods feature suburban roadway networks with poor internal and external connectivity. This type of roadway network often isolates residents in their neighborhoods and creates barriers to simplified, connected, and streamlined travel—particularly to pedestrians and cyclists. Additionally, many neighborhoods within the City are currently not served by the City's centralized water and sewer system and thus rely on private wells and septic tanks.

Although single-family homeownership continues to be aspiration for many American families, national changes in lifestyle preferences and economic circumstances have created a significant market for more urbanized living, where residents can live, work, play, and grow all within a walkable setting. Higher-density housing products, particularly those within a walkable distance to public and private goods and services are nearly nonexistent within Palm Bay. By diversifying the local housing stock, the City will be more likely to attract families from a wider range of backgrounds, income levels, and lifestyles.

1.4.2 Commuting Culture

One of the consequences of the General Development Corporation's influence on the City's rapid population growth was its lack of vision for establishing strong commercial and industrial centers. As detailed later in the Existing Land Use section of this report, less than 15% of the City's total land area is currently utilized for commercial and industrial development. Their absence from the community often forces its large residential population to travel to other communities (such as the neighboring Cities of Melbourne and Titusville) to meet

their needs for goods, services, and employment. This phenomenon is further evidenced by the employment figures in **Table FLUE-3**.

Table FLU - 3: Business & Employment Indicators Comparison – City, County, & State

	City of Palm Bay	City of Melbourne	City of Titusville
Total Population	127,256	85,993	48,685
Employed Civilian Population – Age 16+ ¹	61,865 (48.6%)	42,507 (49.4%)	22,114 (45.4%)
Total Daytime Population ²	92,451 (-34,805) ³	109,405 (+23,412) ³	52,168 (+3,483) ³
Total Number of Businesses	2,912	5,717	2,616
Total Number of Employees	20,952	56,329	21,274
Average Number of Employees Per Business ⁴	7.2	9.9	8.1
Jobs/Employed Population Ratio ⁵	0.34	1.33	0.96
¹ Includes those who are non-military employees or are self-employed, including those who work 15 hours or more for a family business (paid or unpaid) or those who are temporarily absent from work due to illness, vacation, or other personal reasons. ² Includes workers (civilian, non-military employed at work, and armed forces personnel ages 16+) and residents (population age 0-15, unemployed adults, those not in the labor force, and employed civilians who are not working temporarily due to illness, vacation, etc.). ³ Total Daytime Population minus Total Population ⁴ Total Number of Businesses divided by the Total Number of Employees ⁵ Total Number of Employees divided by the Employed Civilian Population – Age 16+			

Sources: City of Palm Bay, ESRI Business Analyst Online, 2022.

Despite sharing a similar proportion of employed working age residents between the three cities, Palm Bay has a significantly lower proportion of businesses and jobs compared to the City's total population. This relative lack of employment opportunities often results in a commuting culture, where residents typically spend their days [and often their money] in communities other than their own. This appears to be the case for the City of Palm Bay which, unlike the Cities of Melbourne and Titusville, has a significant reduction in its total daytime population. Considering that many Americans desire to have shorter commutes to work, the relative lack of jobs in the city limits may result in many prospective residents choosing to move to neighboring communities rather than Palm Bay.

Although the volume of businesses and jobs is important to the economic viability of a community, identifying the types of industries found within each City is critical to understanding where Palm Bay may be struggling to compete with its largest neighbors. An industry breakdown (organized into the Standard Industrial Classification (SIC) system) for Palm Bay, Melbourne, and Titusville is shown in the following tables. **Table FLUE-4** shows the total number of businesses comprising each industry, while **Table FLUE-5** identifies the total number of persons employed by industry.

Table FLU - 4: Number of Businesses per Industry Comparison – City, County, & State

	City of Palm Bay		City of Melbourne		City of Titusville	
Industry (by SIC Code)	#	%	#	%	#	%
Agriculture & Mining	98	3.4	113	2.0	39	1.8
Construction	316	10.9	420	7.3	132	6.1
Manufacturing	66	2.3	145	2.5	58	2.7
Transportation	73	2.5	115	2.0	57	2.6
Communication	23	0.8	57	1.0	17	0.8

	City of Palm Bay		City of Melbourne		City of Titusville	
Utility	7	0.2	17	0.3	2	0.1
Wholesale Trade	71	2.4	139	2.4	44	2.0
Retail Trade	568	19.5	1,100	19.2	486	22.4
Finance, Insurance, & Real Estate	226	7.8	559	9.8	193	8.9
Services ¹	1,031	35.4	2,289	40.0	883	40.8
Government	67	2.3	94	1.6	69	3.2
Unclassified ²	367	12.6	669	11.7	186	8.6
Total	2,913	100.0	5,717	100.0	2,166	100.0

¹Services includes the following SIC Code categories: Hotels & Lodging, Automotive Services, Motion Pictures & Amusements, Health Services, Legal Services, Education Institutions & Libraries, & Other Services.
²Unclassified refer to businesses which did not report an SIC code.

Source: ESRI Business Analyst Online, 2022.

Table FLU - 5: Number of Employees per Industry Comparison – City, County, & State

	City of Palm Bay		City of Melbourne		City of Titusville	
Industry (by SIC Code)	#	%	#	%	#	%
Agriculture & Mining	306	1.5	531	0.9	226	1.1
Construction	1,455	6.9	2,311	4.1	818	3.8
Manufacturing	770	3.7	2,085	3.7	532	2.5
Transportation	371	1.8	1,467	2.6	370	1.7
Communication	95	0.5	497	0.9	211	1.0
Utility	24	0.1	83	0.1	3	0.0
Wholesale Trade	468	2.2	2,634	4.7	361	1.7
Retail Trade	6,360	30.4	12,259	21.8	5,079	23.9
Finance, Insurance, & Real Estate	1,110	5.3	3,515	6.2	969	4.6
Services ¹	7,767	37.1	28,348	50.3	8,639	40.6
Government	2,131	10.2	1,765	3.1	3,927	18.5
Unclassified ²	95	0.5	834	1.5	139	0.7
Total	20,952	100.0	56,329	100.0	21,274	100.0

¹Services includes the following SIC Code categories: Hotels & Lodging, Automotive Services, Motion Pictures & Amusements, Health Services, Legal Services, Education Institutions & Libraries, & Other Services.
²Unclassified refer to businesses which did not report an SIC code.

Source: ESRI Business Analyst Online, 2022.

Despite its larger population, the City of Palm Bay has a lower volume of businesses than both Melbourne and Titusville. Yet, as shown in **Table FLUE-4**, the composition of each city's industry share is relatively similar. Services comprises the largest percentage of each city's total volume of businesses, with retail trade coming in second.

Table FLUE-5 reveals starker contrasts between the three local economies. Unlike business volume, where the City of Palm Bay possesses more total private enterprises than Titusville, Palm Bay currently maintains less employment opportunities than both Melbourne and Titusville. In fact, Melbourne (which possesses 32% less population than Palm Bay), more than doubles the job opportunities found in Palm Bay. Additionally, Palm Bay's proportion of Service jobs (much of which is comprised of highly skilled and well-paid sectors like health and legal services) is lower than both of its neighbors. Alternatively, Palm Bay has a larger proportion of Retail Trade jobs than its comparatives, which often relies on unskilled labor and offers lower wages.

To continue to attract new residential and nonresidential investment into the City, Palm Bay must seek to render itself more competitive with its neighboring cities by seeking to increase the total number of businesses and jobs available within its community. As explored throughout this Element, a critical step in achieving this goal necessitates a frequent evaluation, monitoring, and revising (as necessary) of its land use policies regarding new commercial and industrial development opportunities.

2.0 LAND USE INVENTORY

2.1 EXISTING LAND USE

Using Department of Revenue (DOR) use codes included in the Brevard County Property Appraiser tax parcel shapefile, **Map FLUE-3** summarizes the existing land uses and development pattern found within the City, while **Table FLUE-6** reveals the acreage comprised by each land use category.

Table FLU - 6: Existing Land Use Composition

Existing Land Use	Acres	Percentage of Total
Low Density Residential	13,158	28.1%
Agricultural	5,475	11.7%
Public/Institutional	2,056	4.4%
Industrial	1,141	2.4%
Commercial	942	2.0%
Recreational	893	1.9%
Moderate Density Residential	568	1.2%
High Density Residential	301	0.6%
Office/Professional	221	0.5%
Right-of-Way/Utilities	123	0.3%
<i>Total Developed Area</i>	<i>24,878</i>	<i>53.1%</i>
<i>Total Undeveloped Area (Vacant)</i>	<i>22,001</i>	<i>46.9%</i>
Total Area	46,879	100%

Sources: Brevard County Property Appraiser, S&ME, 2022.

Of the nearly 47,000 acres of land included within Palm Bay's current municipal limits, only 53.1% (24,878.1 acres) is considered to be developed. By a significant margin, the largest existing land use within the City is *low density residential*, which occupies more than 28% of the City's total land area at 13,158 acres. The only remaining land use category comprising more than five percent of Palm Bay's total acreage is *agricultural* at 11.7% (5,475.4 acres). A brief description of each existing land use category (along with their typical uses and general location) within the City is provided as follows.

Low Density Residential

The low-density residential land use category includes low density housing accommodations such as single-family detached dwellings and mobile home units. This type of residential development comprises the vast majority of the City's housing stock and can be found throughout the City.

Agricultural

This designation represents areas used for agricultural activities and rural residential development located on the fringes of the urban areas. Uses found in the agriculture areas may include vegetable farms, livestock ranches, fruit groves, plant nurseries and silviculture activities, as well as kennels, farm equipment storage and sales, and other

more intensive uses. As shown on the Existing Land Use Map, agricultural land uses are primarily located within the southern area of the City.

Public/Institutional

Public/Institutional uses consist of public, semi-public and private not-for-profit uses, such as civic and community centers, hospitals, libraries, police and fire stations, and government administration buildings. This category also includes churches, social service facilities, cemeteries, nursing homes, emergency shelters, and other similar uses. Educational facilities, such as public or private schools (primary or secondary), vocational and technical schools, and colleges and universities, are also included in this category. This land use is located throughout the City.

Industrial

Industrial uses typically include warehousing, wholesaling/distribution, heavy equipment repair, assembly, processing, motor vehicle impoundment facilities, construction offices, and outdoor storage. This use is located primarily in the northeastern area of the City (near the Indian River) and in the southwestern area of the community.

Commercial

The commercial land use category consists of a variety of restaurant and retail uses including, but not limited to, fast-food establishments, clothing stores, automobile service facilities, and more. The Existing Land Use Map shows that commercial land is primarily located along the City's major corridors, such as I-95, Palm Bay Road, US Highway 1, and Malabar Road.

Recreation

Lands designated as Recreational on the Existing Land Use Map include parks, open spaces, and public or private golf courses. Recreational uses are located throughout Palm Bay, with the largest being Fred Poppe Regional Park, Turkey Creek Sanctuary Park, and The Majors Golf Course.

Moderate Density Residential

The medium density residential land use category includes attached medium density housing accommodations such as duplexes, triplexes, and quadruplexes. This land use category is predominately located in the northeastern area of the City.

High Density Residential

This land use category describes residential structures within the City capable of accommodating a large number of dwellings and frequently takes the form of multi-story apartments or condominiums. This use can be found in the northeastern portion of the City along San Filippo Drive, Malabar Road, Port Malabar Boulevard, Palm Bay Road, and US Highway 1.

Office/Professional

This land use category describes lands within the City that contain professional offices, such as medical complexes, office buildings, executive suites, and some condominiums which are used for office space. This category is similar to Commercial in that it is often near major roadway corridors and is generally separated from low density residential areas.

Right-of-Way/Utilities

This land use category contains infrastructure designed to accommodate the City's inventory of residential and nonresidential uses, including utility boxes, railroads, stormwater retention facilities, and some roadway corridors.

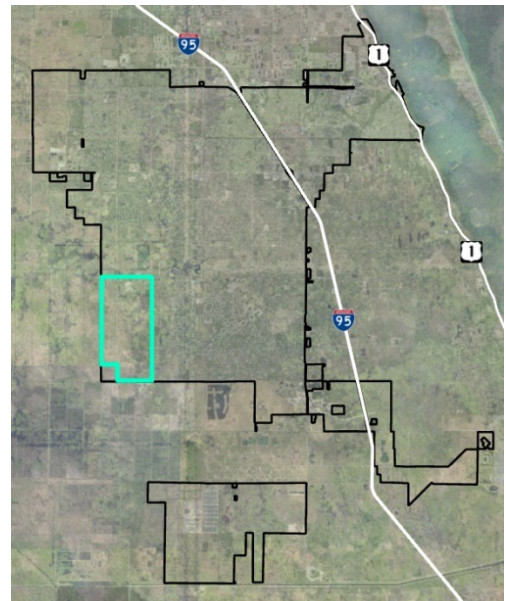
The designation is scattered throughout the City with heavier concentrations in the northeast and along Malabar Road.

Undeveloped Lands (Vacant)

Over 22,000 acres within Palm Bay remains vacant, which includes parcels that are either currently undeveloped or unimproved. This may include lots in subdivisions that have already been platted, but are not developed, as well as lands that currently have no active buildings. As shown in **Map FLUE-3**, vacant lands are found throughout Palm Bay, but are primarily located in the western areas of the City, as well as recently annexed areas in the southern portion of the community.

Nearly 3,000 acres of the Palm Bay's inventory of vacant lands are located within the southwest portion of the City in an area known as The Compound (pictured to the right in **Figure FLUE-1**). Like much of Palm Bay, this area was originally purchased and subdivided by the GDC. However, shortly after constructing much of the area's internal road network, the Corporation went bankrupt and failed to develop the area's remaining infrastructure system, including water, sewer, and electricity. Today, the majority of The Compound remains vacant and unkempt. Additionally, near-term development of the area isn't likely, as a significant portion of the area's subdivided lots are owned by different individuals and organizations who do not currently reside in Palm Bay.

Figure FLU - 1: The Compound



2.2 NATURAL RESOURCES

The City of Palm Bay is rich with a wide variety of natural resources. The protection and maintenance of these natural amenities not only serve to elevate the quality of life for Palm Bay's residents and visitors alike, but also help preserve and enhance Florida's native ecosystem as whole. An inventory and analysis of these resources are presented below.

2.2.1 Waterbodies, Wetlands, & Floodplains

The largest body of water within the City of Palm Bay is the Indian River, which is located in the northeastern portion of the City. The Indian River is a brackish lagoon that runs for 121 miles along the coast of Florida and makes up part of the intracoastal waterway. This lagoon also feeds into Turkey Creek, which is one of the City's most prominent bodies of water and is located northeast of Port Malabar Boulevard. As demonstrated in **Maps FLUE-4** and **FLUE-5**, wetlands and floodplains are also present within the City. Wetland features can be found within 4,809 acres of the City (excluding lakes, ponds, rivers, and lagoons) and are primarily found along the banks of the Indian River, lining the City's western boundary, and north of Centerlane Road. Alternatively, floodplains cover a much larger portions of the City at 16,741 acres and are located primarily in the western- and southern-most portions of Palm Bay. These important environmental features will need protection, preservation, and/or mitigation if these areas develop in the future, which can increase the cost and timeline of development considerably.

2.2.2 Soil Permeability

The development potential of land can be affected by the types of soils present. Soils that have poor load bearing features or drain poorly will be more difficult and costly to develop. Other soils may not be suitable for certain types of development and septic tanks. The soil types best suited to support development in the City are those that are well to excessively drained and occurring in large areas on uplands, such as the Norfolk, Arredondo, and Candler soils. As demonstrated in **Map FLUE-6**, most of the soil in Palm Bay is labeled as poorly drained, speckled with locations that are very poorly drained. The soils labeled as excessively well drained and well drained are concentrated in the northeastern corner of the City, along the Indian River, US Highway 1, and Port Malabar Boulevard.

2.2.3 Aquifer Recharge

As shown in **Map FLUE-7**, all land within the city limits of Palm Bay are located within an aquifer discharge area, which are areas where groundwater seeps up to the soil surface or into streams. While recharge involves the downward movement and influx of groundwater to an aquifer, discharge involves the upward movement and outflux of groundwater from an aquifer. Waterlogging and salinity are most likely to occur in these areas and are generally found in lower elevations.

2.3 HISTORIC & CULTURAL RESOURCES

The City of Palm Bay currently does not maintain a local registry of historically significant resources or a historic preservation ordinance. Instead, the City relies on the listing maintained by the Florida Division of Historical Resources (FDHR) in their Florida Master Site File (FMSF), which is the State of Florida's official inventory of historical and/or cultural resources. Categories of resources recorded within the FMSF include archeological sites and historical structures, cemeteries, bridges, districts, and landscapes.

Figure FLU - 2: St. Joseph's Catholic Church



According to the FMSF, past surveys have recorded 23 structures, one cemetery, two bridges, and 16 resource groups found within the City. As shown on **Map FLUE-8**, only one resource is listed on the National Registry of Historic Places—the St. Joseph's Catholic Church (photographed in **Figure FLUE-2**), a historic structure which was registered in 1987. Additionally, there is currently one resource group which has been determined to be eligible for potential listing on the national registry (Florida East Coast Railroad), as well as one bridge (US Highway 1 overpassing Turkey Creek).

Continuing to identify, recognize, and celebrate Palm Bay's historic and cultural resources will be critical to the future

success of the community in establishing a sense of place, cultivating civic pride, and supporting economic development within the City for centuries to come.

2.4 PUBLIC FACILITIES & SERVICES

2.4.1 Water & Sewer

The presence and availability of centralized potable water and sanitary sewer systems are critical to supporting future residential and nonresidential development within a community. Fortunately, the City of Palm Bay currently owns, operates, and maintains its own water and sewer systems; however, significant developed and undeveloped

portions of the City remain disconnected from these networks. For instance, approximately 14% of all households within the City are currently not connected to the centralized water system and thus rely on private wells to meet their water needs. **Map FLUE-9** illustrates the extent of the Water Service Area within Palm Bay. The City is hopeful to serve residents and businesses alike which are currently not connected to the potable water system in the near future. However, there are no immediate plans to expand the water system into underserved areas, as the Utilities Department’s primary focus is on rehabilitating the existing system and accommodating developer-driven expansion.

Existing and potential connections to the City’s sanitary sewer system are even more sporadic, as approximately 60% of Palm Bay households remain disconnected from centralized sewer services. Similar to water services, a majority of households served by the City’s sanitary sewer system are located in northeast Palm Bay, within the Sanitary Sewer Service Area (**Map FLUE-10**). As such, many of the City residents continue to rely on personal septic tanks to meet their wastewater needs. The City desires to connect residential and nonresidential developments which currently utilize septic tanks; however, the Utilities Department focus remains primarily on rehabbing the existing sewer system and accommodating the expansion needs of developers.

2.4.2 Airports

There are no airports within the borders of Palm Bay, but the Melbourne Orlando International Airport is located just north of the City in the neighboring community of Melbourne. Similarly, there is a small public airport south of the City in the Town of Grant-Valkaria called Valkaria Airport.

2.4.3 Railways

There is currently one railway which passes through the City, running parallel to US Highway 1 in the northeastern portion of the City. The railway is owned by the Florida East Coast Railway and runs between the cities of Jacksonville and Miami.

2.4.4 Prisons & Detention Centers

There are currently no prisons or detention centers within or near Palm Bay’s City Limits.

2.4.5 Military Installations

Sec. 3175(4), Florida Statutes, details additional comprehensive planning requirements for municipalities which possess a qualified military installation within their jurisdiction. Although the U.S. Air Force Malabar Transmitter Annex (5600 Minton Road) is located within Palm Bay, it is not identified by the State of Florida as military installation warranting additional protections within the City’s Plan. The facility is currently used as an auxiliary communications annex in support of space activities for NASA and the U.S. Space Force.

2.5 COMMUNITY REDEVELOPMENT AREA

Six years after completing an extensive Findings of Necessity study in 1994, the City of Palm Bay adopted Ordinance 2000-39 which officially established the *Bayfront Community Redevelopment District* and *Bayfront Community Redevelopment Agency (CRA)*. The District, which comprises approximately 1,070 acres, is located in the northeastern-most portion of the City and shares a boundary with the Palm Bay City Limits to the north, east, and south, while the District’s western boundary is formed by Lipscomb Street and the Florida East Coast Railway corridor. This boundary can be seen in the FLUM (**Map FLUE-11**) at the end of this document.

The Bayfront Community Redevelopment District is a vital tool which assists the City with its land use planning efforts—particularly when addressing conditions of slum and blight through targeted investments, programming, and development incentives. These efforts are made possible through the District’s Tax Increment Financing (TIF) fund which is managed by the Bayfront CRA. These funds can only be spent on the projects, programs, and incentives specifically identified in the Bayfront Community Redevelopment Plan, which was last updated in 2009. Goals, Objectives, and Policies have been included within the Comprehensive Plan to ensure the provisions of the Redevelopment Plan are successfully implemented. The operational timeframe for the Bayfront Community Redevelopment Area is scheduled to sunset in May 2024.

3.0 LAND USE ANALYSIS

According to the 2020 decennial census, the City of Palm Bay’s permanent population in 2020 was 119,760. Two years later, the total number of residents is estimated to be 127,256 according to June 2022 electric water meter counts for residential developments within the City. As supported by historical population data, development trends, and new applications for residential projects, the City is expecting further population growth within the 2045 planning horizon. The following section provides population projections at five-year increments through the 2045 planning horizon and identifies how the City’s Future Land Use Map (FLUM) is capable of accommodating this growth without further contributing to the localized urban sprawl.

3.1 PROJECTED POPULATION

For comprehensive planning purposes, Chapter 163 of the Florida Statutes requires local governments to develop permanent and seasonal population projections to anticipate the land, housing, and services necessary to accommodate current and new residents. The most widely used source for determining future population projections within the state is the Bureau of Economic and Business Research (BEBR) at the University of Florida. However, BEBR only provides population projections at the County level and does not include any data on seasonal residents.

Therefore, the population projections for the City of Palm Bay were derived by performing a step-down analysis utilizing the latest Brevard County population projections provided by BEBR. In this popular form of population analysis, the City’s historic and current share of the County’s population is used to predict the City’s population in the future. This information is supplemented by seasonal population data derived from housing data provided by the Shimberg Center for Housing Studies’ Florida Housing Data Clearinghouse (FHDC). The result of this analysis is shown in **Table FLUE-7**.

Table FLU - 7: City of Palm Bay Population Projections

	2020	2025	2030	2035	2040	2045
Brevard County (BEBR Med/High Avg.) ¹	606,612	664,200	707,150	743,250	775,250	803,750
Permanent Palm Bay Population	119,760	131,129	139,609	146,736	153,053	158,680
Seasonal Palm Bay Population	6,164	6,750	7,186	7,553	7,878	8,168
Cumulative Palm Bay Population	125,924	137,879	146,795	154,289	160,931	166,848
¹ Performing a step-down analysis using BEBR's Medium Population Estimates for Brevard County resulted in projections that were determined to be too low when considering historical population data, development trends, and new applications for residential projects within the City. Alternatively, projections resulting from BEBR High Population Estimates were estimated to be too excessive for the same reason. As a result, this analysis utilizes an average of BEBR Medium and High Population Estimates for Brevard County.						

Source: BEBR, City of Palm Bay, FHDC, S&ME, 2022.

3.2 FUTURE LAND USE

The City's Future Land Use Map (FLUM) has designated lands throughout the City which can accommodate Palm Bay's projected population growth through the 2045 planning horizon. The range of uses, densities, and intensities permitted on each property is determined by the site's future land use designation. As part of the Comprehensive Plan Update process, the City has amended its future land use categories (FLUC). Some FLUCs have received name changes, several categories have been consolidated into a new designation, and two FLUCs have been established but are not yet implemented on the FLUM. These changes are highlighted in **Table FLUE-8**.

Table FLU - 8: Future Land Use Map/Category Changes

Past FLUCs	Max. Density ¹ (du/ac) ²	Max. Intensity ¹ (FAR) ³	Current FLUCs	Max. Density ¹ (du/ac) ²	Max. Intensity ¹ (FAR) ³	Changes Made
Rural Single Family (RSF)	.02	N/A	Rural Single Family (RSF)	0.2	N/A	No change
Single Family Residential (SFR)	5	N/A	Low Density Residential (LDR)	5	N/A	Name change
Mobile Home Residential (MHR)	10	N/A	Moderate Density Residential (MDR)	10	N/A	Name change; permits additional housing types
Multiple Family Residential (MFR)	20	N/A	High Density Residential (HDR)	20	N/A	Name change
No existing equivalent			Neighborhood Center (NC)	25 (30 ⁵)	0.5 (1.0 ⁵)	New FLUC
			Community Mixed-Use (CMU)	30 (35 ⁵)	1.0 (1.5 ⁵)	New FLUC
Bayfront Mixed Use Village (BMUV)	10	1.8	Urban Mixed-Use (UMU)	40 (50 ⁵)	2.5 (3.5 ⁵)	Consolidates several FLUCs
Bayfront Mixed Use (BMU)	40	1.0				
Mixed Use (MU)	30	2.0				
Regional Activity Center (RAC)	13 ⁴	4,000,000 SF	Regional Activity Center (RAC)	13 ⁴	4,000,000 SF	Increases minimum du/ac
Parkway Flex Use (PFU)	10	1.0	Parkway Flex Use (PFU)	10	1.0	No change
Professional Office (PRO)	N/A	0.5	Professional Office (PRO)	N/A	0.5	No change
Commercial (COM)	N/A	2.5	Commercial (COM)	N/A	2.5	No change
Industrial (IND)	N/A	5.0	Industrial (IND)	N/A	5.0	No change
Public/Semi-Public (PSP)	N/A	2.0	Public/Semi-Public (PSP)	N/A	2.0	No change
Utilities (UTL)	N/A	1.5	Utilities (UTL)	N/A	1.5	No change
Recreation & Open Space (ROS)	N/A	0.25	Recreation & Open Space (ROS)	N/A	0.25	No change
Conservation (CON)	N/A	0.05	Conservation (CON)	N/A	0.05	No change
Micco Park Village (MPV)	See Ord.	See Ord.	Special Planning Area (SPA)	See Goal 3		Consolidates several area-specific FLUCs.
Calumet Farms (CF)	See Ord.	See Ord.				
Centerlane (CL)	See Ord.	See Ord.				
¹ Unless stated otherwise within the Table ² du/ac = dwelling units per acre ³ FAR = floor area ratio ⁴ Maximum densities for each RAC vary ⁵ With density/intensity bonus						

Source: City of Palm Bay, 2022.

3.2.1 City of Palm Bay Future Land Use Categories

Descriptions of each of Palm Bay's FLUCs, along with the range of uses, densities, and intensities permitted therein, are provided in **Table FLUE-9**, and further explained in the narrative which follows.

Table FLU - 9: City of Palm Bay Future Land Use Categories

FLUC	General Purpose	Typical Uses	Maximum Density (du/ac)	Maximum Intensity (FAR) ¹
Rural Single-Family (RSF)	Areas of low density rural residential character interspersed with large tracts of agriculture, open space, or recreation	Single family homes, agriculture, recreation, and institutional uses	0.2 du/ac	n/a
Low Density Residential (LDR)	Areas of low density suburban residential character	Single family homes, duplexes, accessory dwelling units, recreation, and institutional uses	5 du/ac	n/a
Moderate Density Residential (MDR)	Transitional areas of increasingly urban, moderate density residential character	Single family homes, duplexes, accessory dwelling units, mobile homes, recreation, and institutional uses	10 du/ac	n/a
High Density Residential (HDR)	Areas of urban, high density residential character	A range of housing types, recreation, and institutional uses	20 du/ac	n/a
Neighborhood Center (NC)	Areas accommodating high residential densities complemented by neighborhood-scale commercial and office uses	A range of housing types, commercial, office, recreation, and institutional uses	25 du/ac (30 with density bonus) ²	0.5 FAR (1.0 with intensity bonus) ²
Community Mixed-Use (CMU)	Nodes of high intensity mixed-use development within a compact, urban environment—primarily at the intersection of collector or arterial roadways	A range of housing types, commercial, office, recreation, and institutional uses	30 du/ac (35 with density bonus) ²	1.0 FAR (1.5 with intensity bonus) ²
Urban Mixed-Use (UMU)	Concentrations of very high intensity mixed-use development within a pedestrian-friendly environment—primarily at the intersection of arterial roadways	A range of housing types, commercial, office, recreation, and institutional uses	40 du/ac (50 with density bonus) ²	2.5 FAR (3.5 with intensity bonus) ²
Regional Activity Center (RAC)	Master planned communities which provide employment opportunities in close proximity to residential development within a compact, urban environment	See Objective FLU-1.6	13 du/ac	4,000,000 sq. ft.
Parkway Flex Use (PFU)	A range of commercial and office uses located along highly visible corridors within the City supported by moderate density residential development	Retail, personal service establishments, daycare centers, church/religious uses, restaurants, financial institutions, office uses, service stations with fuel sales, food service, theaters, professional office uses, medical or veterinary clinics, and a range of housing types	10 du/ac	1.0 FAR ³

FLUC	General Purpose	Typical Uses	Maximum Density (du/ac)	Maximum Intensity (FAR) ¹
Professional Office (PO)	Areas accommodating low intensity office development—often serving as a transition between commercial and residential areas	Professional offices and services, financial institutions, recreation, and institutional uses	n/a	0.5 FAR
Commercial (COM)	Areas supportive of low-to - moderate intensity commercial developments	Offices, retail businesses, personal service businesses, day care centers, restaurants, financial institutions, hotels and motels, and other similar uses, as well as institutional activities	n/a	2.5 FAR
Industrial (IND)	Areas accommodating industrial activity and other significant employment-generating uses	Manufacturing, warehousing, research and development, and other similar uses, as well as institutional activities	n/a	5.0 FAR
Public/Semi-Public (PSP)	Areas intended to accommodate major existing and programmed public/quasi-public facilities	Government owned facilities, churches, utilities, clubs and lodges, educational facilities, recreation facilities, hospitals, congregate living facilities, and similar uses	n/a	2.0 FAR
Utilities (UTL)	Areas which accommodate public and private utilities	Public and private utilities	n/a	1.5 FAR
Recreation & Open Space (ROS)	Areas supportive of parks, recreation, and open spaces	Parks, recreational, and open spaces	n/a	0.25 FAR
Conservation (CON)	Areas of major public or privately held lands reserved for the primary purpose of the preservation of natural resources	Floodways, nature sanctuaries, and areas established for long-term conservation	n/a	0.05 FAR
Special Planning Area (SPA)	Areas which, due to their scale and unique development objectives, permit a range of uses, densities, and intensities. For more information, see GOAL FLU-3.			

¹ Unless noted as maximum square footage in the table

² See Policy FLU-1.1D.

³A minimum of 40 square feet of commercial space shall be provided for each residential unit.

Special Planning Areas

Lands possessing a SPA FLU designation are areas which, due to their scale and unique development objectives, permit a range of uses, densities, and intensities. As shown in **Map FLUE-12**, there are currently four SPAs within the City, totaling 4,988.2 acres (or 10.8% of the City's total land area). Each of these SPAs as described below:

- **Centerlane SPA.** This SPA is intended to promote industrial uses that are energy-efficient, compatible with the environment, and generate new employment opportunities. Individual developments within the SPA shall not exceed a 0.5 FAR and in no case shall the amount of total nonresidential square footage in the Centerlane SPA exceed 500,000 square feet. Future development within the Centerlane SPA is required to meet the provisions of Ordinance 2010-

69, Exhibit A. This SPA is concentrated in the southern portion of the City, south of Centerlane Road and accounts for over 200 acres (approximately 0.4% of the FLUM's total acreage).

- **Calumet Farms SPA.** The purpose of this SPA is to be a walkable, "Aging in Place" community featuring a range of residential and nonresidential activities. Within the Calumet Farms SPA, the maximum number of residential units is capped at 3,184 units and the maximum square footage for nonresidential uses are limited to 180,000. Developments within the SPA are required to abide by the provisions established in Ordinance 2010-67, Exhibit A. The designation is concentrated in the southern portion of the City, north of Centerlane Road and accounts for about 1,700 acres or 3.8% of the City.
- **Emerald Lakes SPA.** This SPA is intended to create a mixed-use community with a sizable nonresidential component. Dwelling units within the SPA are limited to 3,760, while permitted nonresidential uses (a combination of commercial, office, industrial, educational, hotel, and hospital facilities) are limited to 2,820,000 square feet. Development within the SPA are also subject to other provisions of found in Ordinance 2018-52. The Emerald Lakes SPA is found in the southeastern portion of the City and comprises over 3.3% of the Palm Bay's total acreage at 1,552.3 acres.
- **Micco Park Village SPA.** The purpose of the Micco Park Village SPA is to create walkable communities in a traditional village design. Within this SPA, the maximum number of residential units is capped at 3,871, while nonresidential square is limited to 1,044,200 square feet. Developments within the SPA are required to abide by the provisions established in Ordinance 2010-62, Exhibit A. Lands featuring this FLU designation are located in the southeastern-most portion of the City and comprise approximately 1494.6 acres (3.2% of the City's total land area).

3.2.2 *Brevard County Future Land Use Categories*

Over 3,500 acres of the City's total land area currently possess a Brevard County FLU designation. These designations include Agriculture (AGR), Residential 1:2.5 (R 1:2.5), Residential 1 (R-1), and Neighborhood Commercial (NC). Typically, lands containing a County FLU designation would be assigned an equivalent City FLUM assignment upon annexation. However, there are currently no equivalent land use category for these County designations. As such, the County designations will remain until a FLUM amendment is requested for these properties. A more detailed description of these categories is provided as follows:

Agriculture (AGR) [Brevard County]

AGR, a Brevard County land use designation, permits agricultural activities and large lot residential development at a maximum density of 0.2 units/ac. The designation is concentrated in the southernmost part of the City, near Centerlane Road and it accounts for almost 2,000 acres at 4.3%.

Residential 1:2.5 (R 1:2.5) [Brevard County]

Residential 1:2.5, a Brevard County land use designation, permits a maximum density of one unit per 2.5 acres. The designation is concentrated in the area of the City, south of Centerlane Road and accounts for 3% of the FLUM at ±1,388 acres.

Residential 1 (R-1) [Brevard County]

R-1, a Brevard County land use designation, permits low density residential development with a maximum density of one du/ac. The designation is concentrated in the southern portion of the City and accounts for approximately 161.40 acres (or 0.3% of the FLUM).

Neighborhood Commercial (NC) [Brevard County]

Neighborhood Commercial, a Brevard County land use designation, intends to accommodate a low-impact commercial area which serves the needs of the immediate residential area. NC allows for mixing of uses such as professional offices, institutional uses, residential uses, recreational uses, and public facilities at intensities not to exceed 0.25 FAR. The NC designation is near the St. Johns Heritage Parkway and accounts for nearly 12 acres, less than 0.1% of the FLUM's total acreage.

Table FLUE-10 identifies how much acreage each FLUC occupies within the City while **Map FLUE-11** shows how these categories are applied on the FLUM.

Table FLU - 10: City of Palm Bay Future Land Use Composition

Future Land Use Category	Acres	Percentage of Total
Rural Single-Family (RSF)	1,621	3.5%
Low Density Residential (LDR)	24,171	52.1%
Moderate Density Residential (MHR)	208	0.4%
High Density Residential (HDR)	2,097	4.5%
Neighborhood Center (NC) ¹	0.0	0.0%
Community Mixed-Use (CMU) ¹	0.0	0.0%
Urban Mixed-Use (UMU)	149	0.3%
Regional Activity Center (RAC) ¹	0.0	0.0%
Parkway Flex Use (PFU)	193	0.4%
Professional Office (POF)	36	0.1%
Commercial (COM)	2,098	4.5%
Industrial (IND)	1,867	4.0%
Public/Semipublic (PSP)	1,792	3.9%
Utilities (UTIL)	682	1.5%
Conservation (CON)	1,876	4.0%
Recreation and Open Space (PRO)	1,051	2.3%
Special Planning Area (SPA)	4,988	10.8%
<i>Brevard County Designations</i>		
Agriculture (AGR)	1,981	4.3%
Residential 1:2.5 (R 1:2.5)	1,388	3.0%
Residential 1 (R-1)	161	0.3%
Neighborhood Commercial (NC)	12	<0.1%
Total	46,370²	100.0%
¹ Currently unassigned on the FLUM ² The City of Palm Bay Future Land Use GIS shapefile used to perform these calculations do not include some rights-of-way which were considered as part of the Existing Land Use analysis shown in Table FLUE-6 . As such, there is a slight ($\pm 1\%$) difference in acreage between the two data sets.		

Source: City of Palm Bay, 2022.

3.3 HOLDING CAPACITY

The following tables highlight the City's estimated prior (**Table FLU-11**) and existing (**Table FLU-12**) capacity for supporting future residential growth within Palm Bay. These estimates were developed by taking the total acreage of vacant lands within the City (see **Map FLU-3**), subtracting the wetland acreages, and multiplying the remaining vacant acreage by the maximum density afforded to them by their FLUM designation. In the case of vacant lands featuring a mixed-use FLU designation, it was assumed that 50% of the acreage would develop as residential. Additionally, a density factor of 0.75 was applied to all non-SPAs to account for the high likelihood that few properties will develop at the maximum density permitted by their FLU designation considering that much of the City continues to lack centralized water and sewer service.

The result of this analysis shows that the City of Palm Bay could accommodate an additional 129,720 residents by the year 2045 (an increase of 715 residents from what would be possible with the City's prior FLUM designations). As noted previously, the City's population is expected to increase by 40,924 residents by the year 2045, for a total of 166,848 residents. *Therefore, it can be assumed that the City currently has the holding capacity needed to accommodate Palm Bay's projected population growth within the 2045 planning horizon.*

Table FLU - 11: Carrying Capacity Analysis (Prior FLUM)

Future Land Use Categories	All Parcels		Vacant Parcels		Vacant Lands with Wetlands	Remaining Vacant Land	Max. Residential Share	Max. Permitted Density	Density Factor	Holding Capacity ¹
	(Acres)	(%)	(Acres)	(%)	(Acres)	(Acres)	(%)	(du/ac)	#	(Units)
Rural Single-Family (RSF)	1,621	0.0	480	0.0	469	11	100%	0.2	0.75	2
Single Family Residential (SFR)	24,171	0.5	9,745	0.5	2,880	6,865	100%	5	0.75	25,742
Mobile Home Residential (MHR)	208	0.0	8	0.0	1	7	100%	10	0.75	52
Multiple Family Residential (MFR)	2,097	0.0	834	0.0	559	276	100%	20	0.75	4,136
Mixed Use (MU)	37	0.0	-	-	-	-	50%	30	0.75	-
Bayfront Mixed Use (BMU)	66	0.0	4	0.0	3	1	50%	40	0.75	19
Bayfront Mixed Use Village (BMUV)	46	0.0	25	0.0	4	21	50%	10	0.75	77
Parkway Flex Use (PFU)	193	0.0	169	0.0	-	169	50%	10	0.75	635
Regional Activity Center (RAC)	1,552	0.0	1,416	0.1	1,416	-	N/A	N/A	1	3,760
Micco Park Village	1,495	0.0	908	0.0	908	-	N/A	N/A	1	3,871
Calumet Farms (CF)	1,739	0.0	1,708	0.1	1,708	-	N/A	N/A	1	3,184
Centerlane (CL)	202	0.0	-	-	-	-	N/A	Not Permitted	N/A	-
Commercial (COM)	2,098	0.0	856	0.0	364	491	N/A	Not Permitted	N/A	-
Professional Office (POF)	36	0.0	23	0.0	8	15	N/A	Not Permitted	N/A	-
Industrial (IND)	1,867	0.0	227	0.0	162	65	N/A	Not Permitted	N/A	-
Public/Semipublic (PSP)	1,792	0.0	1,107	0.1	888	220	N/A	Not Permitted	N/A	-
Utilities (UTIL)	682	0.0	25	0.0	2	23	N/A	Not Permitted	N/A	-
Conservation (CON)	1,876	0.0	1,024	0.1	717	-	N/A	Not Permitted	N/A	-
Recreation and Open Space (ROS)	1,051	0.0	609	0.0	607	-	N/A	Not Permitted	N/A	-
County Designations										
Agriculture (AGR)	1,981	4.3%	-	0.0%	-	-	100%	0.2	0.75	-
Residential 1 (R-1)	161	0.3%	19	0.1%	19	0	100%	1.0	0.75	0
Residential 1:2.5 (R 1:2.5)	1,388	3.0%	569	2.9%	560	9	100%	0.4	0.75	3
Neighborhood Commercial (NC)	12	0.0%	12	0.1%	12	0	100%	0.4	0.75	0
Total	46,370	100.0%	19,768	100.0%	11,287	8,172	-	-	-	41,480
2045 Carrying Capacity ²	129,002 Potential Residents									
¹Determined using the following formula: Developable Vacant Land x Maximum Permitted Density x Maximum Residential Share										
²Assuming an average household size of 3.11 (See Table FLUE-1)										

Sources: BEBR, City of Palm Bay, FHDC, 2022.

Table FLU - 12: Carrying Capacity Analysis (Current FLUM)

Future Land Use Categories	All Parcels		Vacant Parcels		Vacant Lands with Wetlands	Remaining Vacant Land	Max. Residential Share	Max. Permitted Density	Density Factor	Holding Capacity ¹
	(Acres)	(%)	(Acres)	(%)	(Acres)	(Acres)	(%)	(du/ac)	#	(Units)
Rural Single-Family (RSF)	1,621	3.5%	480	2.4%	469	11	100%	0.2	0.75	2
Low Density Residential (LDR)	24,171	52.1%	9,745	49.3%	2,880	6,865	100%	5	0.75	25,742
Moderate Density Residential (MDR)	208	0.4%	8	0.0%	1	7	100%	10	0.75	52
High Density Residential (HDR)	2,097	4.5%	834	4.2%	559	276	100%	20	0.75	4,136
Neighborhood Center (NC)	-	-	-	-	-	-	-	20	0.75	-
Community Mixed-Use (CMU)	-	-	-	-	-	-	-	30	0.75	-
Urban Mixed-Use (UMU)	149	0.3%	28	0.1%	7	22	50%	40	0.75	326
Regional Activity Center (RAC) ¹	-	-	-	-	-	-	-	-	0.75	-
Parkway Flex Use (PFU)	193	0.4%	169	0.9%	-	169	50%	10	0.75	635
Professional Office (POF)	36	0.1%	23	0.1%	8	15	N/A	Not Permitted	N/A	-
Commercial (COM)	2,098	4.5%	856	4.3%	364	491	N/A	Not Permitted	N/A	-
Industrial (IND)	1,867	4.0%	227	1.1%	162	65	N/A	Not Permitted	N/A	-
Public/Semipublic (PSP)	1,792	3.9%	1,107	5.6%	888	220	N/A	Not Permitted	N/A	-
Utilities (UTIL)	682	1.5%	25	0.1%	2	23	N/A	Not Permitted	N/A	-
Recreation & Open Space (ROS)	1,051	2.3%	609	3.1%	607	2	N/A	Not Permitted	N/A	-
Conservation (CON)	1,876	4.0%	1,024	5.2%	717	307	N/A	Not Permitted	N/A	-
Special Planning Areas										
Centerlane	202.2	0.4%	-	0.0%	-	-	N/A	Not Permitted	N/A	-
Calumet Farms	1,739.1	3.8%	1,708	8.6%	1,708	-	100%	N/A	1.00	3,184
Emerald Lakes	1,552.3	3.3%	1,416	7.2%	1,416	-	100%	N/A	1.00	3,760
Micco Park Village	1,494.6	3.2%	908	4.6%	908	-	100%	N/A	1.00	3,871
County Designations										
Agriculture (AGR)	1,981	4.3%	-	0.0%	-	-	100%	0.2	0.75	-
Residential 1 (R-1)	161	0.3%	19	0.1%	19	0	100%	1.0	0.75	0
Residential 1:2.5 (R 1:2.5)	1,388	3.0%	569	2.9%	560	9	100%	0.4	0.75	3
Neighborhood Commercial (NC)	12	0.0%	12	0.1%	11.88	0	100%	0.4	0.75	0
Total	46,370	100.0%	19,768	100.0%	1,287	8,481	-	-	-	41,710
2045 Carrying Capacity ²	129,720 Potential Residents									
¹ Determined using the following formula: Developable Vacant Land x Maximum Permitted Density x Maximum Residential Share										
² Assuming an average household size of 3.11 (See Table FLUE-1)										

Sources: BEBR, City of Palm Bay, FHDC, 2022.

3.4 PREVENTION OF URBAN SPRAWL

Section 163.3164(52), F.S., defines urban sprawl as “a development pattern characterized by low density, automobile dependent development with either a single use or multiple uses that are not functionally related, requiring the extension of public facilities and services in an inefficient manner, and failing to provide a clear separation between urban and rural uses.” Considering the long-term negative effects of urban sprawl, the State of Florida strongly discourages communities from establishing any GOPs within their comprehensive plan which encourage its proliferation. To assist municipalities with this effort, Section 163.3177(6)(a)9., F.S., includes 13 indicators of urban sprawl.

Despite the City’s suburban origins, the Palm Bay Comprehensive Plan does not currently include any Goals, Objectives, or Policies which may directly or indirectly contribute to the proliferation of urban sprawl within their jurisdiction. In fact, the City currently includes many provisions within its Comprehensive Plan and Land Development Code (LDC) which direct growth in an efficient manner. For example, the City maintains few low density/intensity FLU designated lands, a mix of residential and nonresidential uses are permitted in many FLU categories, developers are required to avoid, minimize, offset, or compensate impacts to significant environmental features, and redevelopment, infill, and connections to centralized utility services are strongly encouraged.

In further efforts to prevent the proliferation of urban sprawl, the City currently maintains the holding capacity necessary to accommodate its projected population growth by the year 2045. As such, future annexations into the City will only be approved when it is determined that the act will result in a more orderly and efficient provision of public facilities and services and improve the local quality of life for all residents.

3.5 CONSIDERATIONS FOR ADVANCING EQUITY

Equality involves providing the same resources and opportunities to all groups of people. *Equity*, however, recognizes imbalanced social systems, and provides resources and opportunities based on the unique circumstances and challenges faced by different people. Rather than focusing on equal treatment, equity focuses on achieving equal outcomes. Between 2021 and 2022, the Palm Bay community worked collaboratively to create the Palm Bay Vision Plan to help guide the direction of the forthcoming comprehensive plan update process. One of the major themes included in the Vision Plan was *Advancing Equity*. As such, this section summarizes how the City incorporated equity principles within the FLUE Goals, Objectives, and Policies.

3.5.1 Environmental Justice

Environmental justice is the idea that everyone should be protected from environmental hazards and be able to live, work, and play in healthy communities. In the United States, neighborhoods which possessed a large

Implementing the Sustainability Action Plan

In 2021, the City of Palm Bay updated its *Sustainability Action Plan* to further advance the City’s local sustainability efforts. The Plan establishes specific sustainability goals and objectives for the City, residents, businesses, and the community as a whole.

More specifically, the Plan provides a clear direction on how the City can enhance the sustainability of its natural and built environments, transportation and mobility system, waste management processes, and its education and public engagement efforts.

As such, this Comprehensive Plan Update has incorporated the directives included within the Sustainability Action Plan to ensure that the City of Palm Bay is able to continue meeting the needs of its current population without comprising its ability to effectively serve its future residents with high-quality public facilities and services.

concentration of minority populations and/or lower income residents were often more likely to be located near environmental hazards, such as industrial sites, landfills, or hazardous waste materials. Additionally, these neighborhoods were also frequently located adjacent to other high impact generating uses (such as shopping malls or private sports complexes) that were not designed to be compatible with nearby residential development. To help prevent local environmental injustices from occurring in the future, additional compatibility measures and considerations have been included in the Goals, Objectives, and Policies of the FLUE.

3.5.2 *Heritage Preservation*

Heritage preservation involves preserving tangible and intangible historic and cultural resources from neglect, poorly considered changes, or destruction. This can include restoring or maintaining historic buildings and neighborhoods, passing on traditional crafts and traditions, and recording significant events. Many of these resources in Palm Bay are finite and cannot be restored once demolished—therefore representing a legitimate land use concern for the City. Future efforts to identify, preserve, and celebrate Palm Bay’s historic and cultural resources in future land use decisions can help the City foster a distinct sense of place which helps separate the community from other nearby jurisdictions.

As discussed in an earlier section of this report, few historic and cultural resources have been identified and/or surveyed within the City. Although not required by Florida Statutes, many communities across the state have elected to recognize, catalogue, and protect these resources using a variety of programs and regulatory tools which should continue to be considered by the City of Palm Bay. Some potential programs and tools that are available to the City for heritage preservation purposes are listed below:

- Establishing a local registry of cultural resources;
- Incorporating provisions into the Land Development Code which protect culturally significant resources; and
- Participating in the Certified Local Government (CLG) program.

3.5.3 *Community Engagement*

Community engagement is the process of involving the community in decision-making processes to achieve more sustainable and equitable outcomes. Collaborative and inclusive planning processes are extremely important, as they increase the visibility and understanding of issues that different members of the community may face, and ensures solutions truly reflect the desires of the community. Effective community engagement is centered around informing, compiling, and interacting with the public.

However, not all community engagement is equitable. Members of the public who have the means necessary to attend hearings may not necessarily provide the most accurate representation of the ‘public.’ Many socioeconomically disadvantaged populations may face physical, language, institutional, technological, or transportation barriers that can limit their access to information or opportunities for engagement. The inability to strongly engage with such constituents can result in those communities having little influence over decisions that impact their lives, which can worsen social and health inequities. Using a variety of strategies to build meaningful relationships with underrepresented communities can empower them and result in more equitable decision-making.

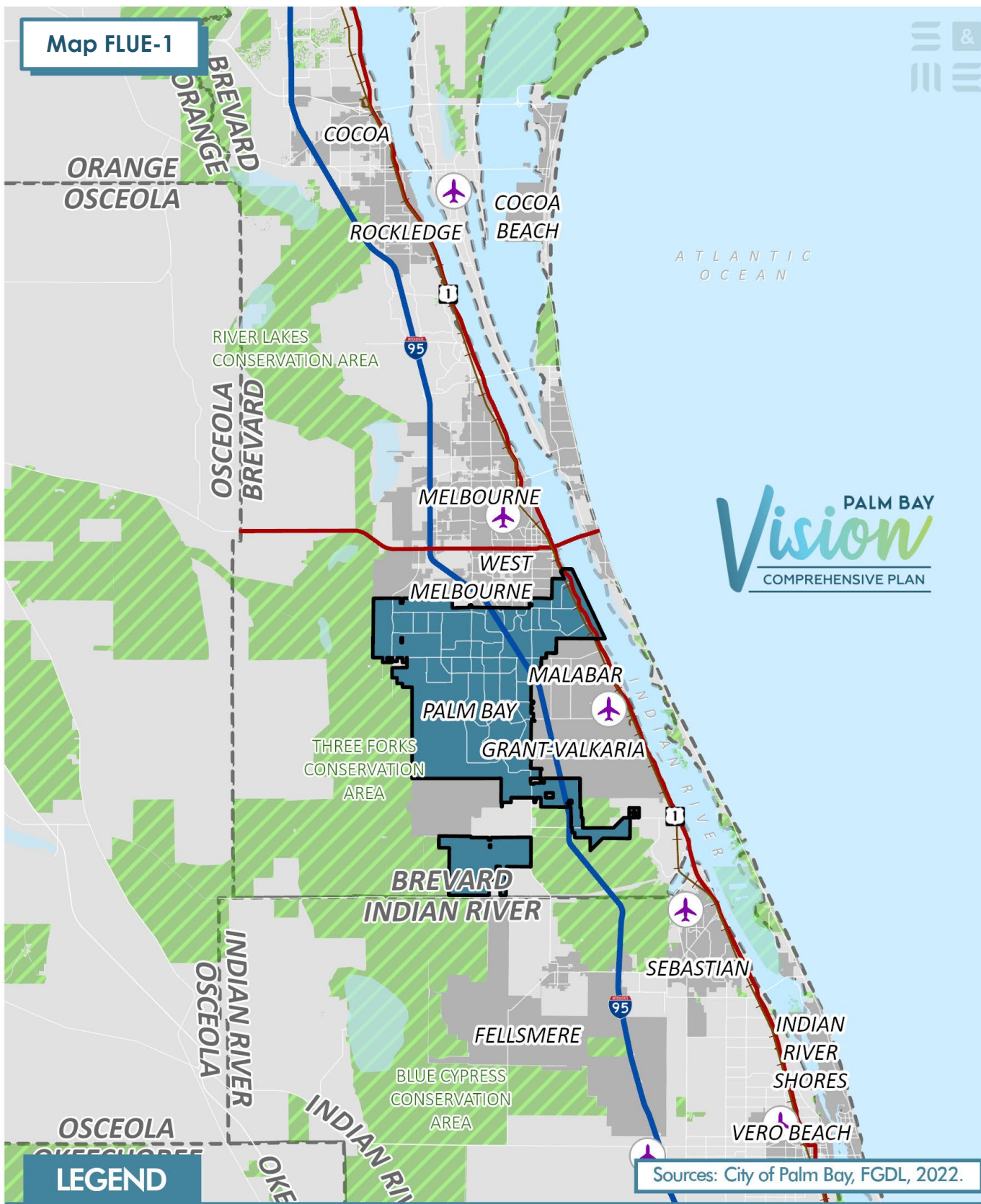
The City of Palm Bay has a Citizen Participation Plan, adopted as part of the Comprehensive Plan, to encourage citizen involvement in local planning processes. The Citizen Participation Plan, further described in the Land

Development Code, complies with State statutes, and requires that all Local Planning Agency and City Council meetings are public and advertised prior to commencement. The plan also states that every application for development that requires a preliminary subdivision approval, preliminary planned unit development, or a conditional use shall include a citizen participation plan that must be implemented prior to the first public hearing or notice of public review and comment period on an administrative application. These plans must address how nearby property owners and other interested parties that may be impacted by the development will be identified, notified of the proposal, and provided opportunities to discuss it with the applicant prior to the public hearing or public comment and review period.

The updated Goals, Objectives, and Policies of the Comprehensive Plan includes several mechanisms designed to improve the frequency and quality of community engagement achieved during the City's many planning process, such as:

- Performing an assessment of the City's public engagement efforts to determine the success of engaging citizens of diverse backgrounds that represent the city population;
- Researching and implementing best practices for incorporating more virtual engagement opportunities for public meetings and hearings;
- Hosting community meetings in spaces and venues where residents are already gathered; and
- Forming stronger partnerships with local community-based organizations for culturally competent outreach and engagement efforts.

Map FLUE-1



LEGEND

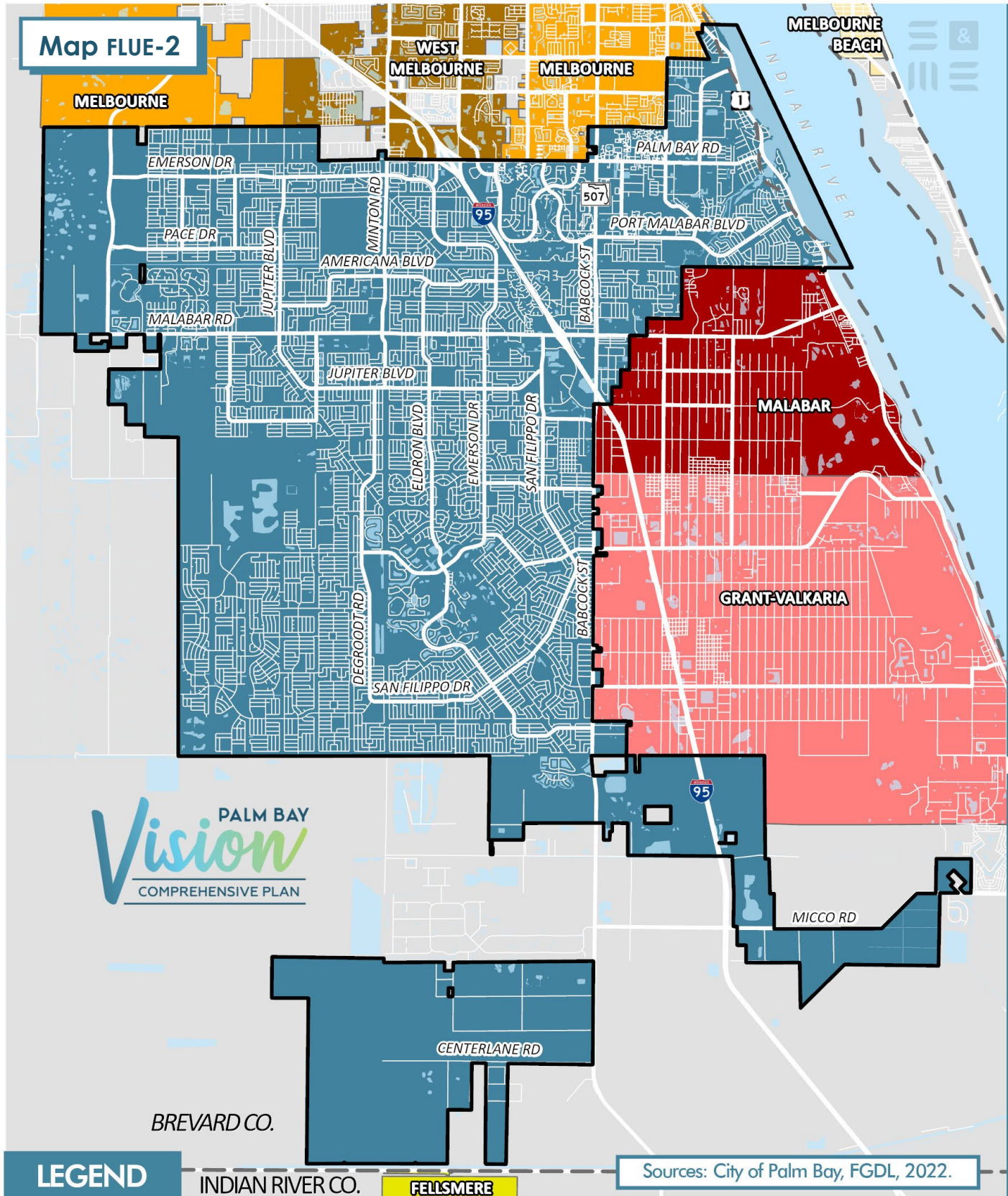
- | | |
|-------------------|-----------------|
| City of Palm Bay | Major Waterbody |
| County Boundary | Railway |
| City Limit | Public Airport |
| Conservation Area | |

Sources: City of Palm Bay, FGDL, 2022.

REGIONAL CONTEXT

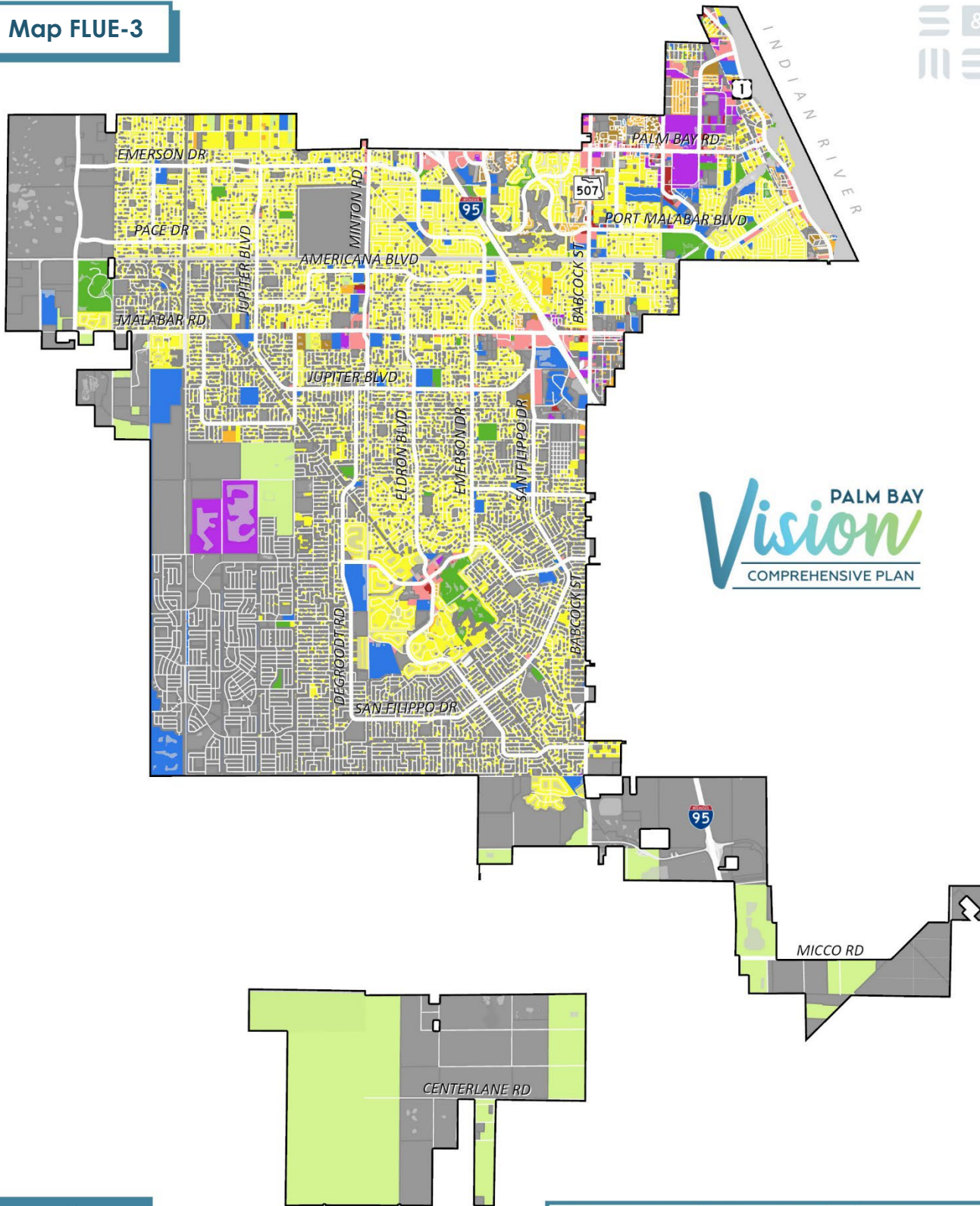


Map FLUE-2



MUNICIPAL BOUNDARY

Map FLUE-3



PALM BAY
Vision
COMPREHENSIVE PLAN

LEGEND

- | | | |
|--------------------------|------------------------------|--------------------------|
| City of Palm Bay | Low Density Residential | Industrial |
| Water Feature | Moderate Density Residential | Public/Semi-Public |
| <i>Existing Land Use</i> | High Density Residential | Recreation |
| Agriculture | Commercial | Right-of-Way & Utilities |
| Office/Professional | Vacant | |

Sources: BCPAO, 2021; City of Palm Bay, 2022.

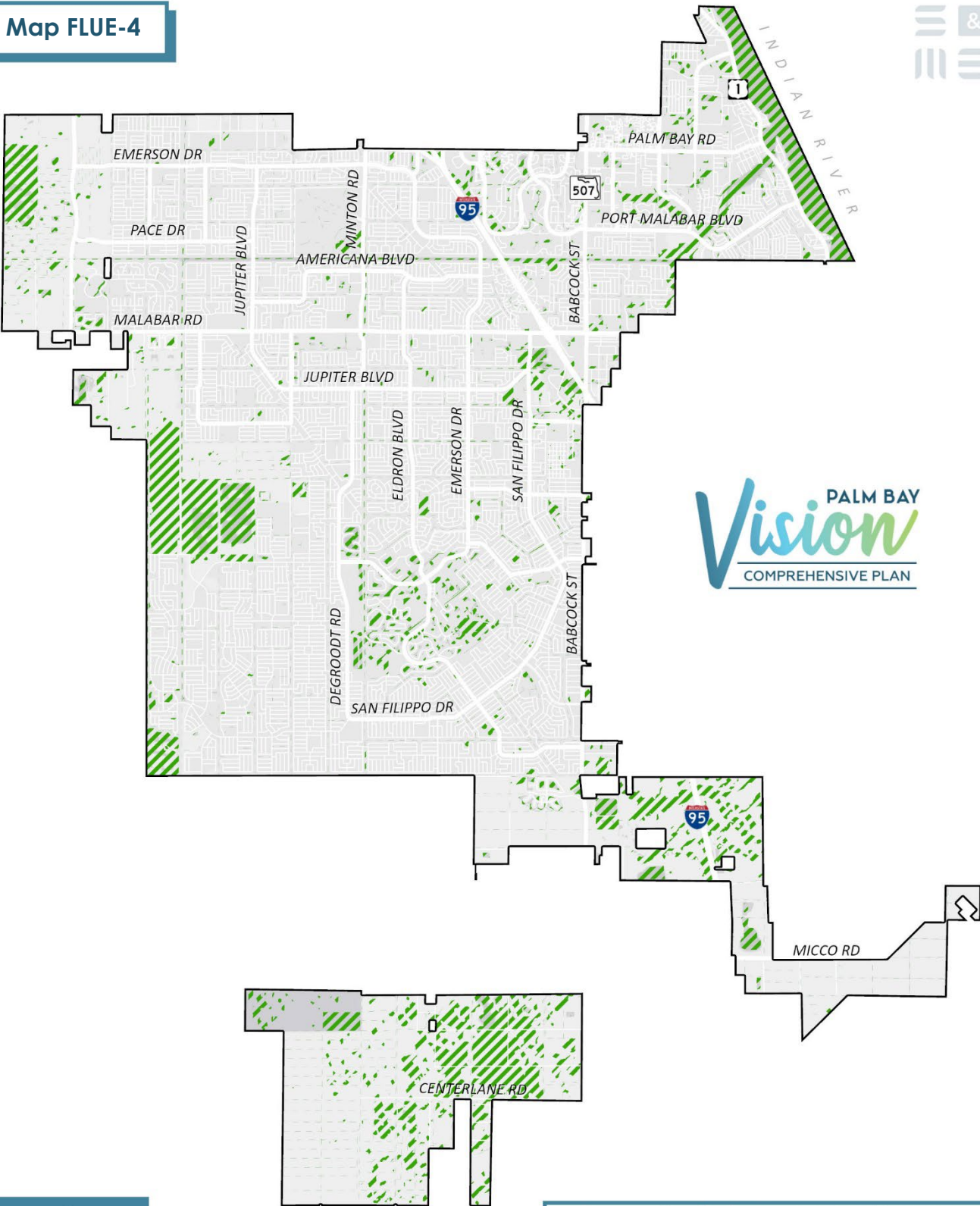
EXISTING LAND USE



Map FLUE-4



WETLANDS



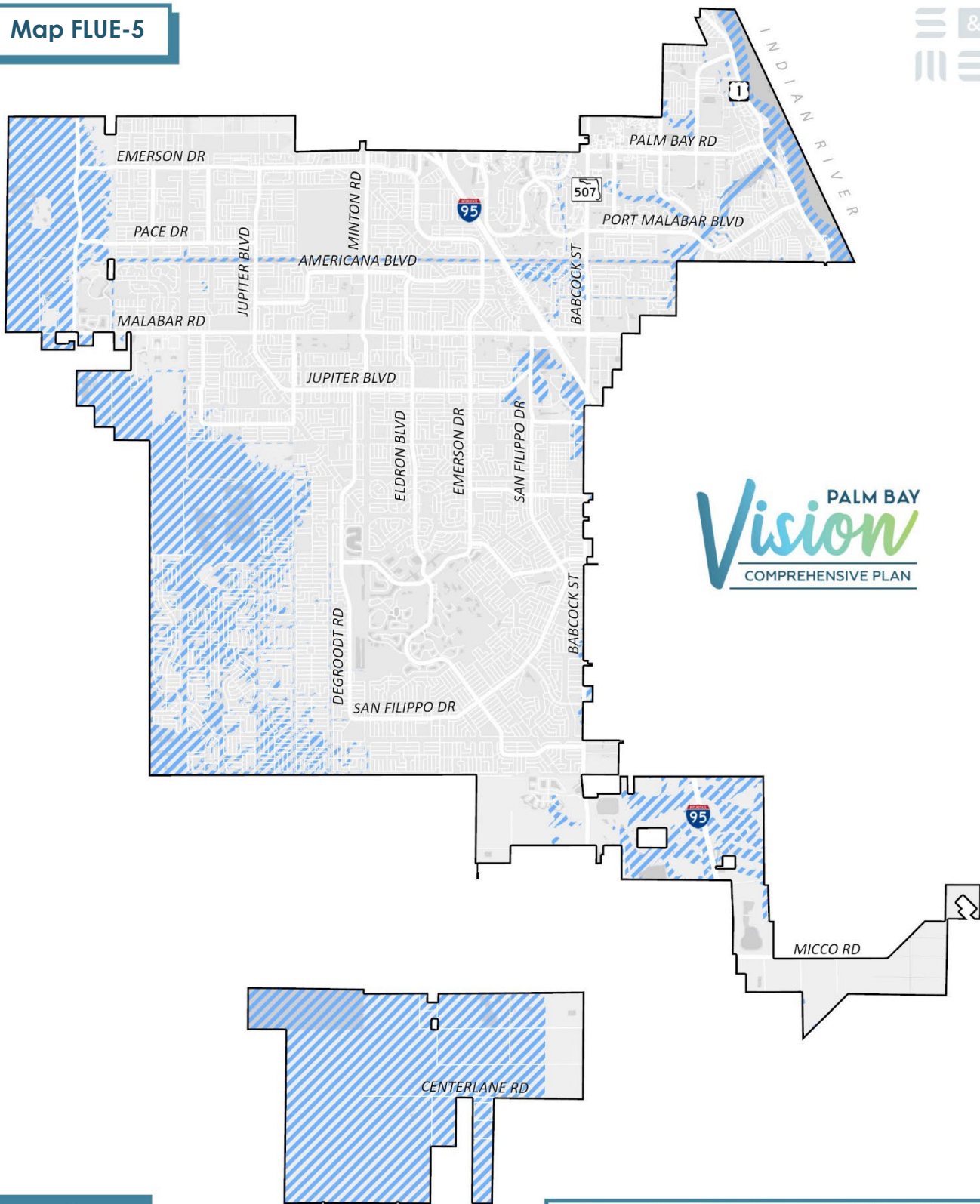
LEGEND

- City of Palm Bay
- Wetland
- Water Feature

Source: City of Palm Bay, 2022; NWI, 2021.



Map FLUE-5



PALM BAY
Vision
COMPREHENSIVE PLAN

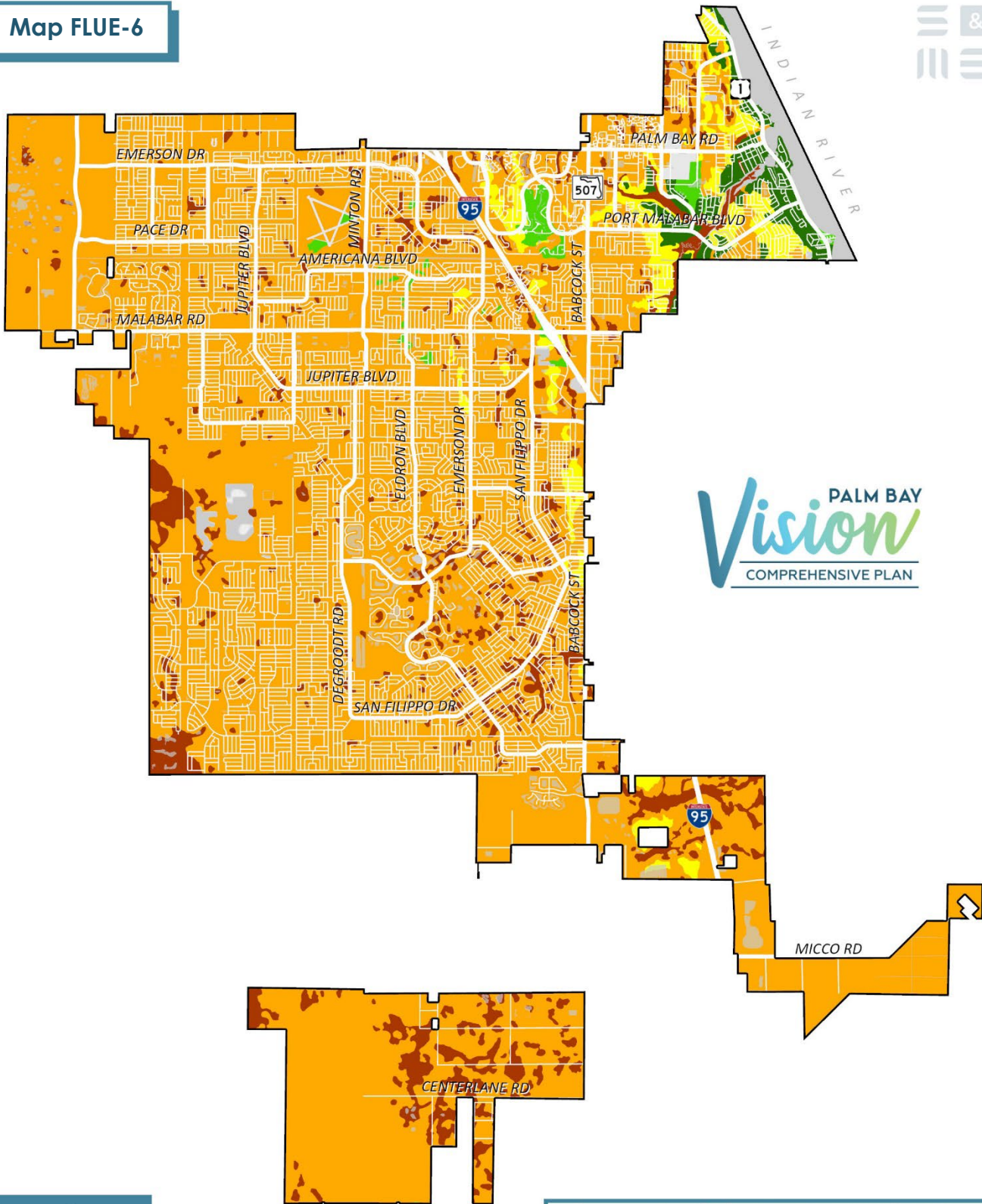
Source: City of Palm Bay, 2022; FEMA, 2019.

LEGEND

-  City of Palm Bay
-  Floodplain
-  Water Feature

FLOODPLAINS



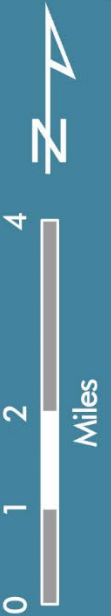


PALM BAY
Vision
COMPREHENSIVE PLAN

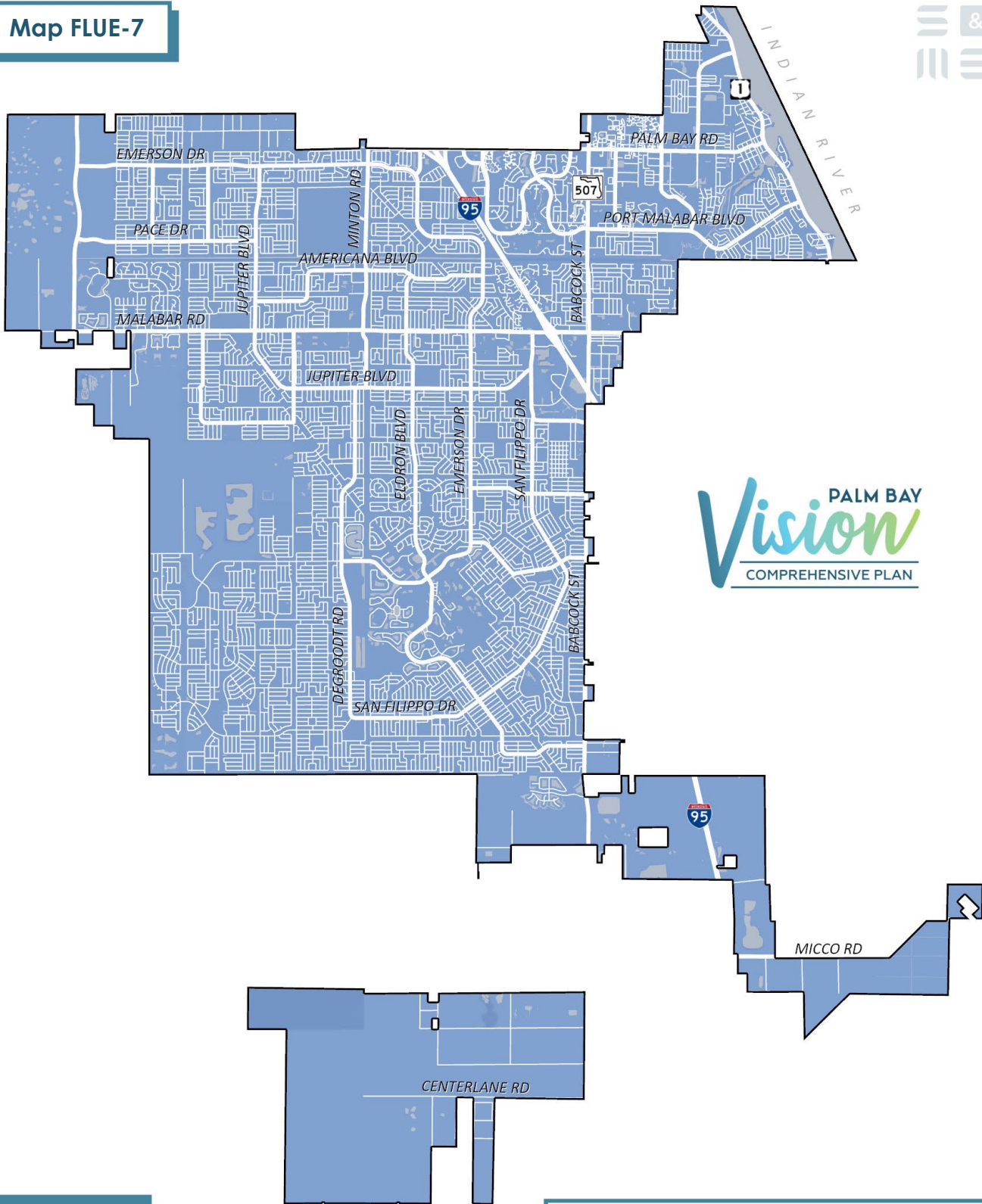
LEGEND

- | | |
|--------------------------------|-------------------------|
| City of Palm Bay | Well Drained |
| Water Feature | Somewhat Poorly Drained |
| <i>Drainage Classification</i> | |
| Excessively Drained | Poorly Drained |
| Moderately Well Drained | Very Poorly Drained |

Sources: City of Palm Bay, 2022; NRCS, 2021.



Map FLUE-7



PALM BAY
Vision
COMPREHENSIVE PLAN

LEGEND

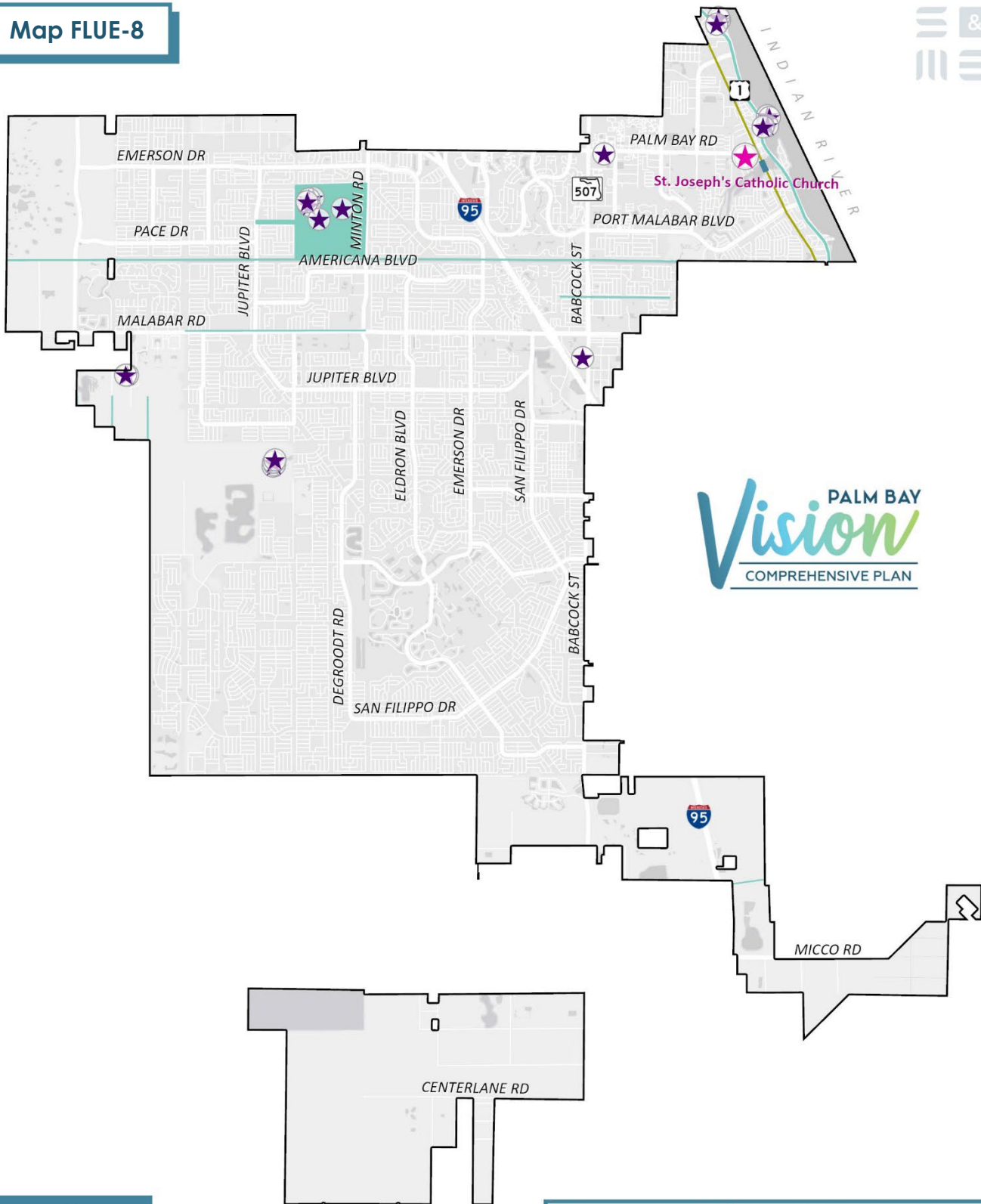
-  City of Palm Bay
-  Water Feature
-  Aquifer Discharge (Less than 1")

Sources: City of Palm Bay, 2022; FGDL, 2003.

AQUIFER RECHARGE



Map FLUE-8



VISION PALM BAY
COMPREHENSIVE PLAN

LEGEND

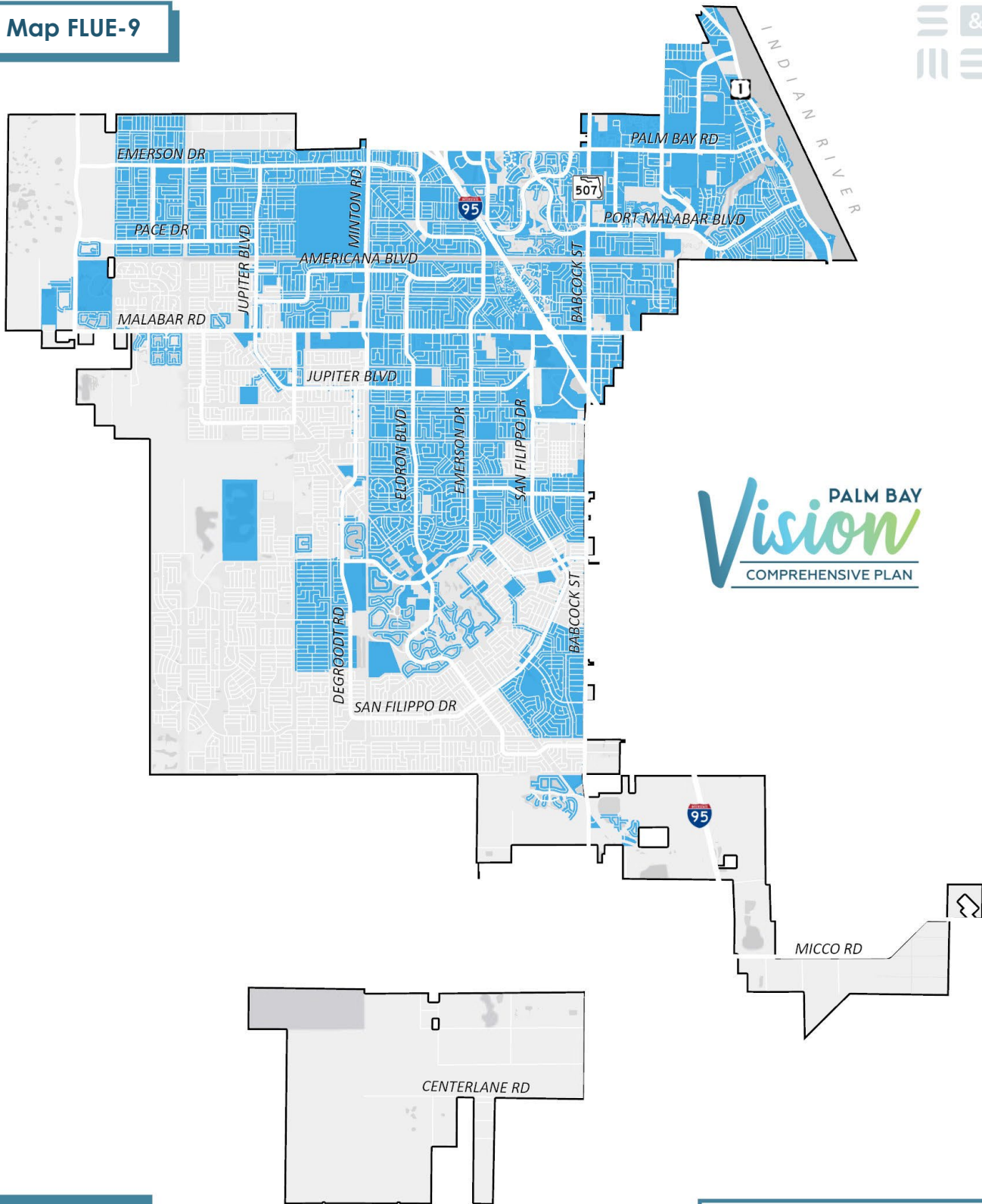
- | | |
|--------------------|-------------------------|
| City of Palm Bay | Eligible Resource Group |
| Water Feature | Surveyed Resource Group |
| Listed Structure | Eligible Bridge |
| Surveyed Structure | |

Sources: City of Palm Bay, 2022; FDHR, 2021.

HISTORIC & CULTURAL RESOURCES



Map FLUE-9



PALM BAY
Vision
COMPREHENSIVE PLAN

LEGEND

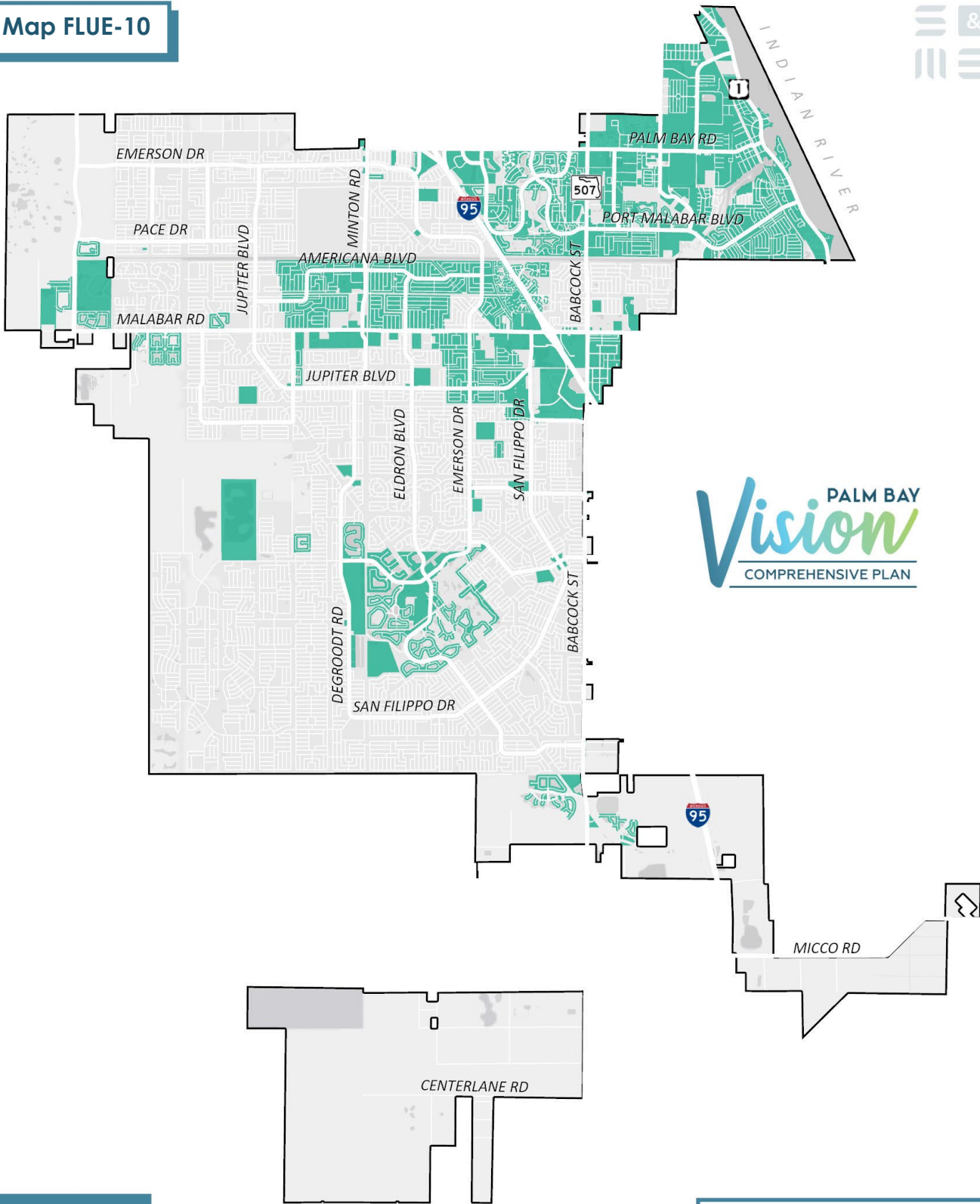
- City of Palm Bay
- Water Feature
- Water Service Area

Source: City of Palm Bay, 2022.



WATER SERVICE AREA





PALM BAY
Vision
COMPREHENSIVE PLAN

LEGEND

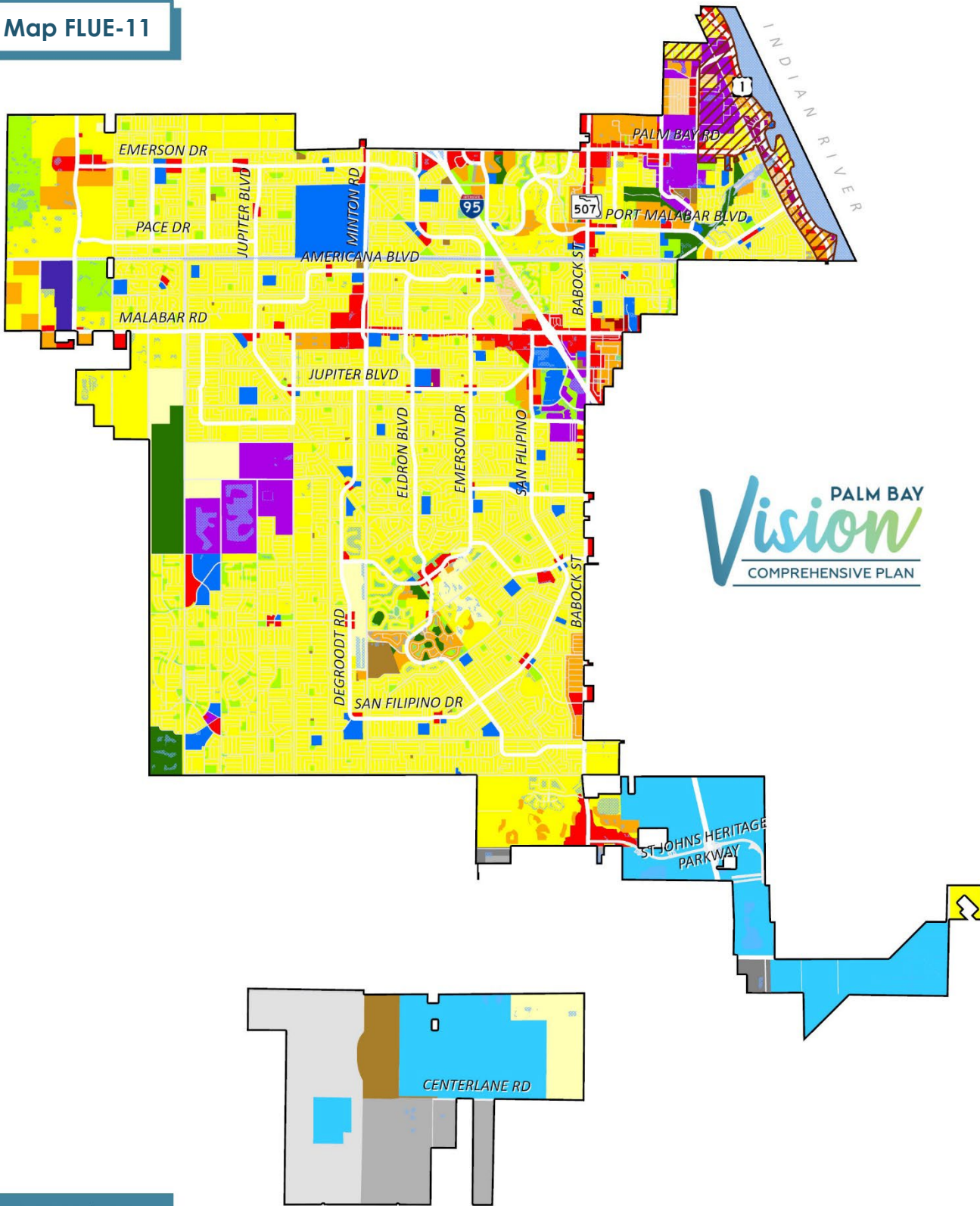
-  City of Palm Bay
-  Water Feature
-  Sanitary Sewer Service Area

Source: City of Palm Bay, 2022.

SANITARY SEWER SERVICE AREA



Map FLUE-11



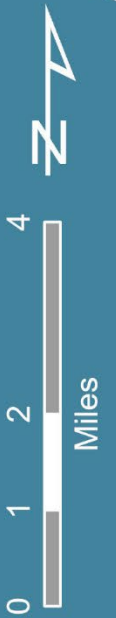
PALM BAY
Vision
COMPREHENSIVE PLAN

LEGEND

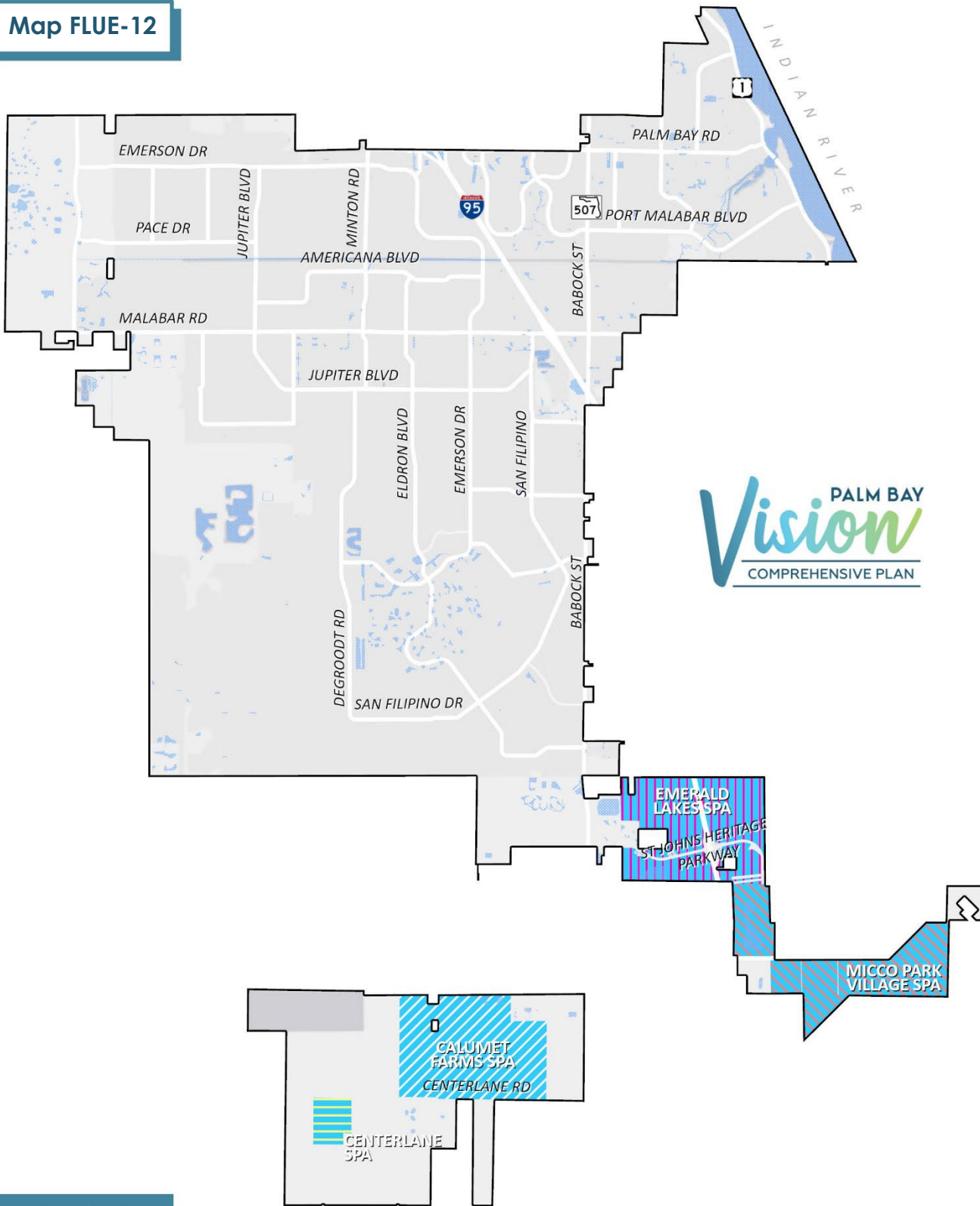
City of Palm Bay	HDR (20 du/ac)	POF (0.5 FAR)	CON (0.05 FAR)
Bayfront CRA	NC (25 du/ac; 0.5 FAR)	COM (2.5 FAR)	SPA
Water Feature	CMU (30 du/ac; 1.0 FAR)	IND (5.0 FAR)	AGR (COUNTY)
Future Land Use	UMU (40 du/ac; 2.5 FAR)	PSP (2.0 FAR)	R 1:2.5(COUNTY)
RSF (0.2 du/ac)	RAC (See Ord. 18-52)	UTIL (1.5 FAR)	R-1 (COUNTY)
LDR (5 du/ac)	PFU (10 du/ac; 1.0 FAR)	ROS (0.25 FAR)	NC (COUNTY)
MDR (10 du/ac)			

Source: City of Palm Bay, 2022.

FUTURE LAND USE



Map FLUE-12



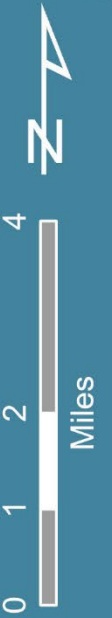
PALM BAY
Vision
COMPREHENSIVE PLAN

LEGEND

- City of Palm Bay
- Water Feature
- Special Planning Area (SPA)
- Centerlane SPA
- Emerald Lakes SPA
- Micco Park Village SPA
- Calumet Farms SPA

Source: City of Palm Bay, 2022.

SPECIAL PLANNING AREAS



GOAL FLU-1

Ensure a high quality, diversified living environment through the efficient distribution of compatible land uses.

Objective FLU-1.1

Adopt and implement a Future Land Use Map (FLUM), which may be amended from time to time, to regulate the location, use, density, and intensity of new development in the City.

Policy FLU-1.1A. New development projects shall be consistent with the typical uses, densities, and intensities assigned to the future land use categories (FLUCs) identified in Table FLU-1, which may be amended from time to time.

Policy FLU-1.1B. The City’s zoning map and districts shall be consistent with the Palm Bay FLUM and implement and further refine the typical uses, densities, and intensities prescribed for each FLUC.

Policy FLU-1.1C. Density and intensity shall generally be measured as follows (unless specifically stated otherwise within this Plan):

- (a) Density: dwelling units per gross residential acre; and
- (b) Intensity: Floor Area Ratio (FAR), calculated by dividing the gross floor area of a nonresidential building by the gross square footage of the site.

Policy FLU-1.1D. As shown in Table FLU-1, density and intensity bonuses may be achieved within select FLUCs if certain criteria have been met. These criteria, detailed within the City’s Land Development Code (LDC), may include the provision of:

- (a) a vertical mix of uses;
- (b) affordable housing units as defined in the Florida Statutes;
- (c) underground electric utilities;
- (d) structured parking;
- (e) public art displays;
- (f) connections to the regional trail system;
- (g) a bus turnout facility with a covered transit shelter;
- (h) publicly accessible park(s) or plaza(s); and
- (i) design features that are consistent with the City’s Low Impact Design (LID) Manual.

Table FLU-1. Future Land Use Map Categories

FLUC	General Purpose	Typical Uses	Maximum Density (du/ac)	Maximum Intensity (FAR)¹
Rural Single-Family (RSF)	Areas of low density rural residential character interspersed with large tracts of agriculture, open space, or recreation	Single family homes, agriculture, recreation, and institutional uses	0.2 du/ac	n/a
Low Density Residential (LDR)	Areas of low density suburban residential character	Single family homes, duplexes, accessory dwelling units, recreation, and institutional uses	5 du/ac	n/a
Moderate Density Residential (MDR)	Transitional areas of increasingly urban, moderate density residential character	Single family homes, duplexes, accessory dwelling units, mobile homes, recreation, and institutional uses	10 du/ac	n/a
High Density Residential (HDR)	Areas of urban, high density residential character	A range of housing types, recreation, and institutional uses	20 du/ac	n/a
Neighborhood Center (NC)	Areas accommodating high residential densities complemented by neighborhood-scale commercial and office uses	A range of housing types, commercial, office, recreation, and institutional uses	25 du/ac (30 with density bonus) ²	0.5 FAR (1.0 with intensity bonus) ²
Community Mixed-Use (CMU)	Nodes of high intensity mixed-use development within a compact, urban environment—primarily at the intersection of collector or arterial roadways	A range of housing types, commercial, office, recreation, and institutional uses	30 du/ac (35 with density bonus) ²	1.0 FAR (1.5 with intensity bonus) ²
Urban Mixed-Use (UMU)	Concentrations of very high intensity mixed-use development within a pedestrian-friendly environment—primarily at the intersection of arterial roadways	A range of housing types, commercial, office, recreation, and institutional uses	40 du/ac (50 with density bonus) ²	2.5 FAR (3.5 with intensity bonus) ²
Regional Activity Center (RAC)	Master planned communities which provide employment opportunities in close proximity to residential development within a compact, urban environment	See Objective FLU-1.6	13 du/ac	4,000,000 sq. ft.
Parkway Flex Use (PFU)	A range of commercial and office uses located along highly visible corridors within	Retail, personal service establishments, daycare centers, church/religious uses,	10 du/ac	1.0 FAR ³

	the City supported by moderate density residential development	restaurants, financial institutions, office uses, service stations with fuel sales, food service, theaters, professional office uses, medical or veterinary clinics, and a range of housing types		
Professional Office (PO)	Areas accommodating low intensity office development—often serving as a transition between commercial and residential areas	Professional offices and services, financial institutions, recreation, and institutional uses	n/a	0.5 FAR
Commercial (COM)	Areas supportive of low-to - moderate intensity commercial developments	Offices, retail businesses, personal service businesses, day care centers, restaurants, financial institutions, hotels and motels, and other similar uses, as well as institutional activities	n/a	2.5 FAR
Industrial (IND)	Areas accommodating industrial activity and other significant employment-generating uses	Manufacturing, warehousing, research and development, and other similar uses, as well as institutional activities	n/a	5.0 FAR
Public/Semi-Public (PSP)	Areas intended to accommodate major existing and programmed public/quasi-public facilities	Government owned facilities, churches, utilities, clubs and lodges, educational facilities, recreation facilities, hospitals, congregate living facilities, and similar uses	n/a	2.0 FAR
Utilities (UTL)	Areas which accommodate public and private utilities	Public and private utilities	n/a	1.5 FAR
Recreation & Open Space (ROS)	Areas supportive of parks, recreation, and open spaces	Parks, recreational, and open spaces	n/a	0.25 FAR
Conservation (CON)	Areas of major public or privately held lands reserved for the primary purpose of the preservation of natural resources	Floodways, nature sanctuaries, and areas established for long-term conservation	n/a	0.05 FAR
Special Planning Area (SPA)	Areas which, due to their scale and unique development objectives, permit a range of uses, densities, and intensities. For more information, see GOAL FLU-3.			

¹ Unless noted as maximum square footage in the table

² See Policy FLU-1.1D.

³ A minimum of 40 square feet of commercial space shall be provided for each residential unit.

Objective FLU-1.2

Adopt, amend, and enforce land development regulations which implement the provisions of the Comprehensive Plan.

Policy FLU-1.2A. The City shall maintain land development regulations to implement this Comprehensive Plan. The regulations shall include standards which, at a minimum:

- (a) Regulate the density, intensity, and range of uses by establishing zoning district regulations;
- (b) Ensure compatibility between uses, consistent with the definition of compatibility found in Sec. 163.3164(9), Florida Statutes;
- (c) Protect natural resources;
- (d) Regulate the permitted location, size, and distribution of signs;
- (e) Establish procedures for assessing the impacts of new development on public facilities and services; and

- (f) Incentivize the use of energy efficient development practices.

Policy FLU-1.2B. Within one year of adopting an amendment to the Comprehensive Plan, the City shall update the LDC, if applicable, to implement the amendment and maintain consistency between the two documents.

Policy FLU-1.2C. Enforce the citizen participation provisions established in the LDC for all applicable planning applications.

Policy FLU-1.2D. Continue to accommodate and recognize planned unit developments (PUDs) within the LDC. The purpose of PUDs shall be to provide flexibility in the application of development standards to accommodate a superior urban form and promote quality development that could not otherwise be achieved through conventional zoning.

Objective FLU-1.3

Promote the development of sustainable neighborhoods that provide a diverse range of housing options, are supported by public facilities, and maintain access to commercial areas for goods, services, and employment.

Policy FLU-1.3A. Maintain regulations in the LDC to accommodate a wide range of housing types and varying densities in conformance with this Plan.

Policy FLU-1.3B. High density residential development shall be directed to areas of the City which possess:

- (a) Alternative transportation infrastructure such as bike lanes, trails, transit, and sidewalks;
- (b) Nonresidential uses which meet the daily needs of residents for goods, services, and employment; and
- (c) public facilities, such as centralized water and sewer systems, available for connection.

Policy FLU-1.3C. Reevaluate the City's Subdivision Regulations to promote walkability, internal and external connectivity, and alternative modes of travel.

Policy FLU-1.3D. All new development shall connect to the City's central water and sewer system, unless exempted within the provisions of the Infrastructure Element.

Policy FLU-1.3E. Requests to change the FLUM determined to negatively impact hurricane evacuation plans, routes, or shelter facilities as determined by the review criteria contained in the Coastal Management Element (CME) shall be denied.

Policy FLU-1.3F. New development projects must mitigate hurricane sheltering and evacuation impacts in accordance with the CME and the LDC.

Objective FLU-1.4

Provide and maintain FLUCs and zoning districts that would accommodate a diverse range of nonresidential activities of varying types and sizes.

Policy FLU-1.4A. The LDC shall direct commercial activities to develop at nodes, rather than along roadway corridors. Where appropriate, developments within these nodes shall provide:

- (a) Shared access, parking, and loading facilities;
- (b) Context-sensitive connections to nearby or adjacent residential neighborhoods;
- (c) Transitions in density, intensity, and uses between nearby or adjacent uses;
- (d) A branded wayfinding and signage program;
- (e) Coordinated, quality architecture; and
- (f) Buffering tools such as landscaping, open space, berms, walls, and/or other suitable

screening mechanisms to protect adjacent established single-family neighborhoods.

Policy FLU-1.4B. Amend the LDC to allow professional offices when utilized as:

- (a) a transition between commercial and residential uses; or
- (b) infill on properties within developed portions of the community infeasible for residential, commercial, or mixed-use development.

Policy FLU-1.4C. Amend the LDC to encourage the development of neighborhood-scale commercial uses within, or within close proximity to, residential areas.

Objective FLU-1.5

Support the creation of harmonious mixed-use communities with residential and nonresidential uses collocated and integrated into a sustainable development pattern.

Policy FLU-1.5A. Support the creation and growth of community activity centers, which include a mix of residential and nonresidential uses within a compact, walkable setting, by:

- (a) Developing a master plan for the potential community activity center along Tukey Creek;
- (b) Directing developers to locate higher density and intensity activities within activity centers; and
- (c) Establishing branded wayfinding and signage programs for new and existing community activity centers.

Policy FLU-1.5B. Establish development incentives for developers to redevelop properties which provide waterfront access and viewsheds to Turkey Creek, Palm Bay, and the Indian River Lagoon.

Policy FLU-1.5C. Work with the community to establish a long-term vision and strategic plan for Port Malabar Units 51, 52, and 53 (also known as The Compound).

Policy FLU-1.5D. Continue to explore opportunities to incorporate more innovative planning principles into the LDC which may help cultivate a more sustainable land use pattern, such as:

- (a) Adopting form-based code regulations for community activity centers;
- (b) Requiring buildings to be placed closer to the street;
- (c) Permitting smaller lot sizes;
- (d) Incentivizing construction that utilizes low impact development (LID) techniques;
- (e) Reducing minimum parking requirements and requiring parking facilities to be located to the rear or side of buildings;
- (f) Promoting shared driveway, parking, loading, stormwater, and other similar facilities between uses of similar use and scale;
- (g) Establishing a transfer of development rights (TDR) program; and
- (h) Permitting the clustering of uses to preserve wetlands, open space, and other valuable natural amenities.

Policy FLU-1.5E. Continuously evaluate the effectiveness of the LDC in promoting efficient land use patterns.

Policy FLU-1.5F. Discourage the proliferation of strip and automobile-oriented development.

Objective FLU-1.6

The Regional Activity Center (RAC) FLUC is intended to facilitate the development of large-scale, master planned communities which will serve as integrated centers of commerce and employment.

Policy FLU-1.6A. New RAC designations shall be located in close proximity to I-95 or an intersection of arterial and collector roads.

Policy FLU-1.6B. Development within a RAC shall be approved through the City's Planned Development (PD) zoning approval process and require a Concept Master Land Use Plan (CMLUP), Design Guidelines, and a Conservation Area Management Plan (CAMP).

Policy FLU-1.6C. The RAC Design Guidelines shall address and describe in appropriate detail the following:

- (a) Principles of the Development Plan;
- (b) Development standards for the approved uses;
- (c) Resource- and activity-based open space areas;
- (d) Infrastructure and engineering development standards;
- (e) Transit development and mobility standards for streets, bicycle lanes, trails, and sidewalks;
- (f) General landscaping standards;
- (g) Lighting standards;
- (h) Signage standards; and
- (i) Buffering standards.

Policy FLU-1.6D. A RAC development shall provide a balanced mix of uses and shall be composed of Urban Living Areas, Open Space Areas, and a Mixed-Use Town Center or Workplace or combination thereof. These areas are defined as follows:

- (a) Urban Living Areas - residential areas which include housing types of varying styles and price points;
- (b) Open Space Areas - activity-based or resource-based outdoor areas. *Activity-based Open Space Areas* provide recreational opportunities and includes such areas as walkways, bike paths, trails, picnic areas, playgrounds, lakes, and parks. *Resource-based Open Space Areas* are intended to protect and enhance environmental systems and may include wetlands, uplands or any other environmental features;
- (c) Mixed-Use Town Centers - the recognizable commercial and civic core of the community that is sized to meet the needs of residents within one mile of the community core; and
- (d) Workplaces - hubs which provide a variety of employment opportunities.

Policy FLU-1.6E. To ensure that a RAC is pedestrian friendly and promotes the efficient movement of people, the following principles shall be incorporated into the Design Guidelines:

- (a) At buildout, homes shall be within one half mile of transit, a Mixed-Use Town Center, a Workplace, a recreational use, or a public/semipublic use.
- (b) Streets shall be pedestrian friendly, tree-lined, and provide for on-street parking where appropriate.
- (c) Homes shall be built close to streets with the majority of the homes having street-facing facades and/or porches, windows

and doors. Homes may not need to front on the street so long as the home is designed in a manner that is consistent with the principles of Traditional Neighborhood Design or New Urbanism.

- (d) Mixed-use and commercial structures shall be built close to streets with street facing facades and entrances. Parking lots and parking structures are to be hidden behind the building to the fullest extent practicable.
- (e) Lighting shall be designed to enhance safety and be consistent with "dark sky" objectives to the maximum extent practicable.
- (f) Brick pavers, roundabouts, traffic circles and other traffic calming techniques shall be employed in key locations to enhance aesthetics, improve pedestrian access, reduce vehicle speeds and promote safety within all travel modes.
- (g) All streets shall have sidewalks on both sides. Sidewalks shall be a minimum of six feet in width to accommodate pedestrian activity.

Policy FLU-1.6F. To ensure the efficient movement of people through the RAC, the following design principles shall be incorporated into and made a part of the Design Guidelines:

- (a) The street system shall be a well-connected grid-based system that is fully integrated and designed to facilitate the expansion of the system as the RAC develops.
- (b) The street system shall be designed in a hierarchy that provides for alternative cross sections to facilitate the development of narrow neighborhood streets, boulevards, and alleys. Streets are to be interconnected both internally and

externally to both move and disperse traffic efficiently.

- (c) The arrangement and design of streets shall promote a pleasant, pedestrian and bicycle-friendly environment with an emphasis on convenient access to surrounding neighborhoods and community amenities.

Policy FLU-1.6G. The CAMP associated with each RAC shall:

- (a) Identify all jurisdictionally defined wetlands and environmentally sensitive areas;
- (b) Provide for wildlife corridors;
- (c) Designate the property to be placed in conservation easements;
- (d) Promote interconnected linkage between existing conservation or jurisdictional areas, activity- or resource-based open space, and the land within the RAC; and
- (e) Provide a minimum buffer of 25 feet adjacent to all jurisdictional wetlands.

Policy FLU-1.6H. Development features not specifically addressed in the Design Guidelines or CAMP must comply with the LDC. In the event of a conflict between the Design Guidelines or the CAMP, and the LDC, the most stringent requirement shall apply.

Policy FLU-1.6I. A preliminary wetlands and endangered species assessment, including an analysis of topography and soils, shall be completed prior to the designation of a RAC.

Policy FLU-1.6J. Residential development within a RAC shall have a minimum density of five dwelling units per gross residential acre and the residential units shall be allocated among the Urban Living Area, Mixed-Use Town Center, and Workplace as follows:

- (a) 20% of the approved residential units shall be placed in the Mixed-Use Town Center or the Workplace;
- (b) Single family units shall be limited to 45% of the approved residential units;
- (c) Multi-family units shall be a minimum of 55% of the approved residential units; and
- (d) 10% of the approved residential units shall qualify as affordable housing which, for this purpose, shall mean housing affordable to persons with incomes between 80% and 140% of the median household income in Brevard County.

Policy FLU-1.6K. The following standards shall be met in designing the Urban Living Area:

- (a) Minimum Size: 25% of the net buildable area of the RAC;
- (b) Maximum Size: 40% of the net buildable area of the RAC;
- (c) Minimum Density: five units per gross acre within the Urban Living Area;
- (d) Maximum Density: 13 units per gross acre within the Urban Living Area; and
- (e) Single family detached, single family attached, multi-family, and appropriate public/semipublic, and recreation uses are permitted.

Policy FLU-1.6L. The following standards shall be met in designing a Mixed-Use Town Center:

- (a) Minimum Size: 20% of the net buildable area of the RAC;
- (b) Maximum Size: 50% of the net buildable area of the RAC;
- (c) Maximum Intensity: 2,000,000 square feet;
- (d) Shall include a vertically integrated mix of higher density and intensity development;

- (e) Commercial, professional office, multi-family residential, and public/semipublic uses are permitted;
- (f) Residential uses may be located above commercial or professional office uses; and
- (g) On-street parking must be provided where appropriate.

Policy FLU-1.6M. The following standards shall be met in designing a Workplace:

- (a) Minimum Size: 20% of the net buildable area of the RAC;
- (b) Maximum Size: 60% of the net buildable area of the RAC;
- (c) Maximum Intensity: 2,000,000 square feet;
- (d) Uses may be mixed horizontally or may be contained within multiple use buildings;
- (e) Include denser housing products than traditional single-family detached homes;
- (f) Commercial, professional office, light industrial multi-family residential, and public/semipublic uses are permitted; and
- (g) Parklets shall be encouraged.

Policy FLU-1.6N. Open Space Areas shall meet the following standards:

- (a) Open Space Areas shall be a minimum of 30% of the gross acreage;
- (b) A minimum of 10% of the Open Space Area shall be activity-based; and
- (c) Stormwater management areas may be included in resource-based Open Space Areas.

Policy FLU-1.6O. For purposes of these policies, net buildable area is defined as the gross acreage of the lands designated as a RAC, less the resource-based Open Space Areas.

Policy FLU-1.6P. When a RAC includes both a Mixed-Use Town Center and a Workplace, the

combined size of both uses shall be a minimum of 35% of the RAC's net buildable area.

Policy FLU-1.6Q. Development within a RAC shall be based on the generalized principles of Smart Growth, Traditional Neighborhood Design, New Urbanism, or Transit Oriented Design. As such, the RAC shall include walkability standards, compact development patterns, quality architecture and urban designs, and a hierarchy of streets or street system to foster connectivity and pedestrian mobility as well as alternative modes of travel. Buildings within a RAC shall meet LEED standards or best management practices from the United States Green Building Council and Florida Green Building Council to the fullest extent practicable.

Policy FLU-1.6R. To reduce automobile trips and greenhouse gases, the following standards shall be met within each RAC:

- (a) Streets shall be pedestrian friendly;
- (b) Sidewalks and bike lanes shall be at least five feet wide, multi-purpose recreation trails at least ten feet wide, and unimproved nature trails and boardwalks connecting residential areas with a Mixed-Use Town Center, a Workplace, recreational uses, and public/semipublic uses shall be provided;
- (c) Streets and pedestrian ways lighting shall be designed to enhance safety and be consistent with "dark sky" objectives to the maximum extent practicable;

(d) Traffic calming techniques shall be employed to the maximum extent practicable; and

(e) Transit/bus/trolley locations shall be provided.

Policy FLU-1.6S. Landscaping shall be designed and installed using the University of Florida Friendly Plant List and managed in accordance with the latest University of Florida Yards and Neighborhoods Recognition Checklist.

Policy FLU-1.6T. To promote the creation of employment opportunities, the following residential/nonresidential thresholds shall be met:

- (a) Prior to the issuance of building permits for more than one third of the residential units, a minimum of 150 square feet of nonresidential square footage shall be constructed for each residential unit developed.
- (b) Prior to the issuance of building permits for more than two thirds of the residential units, a minimum of 150 square feet of nonresidential square footage shall be constructed for each residential unit developed.
- (c) At buildout, a minimum of 0.6 jobs shall have been created for each residential unit constructed.

Policy FLU-1.6U. The jobs/housing ratio shall be measured after the issuance of site plan approval for nonresidential development. If upon review, the jobs/housing ratio has not been reached, the City may require appropriate mitigation.

Objective FLU-1.7

Expand, protect, and promote the City’s industrial market.

Policy FLU-1.7A. Identify opportunities to capitalize on the existing defense contracting industry cluster found in South Brevard.

Policy FLU-1.7B. Strive to facilitate a quarterly meeting with Patrick Space Force leadership to discuss opportunities for supporting local employment and industry growth within the City.

Policy FLU-1.7C. Explore the creation of an incentive program to attract the relocation or development of new industrial uses within Palm Bay. This program may include, but not be limited to:

- (a) Reimbursement of impact mitigation costs
- (b) Donation of public lands
- (c) Streamlined development review process

- (d) Waiver of application and other administrative fees

Policy FLU-1.7D. Continue to evaluate and monitor industrial uses to ensure their impacts on natural resources, public facilities, and the public in general are mitigated to the greatest extent practicable and comply with all local, state, and federal air and water quality standards.

Policy FLU-1.7E. The LDC shall include provisions to prevent encroachment of non-industrial uses in areas possessing a IND FLUM designation, unless such uses are explicitly permitted within industrial lands by Florida Statutes.

Policy FLU-1.7F. Update the LDC to incorporate criteria for mixed use development which includes industrial uses.

Objective FLU-1.8

Future development activity shall be compatible with established neighborhoods and strive to enhance the character of the community.

Policy FLU-1.8A. The City shall prohibit future encroachment of nonresidential FLUCs into established residential neighborhoods if they are incompatible with the character of the area.

Policy FLU-1.8B. Establish locational criteria within the LDC for future rezonings to accommodate future population growth. The following principles shall be considered:

- (a) Maximizing compatibility (consistent with the definition found in the Florida Statutes) between uses;
- (b) Providing a transition between areas of different character, density or intensity;

- (c) Locating higher density and intensity uses in areas which already feature adequate vehicular access and access to public facilities;

- (d) Potential for creating land use inequities; and

- (e) Avoiding 'spot zoning' by discouraging the rezoning of a property to a designation which is substantially different from that of the surrounding area.

Policy FLU-1.8C. The City shall continue enforcing provisions within the LDC which limit industrial traffic through predominately residential areas.

Objective FLU-1.9

Ensure public school facilities are integrated harmoniously within the Palm Bay community.

Policy FLU-1.9A. Encourage new educational facilities to locate within close proximity to the neighborhoods in which they serve.

Policy FLU-1.9B. Revisit the LDC to include additional circulation, design, and compatibility standards for new developments located within close proximity to educational facilities.

Policy FLU-1.9C. Work with the Brevard County School Board to ensure adequate access

(vehicular and pedestrian) to new school facilities within Palm Bay.

Policy FLU-1.9D. Coordinate with the Space Coast Transportation Planning Organization (SCTPO) and the Brevard County School Board to identify opportunities to implement the recommendations and findings of the SCTPO's Safe Routes to School Program.

Objective FLU-1.10

Cultivate an environment supportive of sustainable economic development within the City.

Policy FLU-1.10A. Seek to develop a long-term Economic Development Plan for the City.

Policy FLU-1.10B. Continue to meet with local entrepreneurs and business owners to identify ways in which the City may support the growth and development of startups and small businesses within the community.

Policy FLU-1.10C. Explore opportunities to advance minority-owned business through local programs and partnerships.

Policy FLU-1.10D. Identify and support ecotourism opportunities within the City.

Policy FLU-1.10E. Establish, support, coordinate, and help promote a local outdoor market in Palm Bay.

Objective FLU-1.11	Establish procedures to maintain and enhance public facilities within the City.
---------------------------	---

Policy FLU-1.11A. Discourage the spending of City funds to expand public facilities and services outside the Urban Service Area (USA)—the boundaries of which are shown within the FLUM Series.

Policy FLU-1.11B. Condition development orders based upon the provision of essential public facilities to prevent the failure of meeting established levels of service (LOS).

Policy FLU-1.11C. Review annexation requests to determine if the site’s maximum development potential may negatively impact the adopted LOS for any public facility or service. If such requests are estimated to negatively impact the City’s ability to maintain its adopted LOS, the developer will be required to enter into an impact mitigation agreement with the City prior to the issuance of a final development order.

Objective FLU-1.12

Work with the community to identify and implement programs and policies to create a more equitable Palm Bay.

Policy FLU-1.12A. Explore incorporating equity considerations as part of the City’s criteria for approving land use applications. Considerations may include (but not limited to):

- (a) Eliminating environmental injustices;
- (b) Building affordable housing;
- (c) Addressing existing food deserts;
- (d) Providing essential public facilities such as parks and schools;
- (e) Improving public access and vistas to the Indian River and Turkey Creek;
- (f) Creating more pedestrian- and transit-friendly neighborhoods; and
- (g) Addressing other equity concerns brought forth by the community, staff, or elected officials.

Policy FLU-1.12B. Perform an assessment of the City’s public engagement efforts to determine the success of engaging citizens of diverse backgrounds that represent the city population.

Policy FLU-1.12C. Continue to research and implement best practices for incorporating more virtual engagement opportunities for public meetings and hearings.

Policy FLU-1.12D. Explore hosting community meetings in spaces and venues where residents are already gathered.

Policy FLU-1.12E. Strive to improve the City’s youth engagement efforts.

Policy FLU-1.12F. Form stronger partnerships with local community-based organizations for culturally competent outreach and engagement efforts.

Policy FLU-1.12G. Identify and eliminate barriers for accessing fresh food sources.

Policy FLU-1.12H. Study the impacts generated from permitting new discount variety stores on the ability of residents to access fresh meats, fruits, and vegetables.

Policy FLU-1.12I. Seek to fund or develop a community garden program within the City.

GOAL FLU-2

Identify, protect, and enhance the City’s inventory of cultural and natural resources.

Objective FLU-2.1

Continue to identify, protect, and enhance Palm Bay’s natural resources.

Policy FLU-2.1A. Land use decisions shall consider the ability of the natural environment to support the proposed development based on the project’s consistency with the following:

- (a) Floodplain Management Ordinance;
- (b) Stormwater Management and Conservation Ordinance;
- (c) Trees and Shrubbery Ordinance;
- (d) Well and Wellfield Protection Ordinance; and
- (e) Zoning Ordinance.

Policy FLU-2.1B. The following land uses and activities shall be prohibited from locating within two hundred feet of any public utility water well or prime aquifer recharge areas:

- (a) Stormwater discharge retention-detention facilities;
- (b) Any industrial or commercial activities that utilize, generate, or store any hazardous constituents;
- (c) Sanitary landfills;
- (d) Domestic wastewater facilities including underground storage; and
- (e) Mining operations.

Policy FLU-2.1C. The following land uses and activities shall be prohibited from locating within

one thousand feet of a public utility water well or prime aquifer recharge area:

- (a) Any industrial or commercial activities that utilize, generate or store in excess of five gallons of liquid or twenty-five pounds of solid hazardous constituents; and
- (b) Fuel storage tanks and pumps.

Policy FLU-2.1D. Ensure the provisions of the LDC manage and protect the natural functions of local stormwater management and drainage facilities, public potable water wellfields, floodplains, and other natural or manmade water systems.

Policy FLU-2.1E. Amend the LDC to ensure that development orders are not issued in areas of the community where drainage conditions are not sufficient for building construction, drainage, roads, and other related facilities.

Policy FLU-2.1F. Modify the land development regulations which protect and preserve wetlands to include the following standards:

- (a) Wetlands shall be defined based on the same methodology, soil types, hydrological requirements and vegetation types as those utilized by the Florida Department of Environmental Protection (FDEP), the U.S. Army Corps of Engineers

- (USACE), and the St. Johns River Water Management District (SJRWMD);
- (b) Interim regulation of wetlands shall be based on this Policy and the City's Stormwater Management and Conservation Ordinance;
 - (c) If any activity which degrades or destroys a wetland is undertaken without a permit, the person performing such activity shall be responsible for repairing and maintaining the wetland. If it is not technically feasible for the responsible person to perform the repair and maintenance of the wetland, then the responsible person shall mitigate for the wetland loss. Mitigation shall include, but not be limited to: wetland restoration, wetland replacement, wetland preservation or monetary compensation;
 - (d) Criteria within the LDC shall be consistent with and at least as strict as the criteria utilized by FDEP, USACE, and SJRWMD. No development plan or permit shall be approved for wetlands or wetland buffer zones unless the applicant demonstrates that encroachment on the wetland or wetland buffer area is necessary for access and that no feasible upland alternative exists;
 - (e) Septic tank drainfields are prohibited from locating within a wetland and must maintain a 75' buffer between the edge of the drainfield and the identified boundary of any wetland and shall be located in soils suitable for septic tank drainfields;
 - (f) The area of any wetland dredged, filled, cleared of vegetation, or deepened shall not exceed 10% of the wetland within the applicant's property boundaries except as part of a required FDEP, USACE, SJRWMD, or City mitigation area;
 - (g) Natural wetlands shall not be dredged, cleared of vegetation, deepened, widened, or otherwise altered unless permits are received from FDEP, USACE, SJRWMD, and the City of Palm Bay;
 - (h) Development activities must be planned, designed, constructed and maintained to preserve the function of wetlands as a natural storage area for water, as a natural filter for reducing and assimilating pollutants, as water detention areas, and as habitat for native and endangered species;
 - (i) Wetlands shall not be used as primary sediment traps during and/or after development. No grading, cutting, or filling shall be commenced until erosion and sedimentation control devices have been installed between the disturbed area and all wetlands. Such devices shall be left in place for a period of time sufficient for stabilized conditions to develop on the filled zone;
 - (j) Restrictive or conservation easements to preserve the wetland shall be required as a condition to permitting alteration or development of any identified wetland;
 - (k) Maximum residential density within wetland areas shall be one unit per five acres without a centralized sewage system and one unit per three acres provided centralized sewage service is required and available; and
 - (l) Vegetated buffer zones or strips shall be maintained or created between all developed areas and wetlands, measured from the upland/wetland interface, as determined by vegetative dominance or from the new high water line (as determined in accordance with Sec. 174.022, Florida Administrative Code), whichever is greater. The width of this

buffer shall be sufficient to prevent erosion and trap the sediments in overland runoff but shall be at least the following minimum distances:

- (i) For natural creeks, rivers, and water bodies connected to waters of the state, a minimum 25-foot wide buffer zone of native upland and transitional vegetation shall be preserved and maintained;
- (ii) Where natural bluffs with slopes exceeding one foot vertical to three feet horizontal occur, required buffers shall start at the top of the bank or bluff;
- (iii) For isolated wetland areas, a minimum 25-foot buffer zone of appropriate native vegetation shall

be provided and maintained from the landward extent of wetlands vegetation;

- (iv) The buffer zone must consist of preserved native vegetation. Areas of the buffer void of existing natural vegetation shall be supplemented with appropriate native vegetation. The City shall develop a list of approved vegetation types with the assistance of the Planning and Zoning Board (LPA) and the Turkey Creek Sanctuary Advisory Committee; and
- (v) A buffer study shall be prepared to determine the size of wetland buffer needed to maintain wetland dependent wildlife and vegetation.

Objective FLU-2.2

Continue to identify and preserve Palm Bay’s historical, archaeological, and architectural heritage.

Policy FLU-2.2A. Continue to identify and analyze the location and condition of cultural resources with the assistance of historians, archaeologists, and local partners.

Policy FLU-2.2B. Incorporate provisions into the LDC which protect culturally significant structures.

Policy FLU-2.2C. Work with the community to draft and adopt a comprehensive cultural preservation ordinance to safeguard the City’s historical, archaeological, and architectural heritage.

Policy FLU-2.2D. Explore the creation of a local register of cultural resources.

Policy FLU-2.2E. Seek to educate the public on the importance, value, process, and benefits of preserving local cultural resources.

Policy FLU-2.2F. Consider applying to become a Certified Local Government (CLG), which grants the City access to technical assistance, training, and federally funded CLG subgrants to use for preservation purposes.

GOAL FLU-3

Continue to recognize and advance past planning agreements which result in a more cohesive and harmonious community..

Objective FLU-3.1

Continue to enforce the following previously adopted policies applicable to the Bayside Lakes community.

Policy FLU-3.1A. Provide an adequate circulation pattern by ensuring the continuation of all collector and higher classification roadways into and through the Town Centre.

Policy FLU-3.1B. Specific provisions shall be made to continue the St. Johns Heritage Parkway connector from Bombardier Boulevard SW east to Babcock Street.

Policy FLU-3.1C. Mass transit stops shall be provided at all major traffic generators proposed for the Town Centre.

Policy FLU-3.1D. Specific plans shall be incorporated for pedestrian and bicycle circulation.

Policy FLU-3.1E. City water and sewer services must be provided throughout all development proposed in the Town Centre.

Policy FLU-3.1F. Provisions shall be made to provide for a mixed-use development including sites for parks, public safety sites (fire and police), employment centers, public and semi-public sites, and similar needs.

Policy FLU-3.1G. LOS standards for parks, roads, water, sewer, drainage and solid waste must be maintained within the development and on impacted areas outside of the Town Centre.

Objective FLU-3.2

Continue to recognize and enforce the specific conditions applied to previously approved land development map amendment cases.

Policy FLU-3.2A. Continue to recognize and enforce the special conditions applied to each of the cases identified in Table FLU-2.

Table FLU-2. General Ordinance Conditions

Case #	Ordinance #	General Ordinance Conditions
CP-6-99	2001-65	Habitat Conservation Plan, buffers, potable water, sanitary sewer
CP-5-2000	2001-67	Wetlands, setbacks, buffers, access, potable water, sanitary sewer
CP-22-2000	2001-79	Prohibited uses, day care centers, buffers
CP-13-2002	2004-45	Density
CP-9-2003	2004-49	Location, conservation easements, density
CP-11-2003	2004-51	Density
CP-12-2003	2004-52	Density, schools, future land use
CP-13-2003	2004-53	Density
CP-14-2003	2004-54	Density, traffic study, schools
CP-16A-2003	2004-55	Density, future land use
CP-16B-2003	2004-56	Density, traffic study, future land use
CP-7-2004	2005-48	Traffic study, intensity
CP-8-2004	2005-49	Traffic study, density
CP-9-2004	2005-50	Location, conservation easements, transfer of development rights
CP-11-2004	2005-51	Traffic study, density
CP-12-2004	2005-52	Traffic study, density
CP-13-2004	2005-53	Traffic study, density
CP-1-2005	2005-92	Density, connectivity, traffic study, future land use, Palm Bay Parkway
CP-2-2005	2006-93	Density, right of way, Northwest Assessment Improvement District (NAID), Palm Bay Parkway, Malabar Road
CP-3-2005	2006-94	Density, Garvey Road, Bombardier Boulevard, traffic study, future land use
CP-4-2005	2006-95	Density; future land use, traffic study, NAID
CP-5-2005	2006-96	Traffic study, connectivity
CP-14-2005	2006-98	Density, wetlands, traffic studies, NAID
CP-15-2005	2006-99	Density, wetlands, traffic studies, NAID, Palm Bay Parkway
CP-16-2005	2006-100	Density, traffic study, NAID
CP-17-2005	2006-101	Density, traffic study, NAID
CP-02-2019	2019-22	Traffic study, access, buffering
CP-10-2019	2019-43	Driveways, traffic study, environmental study, building location
CP-2-2020	2020-18	Use limitations, agricultural activities, fencing, buffering, conditional uses, zoning
CP-6-2009	2010-22	None
CP-5-2009	2010-26	Garvey Road, right-of-way dedications, utility extensions, wetlands, traffic demand management, uses, PD approvals, buffers, design,
CP-7-2009	2010-27	Density, utility extensions, multi-family residential, LOS
CP-8-2009	2010-28	Intensity, transportation improvements, utility extensions, PD approvals, LOS
CP-25-2016	2016-79	None

Objective FLU-3.3	<p>Ensure that the plans and conditions of previously approved, large-scale development projects continue to be enforced by establishing the Special Planning Area (SPA) FLUC.</p>
--------------------------	--

Policy FLU-3.3A. The City of Palm Bay shall recognize the following SPAs:

- (a) Centerlane;
- (b) Calumet Farms;
- (c) Emerald Lakes; and

(d) Micco Park Village.

Policy FLU-3.3B. The boundaries of each SPA shall be identified on the SPA Map included within the Comprehensive Plan FLUM Series.

Policy FLU-3.3C. No new SPAs shall be considered by the City.

Objective FLU-3.4

Promote innovative approaches to development on the property located at the west end of Centerlane Road and owned by Centerlane Holdings, LLC, which was designated for solely agricultural or rural residential single purpose prior to annexation into the city.

Policy FLU-3.4A. The Centerlane SPA has been established in an area of Palm Bay which is suitable and appropriate for a range of industrial uses without impacting existing residential developments.

Policy FLU-3.4B. Development within the Centerlane SPA shall:

- (a) include a mix of industrial uses;
- (b) protect and enhance the natural environment;
- (c) promote the reduction of automobile trips and greenhouse gases by offering jobs and internal capture from nearby residential areas;
- (d) promotes energy efficiency through innovative planning, onsite job creation, alternative energy, and green business practices; and
- (e) provide job creation activities.

Policy FLU-3.4C. Maintain the economic viability of the community, maintain compatibility with other urban or rural land uses or State-owned lands, and provide for cost efficient delivery of public facilities and services for the lands contained within the Palm Bay USA.

Policy FLU-3.4D. Developments within the Centerlane SPA shall be responsible for meeting concurrency requirements by providing, constructing, funding, or participating in fair share or cost recovery programs for capital projects necessitated from the development.

Policy FLU-3.4E. Necessary infrastructure improvements shall include facilities to assure

adequate provision of water, sanitary sewer, solid waste, drainage or reuse, and roadways to serve the development and shall meet the regulatory requirements for any off-site impacts caused by the project.

Policy FLU-3.4F. Development within the Centerlane SPA shall be approved through the City's PD zoning approval process, which shall, at a minimum, require a Master Development Plan (MDP) and Design Guidelines which address and describe the following items:

- (a) Principles of the Development Plan;
- (b) Development standards as applicable for the approved uses, including buffering, access, lot dimensions, parking, storm water management, utility types and locations, setbacks, open space, amenities, building materials and placement, use of energy efficient materials and suppliers, and other standards as currently adopted in the City's Comprehensive Plan for industrial uses;
- (c) Infrastructure and engineering development standards, when applicable;
- (d) General landscaping standards;
- (e) Lighting standards;
- (f) Signage standards; and
- (g) Buffering standards for nearby residential areas, conservation areas, or recreation areas if any or as applicable.

Policy FLU-3.4G. The following uses are allowed within the Centerlane SPA:

- (a) master planned industrial developments;

- (b) alternative energy industrial developments;
- (c) public or private industrial development;
- (d) industrial uses consistent-with the City's IND FLUC;
- (e) recreation;
- (f) agricultural research and development;
- (g) farming, production, harvesting, manufacturing, processing, assembly, and storage of products associated with alternative energy sources and development, including biomass products, farm products, solar, wind, and other green technologies;
- (h) testing or trial areas for machinery or equipment related to water based or water dependent uses or resource development;
- (i) public or private facilities or utilities;
- (j) Mining, excavation, and land reclamation with limited blasting using best management practices;

- (k) institutional and education uses including public or private schools, research facilities, vocational or technical; and
- (l) other similar uses.

Policy FLU-3.4H. Individual developments shall not exceed a 0.5 FAR. and in no case shall the amount of total nonresidential square footage in the Centerlane SPA exceed 500,000 square feet. Of this 500,000, a maximum of 125,000 square feet may be permitted to develop within the first five years.

Policy FLU-3.4I. The Centerlane SPA shall include an open space component which comprises a minimum of 20% of the project's gross acreage. This area may include storm water management facilities, setback areas, buffers, agricultural and crop growing areas, recreational/parks, and landscaped areas.

Policy FLU-3.4J. The developer/owners of the Centerlane SPA shall be required to work with the SJRWMD to assure public safety regarding the current levy system, and implement additional buffers, more extensive grading/ filling/ removal of materials, or other feasible actions.

Objective FLU-3.5

Promote the development of the Calumet Farms property, which contains approximately 2,123 gross acres, into an “Aging in Place” walkable, pedestrian community using alternative energy, low impact design standards and an integrated system of active and resource based open space. The Calumet Farms SPA is intended to discourage urban sprawl, minimize the cost of community facilities, and encourage the use of creative land use planning techniques and innovative approaches to development.

Policy FLU-3.5A. The Calumet Farms SPA shall be developed as a master planned community, which will preserve conservation and environmentally sensitive areas, create compact residential development, require nonresidential uses to promote energy efficiency, provide Palm Bay with a new form of residential development, improve the economic viability of the community, maintain compatibility with other rural land uses and State-owned lands, and ensure the cost-efficient provision of public services to support this development.

Policy FLU-3.5B. Developers of the Calumet Farms SPA shall be responsible for meeting concurrency requirements by providing, funding, constructing or participating in fair share or cost recovery programs to assure all necessary infrastructure improvements, including water, wastewater, solid waste, and roadways are available to serve the development when needed. Developers shall also meet the regulatory requirements for any off-site impacts and participate in the City's fair share or cost recovery programs for the construction of improvements that are required because of impacts from the project. Such improvements necessitated by the project's impacts shall be shown on the 5-year CIP Schedule.

Policy FLU-3.5C. Development within the Calumet Farms SPA shall be consistent with the project's adopted conceptual land use plan (CLUP), which identifies the general location,

density, intensity, and composition of non-residential, residential, and institutional uses, public utilities and facilities, storm water management, wetland and upland conservation lands, wildlife corridors, parks, and roadways. The placement of various uses within the approved development may change due to regulatory issues, permitting agency requirements, infrastructure locations, or other factors. Therefore, upon approval of the City Council during the PD approval process, lines or locations of units, uses, square footages, or conservation areas may change as long as the maximum number of units, maximum square footage, and minimum amount of open space acreage of the development adopted as part of this land use amendment or within a master development agreement are not exceeded. Any density or intensity changes proposed which are in excess of those adopted, or changes which create additional land uses within the Calumet Farms SPA, shall require a land use amendment.

Policy FLU-3.5D. Development within the Calumet Farms SPA shall be approved through the City's PD zoning approval process, which shall require a MDP, Design Guidelines, and a CAMP.

Policy FLU-3.5E. The Design Guidelines shall address and describe in appropriate detail the following:

- (a) Principles of the Development Plan;

- (b) Development standards for the approved uses;
- (c) Resource-based and activity-based open space, protection of any floodplains and jurisdictional wetland areas, linkages between open space, pedestrian and wildlife corridors, and general use areas of the project;
- (d) Infrastructure and engineering development standards and required improvements necessary to meet concurrency requirements and to identify projects to be included in the annual Capital Improvement Plan update;
- (e) Mobility standards for streets, bicycle lanes, trails, and sidewalks;
- (f) General landscaping standards;
- (g) Lighting standards, compliant with "Dark Sky" criteria;
- (h) Signage standards;
- (i) Buffering standards to assure compatibility with surrounding developments; and
- (j) Interconnectivity with existing preserve or conservation areas and internal conservation sites through conservation easements, wildlife corridors, wetlands, or other natural features.

Policy FLU-3.5F. The CAMP shall provide for a set of site mitigation and management protocols for wetlands and environmentally sensitive areas designed to protect these areas and to ensure their long-term maintenance by the developer, its successors and assigns. As part of this requirement, the CAMP must also:

- (a) Identify jurisdictionally defined wetlands and environmentally sensitive areas;
- (b) Establish wildlife corridors along the northern portion of the site, along wetland boundaries, and other areas that may be derived through the site planning process;

- (c) Designate the areas to be placed in conservation easements;
- (d) Create interconnected linkage between existing conservation or jurisdictional areas, activity- or resource-based open space, and the proposed project; and
- (e) Maintain an average 25' of buffer around jurisdictional wetlands, unless otherwise proscribed by the permitting agencies, City, or other site-specific standards.

Policy FLU-3.5G. In the event of a conflict between the Design Guidelines, the CAMP, and the City's LDC, the more stringent guidelines found within either the Design Guidelines or the CAMP shall apply.

Policy FLU-3.5H. The development of the Calumet Farms SPA must demonstrate:

- (a) A mix of uses,
- (b) Protection and enhancement of the natural environment,
- (c) Minimum intrusions into natural or sensitive areas,
- (d) Reduction in automobile trips and greenhouse gases, and energy efficiency through a multi-modal transportation network, low impact design standards, and mixing uses
- (e) Clustering of units to eliminate sprawl development patterns required under the County's current land use system,
- (f) Appropriate infrastructure to meet concurrency and includes interconnected open space.

Policy FLU-3.5I. The Calumet Farms SPA shall provide a balanced mix of uses consisting of a minimum of three or more of the following components:

- (a) neighborhoods;
- (b) mixed use commercial centers;

- (c) civic spaces;
- (d) general commercial work places;
- (e) institutional uses;
- (f) educational uses;
- (g) public utilities, facilities, and services; and
- (h) open spaces.

Policy FLU-3.5J. Development within the Calumet Farms SPA shall be based upon the following density and intensity standards:

- (a) The maximum number of residential units is capped at 3,184 units;
- (b) The maximum amount of intensity permitted for commercial and office uses shall be limited to 180,000 square feet;
- (c) Maximum gross density shall not exceed 1.5 units per acre;
- (d) Net buildable area is defined as the gross acreage less the resource-based open space;
- (e) Neighborhoods shall not exceed 65% of the gross acreage; and
- (f) Open space shall be a minimum of 30% of the gross acreage.

Policy FLU-3.5K. Neighborhood living areas shall include a variety of housing types, styles, and price points. Development within these areas shall abide by the following standards:

- (a) Single family units shall be limited to 55% of the total living units.
- (b) Multi-family units shall be limited to 45% of the total living units.
- (c) Single family detached, single family attached, multi-family, and appropriate public, civic, public/semipublic, and recreation uses are permitted.
- (d) Neighborhoods shall be located within 1/4 mile of transit, a mixed-use commercial

center, a workplace, a recreational use, or a public/semipublic use.

- (e) Resource-based and activity-based open space areas shall be permitted within the neighborhoods.

Policy FLU-3.5L. A mixed-use Town Center and Babcock Street commercial center shall be the recognizable commercial and civic core of the community and shall be sized to serve the needs of residents.

Policy FLU-3.5M. Development within the mixed use commercial center shall meet the following standards:

- (a) Minimum Intensity: 12,000 square feet;
- (b) Maximum Intensity: 60,000 square feet;
- (c) May include a vertically integrated mix of higher density and intensity of development the sum of which shall not exceed the maximum unit and square footage cap;
- (d) Include more dense residential uses to promote walkability and reduce vehicle miles traveled;
- (e) Commercial, professional office, multi-family residential and public/semipublic uses/facilities/utilities/services are permitted;
- (f) Residential uses may be located above commercial or professional office uses;
- (g) Provide for on street parking where appropriate;
- (h) Be designed as a traditional Main Street; and
- (i) Be located internal to the overall development, within walking or bicycling distance to a majority of the neighborhoods.

Policy FLU-3.5N. A commercial workplace area shall be located with frontage along Babcock

Street and is intended to provide a variety of employment opportunities, including the provision of services to the City's residents.

Policy FLU-3.5O. Development within the commercial area of the Calumet Farms SPA shall abide by the following density, intensity, and use standards:

- (a) Minimum Intensity: 25,000 square feet;
- (b) Maximum Intensity: 120,000 square feet; and
- (c) Permitted uses: commercial, professional office, and public/semipublic uses, utilities, facilities, and services.

Policy FLU-3.5P. In order to protect and be compatible with natural resources including wetlands, floodplains, or adjacent lands, the Calumet Farms SPA shall preserve a minimum of 30% of the total lands as open space. In order to preserve significant amounts of functional open space, these areas shall be either activity-based or resource-based.

Policy FLU-3.5Q. Activity-based open space is defined as recreational opportunities which includes such areas as walkways, bike paths, trails, picnic areas, playgrounds, lakes, and parks. They shall be located within walking distance of residential neighborhoods and be accessible to the public. Activity-based open space areas shall be located outside of resource-based open space areas, except for bike trails, wildlife corridors, or water dependent/related activities.

Policy FLU-3.5R. Resource-based open space are defined as areas designated for conservation or wetlands or uplands preservation and are intended to protect and enhance environmental systems. Not all resource-based areas will be open to the public. Stormwater management areas shall also be included in resource-based open space areas. Resource-based open space shall consist of a minimum of 30% of the gross acres of the Calumet Farms SPA.

Policy FLU-3.5S. Upon final permitting and delineation, wetland or other jurisdictionally defined areas shall be placed in a conservation easement or provided as willing seller acquisitions.

Policy FLU-3.5T. A 200' non-buildable buffer area shall be reserved along the northern property line of the site as a resource-based open space area, which may only be used for wildlife corridors, recreational trails, or stormwater management. This buffer shall be for the Deer Run subdivision to the north.

Policy FLU-3.5U. A wildlife corridor is required to connect the Mary A. Mitigation Bank parcel to the west with proposed wildlife corridors to the east. Said corridor shall:

- (a) Be identified and designed as part of the Phase 1 development approval process;
- (b) Contain no less than 200 feet in width;
- (c) May be re-vegetated with native upland and/or wetland systems and include passive nature trails; and
- (d) Limit interior roadway crossings whenever possible.

Policy FLU-3.5V. Mining and land reclamation shall be conducted using best management practices for excavation with limited blasting.

Policy FLU-3.5W. The following standards shall be provided for in the Design Guidelines:

- (a) Streets shall be pedestrian and bicycle friendly, which includes bike lanes on all main roadways into the development;
- (b) Sidewalks shall be at least five feet wide;
- (c) Multi-purpose recreation trails, unimproved nature trails, and boardwalks shall connect residential areas with a mixed-use town center, a workplace, recreational uses, and/or public/semipublic uses;

- (d) Streets and pedestrian-way lighting shall be designed to enhance safety and be consistent with "dark sky" objectives to the maximum extent practicable;
- (e) Traffic calming techniques shall be employed to the maximum extent practicable;
- (f) Transit/bus/trolley locations shall be provided when such services become available;
- (g) Golf carts shall be an acceptable transportation form within the development;
- (h) Commercial areas may contain narrower streets than would be required in other developments within the City;
- (i) Parking shall be allowed on streets and there shall be maximum limits on paved parking areas; and
- (j) Low impact lighting and solar lighting shall be used where practical.

Policy FLU-3.5X. Development within the Calumet Farms SPA shall be based on the principles of Smart Growth, Traditional Neighborhood Design, New Urbanism, Transit Oriented Design, and the urban to rural transect theory as accepted by the Congress of New Urbanism and defined in the Smart Code. Therefore, future development within Calumet Farms SPA shall feature a compact, walkable environment with quality architecture and urban form, and a street system that fosters connectivity and alternative modes of travel.

Policy FLU-3.5Y. Site and building design within the Calumet Farms SPA shall meet either LEED standards or best management practices from the United States Green Building Council and Florida Green Building Council to the extent practical.

Policy FLU-3.5Z. The Calumet Farms SPA shall incorporate innovative planning techniques and

assure the provision of required infrastructure into the overall design and development

Policy FLU-3.5AA. In order to maximize use of existing and future public facilities and services and maintain LOS standards, the developer shall be responsible for making dedications and infrastructure improvements through such measures as impact fees, fair share agreements, utility agreements, letters of credit, bonds, special districts, or development agreements. Required improvements necessary to maintain LOS standards shall be included in the City's Capital Improvement schedule at the next annual update. Such improvements will include, but may not be limited to:

- (a) Extension of water, reuse, and wastewater lines;
- (b) Transportation improvements necessary to maintain LOS standards; and
- (c) Coordination of future road right of way needs during the development order approval process to aid implementation of future roadways, such as the Fellsmere Connector or others identified in the Brevard County TPO's or City's Long Range Transportation Plan.

Policy FLU-3.5BB. Landscaping shall be substantially designed and installed using the University of Florida Friendly Plant List and managed in accordance with the latest University of Florida Yards and Neighborhoods Recognition Checklist.

Policy FLU-3.5CC. To promote the creation of employment opportunities, the following residential/nonresidential thresholds shall be met:

- (a) Prior to the issuance of building permits for more than 500 dwelling units, a minimum of 12,000 square feet of nonresidential development shall be constructed;

- (b) Prior to the issuance of building permits for more than 2,000 dwelling units, a minimum of 75,000 square feet of nonresidential development shall be constructed;
- (c) Prior to the issuance of building permits for more than 3,000 dwelling units, a minimum of 160,000 square feet of nonresidential development shall be constructed; and

- (d) At build out a minimum of 0.3 jobs shall have been created for each residential unit constructed.

Policy FLU-3.5DD. The jobs/housing ratio shall be measured after the issuance of site plan approval for nonresidential development. If upon review, the jobs/housing ratio has not been reached, the City may require appropriate mitigation.

Objective FLU-3.6

The following set of policies shall apply to the Emerald Lakes SPA, as detailed in CP-15-2018, which was adopted by City Council as Ordinance No. 2018-52.

Policy FLU-3.6A. EMERALD INVESTMENT HOLDINGS, LLC (successors to Sebastian Resources 400, LP and Brevard Landvest, LLC), its owners, and assigns shall maintain consistency with the Objective and policies associated with the RAC FLUC.

Policy FLU-3.6B. The EMERALD LAKES SPA total project acreage is 1,561 acres. The boundary lines or acreage shown on the adopted CMLUP may be adjusted based on the final permitting and dedication of lands to the City of Palm Bay and Brevard County for rights-of-way for the St. Johns Heritage Parkway, I-95 Interchange and the Sotille Canal, as long as the overall maximum densities and intensities of the total Emerald Lakes SPA do not change.

Policy FLU-3.6C. Development within the EMERALD LAKES SPA shall be limited to the following acreages:

- (a) 3,760 residential dwelling units, including single family and multi family; and
- (b) 2,820,000 square feet for nonresidential uses, including commercial, office, industrial, educational, hotel and hospital uses.

Policy FLU-3.6D. The location of uses, densities and intensities may be moved within project boundaries as long as they are consistent with the maximum and minimum densities and intensities of the RAC FLUC.

Policy FLU-3.6E. Prior to the issuance of building permits for more than 1,253 dwelling units, a minimum of 187,950 square feet nonresidential uses shall have Final Development Plan Approval for construction.

Policy FLU-3.6F. Prior to the issuance of building permits for more than 2,506 dwelling units, a minimum of 375,900 square feet nonresidential uses shall have Final Development Plan Approval for construction.

Policy FLU-3.6G. At buildout, a minimum of 0.6 jobs shall have been created for each residential unit constructed.

Policy FLU-3.6H. The required 200' right-of-way for the St. Johns Heritage Parkway within the EMERALD LAKES SPA boundaries has been dedicated to the City of Palm Bay in accordance with the provisions of the City of Palm Bay Chapter 171, Fair Share Impact Fees Ordinance.

Policy FLU-3.6I. The required right-of-way for the Interchange of I-95 and the St. Johns Heritage Parkway has been dedicated to the City of Palm Bay in accordance with the provisions of the City of Palm Bay Chapter 171, Fair Share Impact Fees Ordinance.

Policy FLU-3.6J. No building permits shall be issued until the lanes of St. Johns Heritage Parkway necessary to serve the project have been let for construction and/or funding has been provided in accordance with the provisions of the City of Palm Bay Chapter 171, Fair Share Impact Fees Ordinance;

Policy FLU-3.6K. No building permits shall be issued until the required extensions of water and sewer lines necessary to serve the project have been let for construction and/or funding has been provided in accordance with the provisions of the City of Palm Bay Chapter 171, Fair Share Impact Fees Ordinance, including:

- (a) a Water Main extension from Babcock Street to Project Entrance

- (b) a Force Main extension from Babcock Street to Project Entrance

Policy FLU-3.6L. A minimum buffer of 20' shall be provided along the EMERALD LAKES SPA property boundary adjacent to commercial and industrial uses.

Policy FLU-3.6M. An average buffer of 25' (minimum 15' without mitigation) shall be maintained adjacent to all preserved wetlands consistent with SJRWMD permitting requirements. A 50' buffer from top of bank will be maintained along the Sotille Canal. A 100' buffer shall be

maintained adjacent to commercial and industrial uses adjacent to the lands owned/and or managed on the eastern boundary by the Brevard County Environmental Endangered Lands Program.

Policy FLU-3.6N. A minimum right-of-way of 85' for the Sotille Canal shall be dedicated to Brevard County.

Policy FLU-3.6O. One or more transit stops shall be provided, as determined at the Final Development Plan stage.

Objective FLU-3.7

Continue to implement the following policies applicable to the Micco Park Village community to establish walkable communities in a traditional village design and allowing a variety of uses to serve each area.

Policy FLU-3.7A. Development within the Micco Park SPA must meet the criteria adopted by Ordinance 2010-62, Exhibit A.

(Ord. 2010-24, passed 07-08-10; Ord. 2010-25, passed 07-08-10; Ord. 2010-67, passed 10-21-10; Ord. 2010-69, passed 10-19-2010; Ord. 2015-56, passed 02-04-16; Ord. 2010-62, passed 10-19-10; Ord. 2010-67, passed 10-21-10; Ord. 2010-69, passed 10-19-2010; Ord. 2016-79, passed 06-01-17; Ord. 2016-84, passed 12-01-16; Ord. 2017-83, passed 05-03-18)

02



TRANSPORTATION

Table of Contents

1.0 INTRODUCTION	1
2.0 ROADWAYS	1
2.1 Inventory of Roadways	1
2.1.1 Arterial Roads	2
2.1.2 Collector Roads & Local Roads	2
2.2 Auto-Centric Transportation Network	2
2.3 State of the System (SOS) Report – Space Coast TPO	3
2.3.1 Vehicular Mobility & Safety	3
2.3.2 Pedestrian and Cycling Mobility & Safety	3
2.4 Existing and Projected Road Network Performance	3
2.4.1 Maintenance Responsibility	4
2.4.2 Existing Roadway Performance	4
2.4.3 Projected Roadway Performance	4
2.5 Parking	20
2.6 Public Transportation	20
2.7 Airports	20
2.8 Pedestrian and Cycling System	20
2.9 Trails	21
2.10 Equity	21
2.11 Complete Streets	22
2.12 Residential Traffic Calming	23
2.13 Vision Zero	23
2.14 Intelligent Transportation System (ITS)	24
3.0 FUTURE NEEDS	25
3.1 Near Term	25
3.2 Long Term	25

List of Tables

Table TRAN - 1: Functional Classification and Maintenance Responsibility 5

Table TRAN - 2: Existing Roadway Performance (2020).....10

Table TRAN - 3: Projected Roadway Performance (2025 & 2045).....15

List of Maps

Map TRAN - 1: Roadway Classification28

Map TRAN - 2: Roadway Jurisdiction29

Map TRAN - 3: Existing Roadway Performance.....30

Map TRAN - 4: Transit Facilities31

Map TRAN - 5: Projected Roadway Performance 2025.....32

Map TRAN - 6: Projected Roadway Performance 2045.....33

Map TRAN - 7: Future Transportation Map 204534

1.0 INTRODUCTION

The Transportation Element is the blueprint to plan for and enhance the mobility of not only goods and services but also to provide for the needs of pedestrians, bicyclists, transit and automobiles. This element analyzes the current performance and capacity for the existing transportation facilities, projects future needs for roadways, transit, bicycle and pedestrian facilities, and recommends future system improvements.

Alternative modes of transportation are an important part of this Element. Providing accessible multimodal transportation options in the form of roadway, transit facilities, public parking facilities, bicycle and pedestrian facilities, airport and railroad systems, and other services and programs is a challenge for many communities that this element seeks to embrace and enhance. Strict adherence to roadway capacities is no longer the focus of a sound transportation element. In recent years, the legislature determined that mobility, or planning for all modes, was more functional approach than having a singular focus on vehicle throughput. Improving transportation connections that provide options to all residents while proactively investing to improve neighborhood connections to the commercial and employment nodes is another key focal point of this plan.

2.0 ROADWAYS

2.1 INVENTORY OF ROADWAYS

Roadways provide the framework or backbone of a municipal transportation system. Each roadway provides an important link to overall connectivity of the City. Although many of the local roads were developed by General Development Corporation and are considered substandard, they do provide critical connections between residential and non-residential uses within the City.

The major roadways within the City of Palm Bay are as follows:

- Interstate 95 is a principal arterial maintained by United States Department of Transportation (USDOT) and Florida Department of Transportation (FDOT) and runs north-south through the City ultimately connecting the City to eastern seaboard of the US.
- US 1, a principal arterial under the jurisdiction of the FDOT, also provides a critical north-south connection through the state as a six-lane divided facility.
- Babcock Street (State Road 507) is a four-lane divided principal arterial north of Malabar Road and two-lane undivided south of Malabar Road. This highway falls under the jurisdiction of FDOT and provides another north-south connection to Melbourne to north and Indian River County to the south.
- Malabar Road (State Road 514) is predominantly a four-lane divided major arterial under the jurisdiction of FDOT. Malabar Road is an important east-west roadway that spans the City connecting the western portion of the City to the Indian River Lagoon (and US 1) to the east.
- Palm Bay Road (State Road 516) is another major six-lane divided east-west arterial that connects US 1 and I-95. Palm Bay Road is the predominant urban commercial corridor that facilitates much of the commerce in the City.

2.1.1 Arterial Roads

Major arterial roads connecting Palm Bay to the regional and interstate system include but are not limited to Babcock Street (SR 507), Malabar Road (SR 514), Minton Road, US 1, Palm Bay Road (SR 516), and I 95. Arterials are high-capacity, higher-speed roadways that deliver traffic to medium-capacity collector roads which connect to local roads. Arterial roads include the US Interstate System and the major roads that support it.

2.1.2 Collector Roads & Local Roads

Collector roads bring traffic from major arterial roads to smaller local roads. **Map TRAN - 1** provides the functional classification of each roadway within the City.

Examples of some of the most traveled collectors includes the following:

- De Groodt Road
- Emerson Drive
- Jupiter Boulevard
- Port Malabar Boulevard
- Robert J. Conlan Boulevard
- Waco Boulevard
- Bayside Lakes Boulevard
- Americana Boulevard ,
- Eldron Boulevard
- Clearmount Street
- Lipscomb Street
- San Filippo Drive
- Cogan Drive

The Vision Plan described how the organization and lack of connectivity in Palm Bay due to the many siloed residential subdivisions with external walls, fences, or natural barriers, restricts travel to a few access points forcing most trips onto collector and arterial roads rather than distributing trips across a well-connected local network. Collectors main function is to funnel local residential traffic to arterials that serves as the main connections to large destinations and trip attractors.

2.2 AUTO-CENTRIC TRANSPORTATION NETWORK

The success of a transportation network is not based solely upon the width, frequency, and condition of area roadways. Instead, it is measured by the cohesion and support for all modes of transportation - motorized and non-motorized. Based on transportation infrastructure, travel patterns, and limited high wage employment, Palm Bay relies heavily on motorized travel and is considered auto-centric. Therefore, the ability to regularly travel within the City by any means aside from an automobile is difficult for most people. Throughout the City, the character of the transportation network is consistent in terms of many wide arterial or collector roads connected to narrower and often unlined residential neighborhood roads. Additionally, bicycle and pedestrian facilities lack significant connectivity, particularly to destinations (schools, commercial districts, waterfront, etc.) throughout the City. Much of the connectivity issues arise from the original development of Palm Bay as developers needed to develop a canal system to drain the water from the predominantly wet soil prior to constructing the first subdivisions.

This citywide transportation network arrangement isolates residents into their neighborhoods and creates barriers to simplified, connected, and streamlined travel. Moreover, this arrangement strongly favors automobile use as the sectioned-off subdivision barriers prevent unobstructed, short, and direct pedestrian pathways. Instead, a

pedestrian or cyclist would have to travel through the subdivision's local network of roads to reach one of the few access drives, even if the pedestrian or cyclist was leaving a house bordering a road. Most subdivisions within the City are arranged in a similar or identical manner with barriers between subdivisions. As a result, while connectivity between residential areas and other parts of the City is fairly feasible for automobile users, attempting non-motorized travel is extremely difficult in most areas.

2.3 STATE OF THE SYSTEM (SOS) REPORT – SPACE COAST TPO

Space Coast TPO is responsible for the administration of state and federal transportation funding requirements and the provision of transportation planning services for Brevard County. Each year, the TPO releases a State of the System (SOS) Report, which is an assessment of the performance of the transportation network as well as an evaluation of transportation program implementation. The SOS Report uses the University of Florida's BEBR database for population counts. Therefore, the report's relevant assessments based on population growth projections are consistent with growth projection assumptions made in this Comprehensive Plan.

2.3.1 Vehicular Mobility & Safety

The 2021 SOS report showed an overall 7.1% increase in traffic volumes from 2017-2021 and a 13.3% increase year over year (2020-2021). The number of crashes was down 5.1% during the five year period, but up 10.2% year to year. Two intersections in Palm Bay ranked in the top 10 of vehicle crash severity (Malabar Road and Emerson Drive, US 1 and Malabar Road). One roadway ranked in the top 10 of crash severity corridors (Babcock Street from Palm Bay Road to Malabar Road). SCAT ridership was down 36.8% during the five year period and down 9.3% for the year.

From the SOS report in 2020, Strategic Intermodal System (SIS) in Brevard County (I-95 and SR-528) Annual Average Daily Traffic (AADT) counts increased by 5.9% and by 3.2%, respectively between 2015 and 2018. Three of the 13 most congested roadways in the County are located in Palm Bay. Those segments include Minton Road (from Jupiter Boulevard to Malabar Road), Malabar Road (from San Filippo Drive to I-95), and Babcock Street (from Malabar Road to Palm Bay Road).

2.3.2 Pedestrian and Cycling Mobility & Safety

According to the 2020 SOS report, Brevard County ranks in the top 15 of Florida counties for pedestrian/cycling crashes. Comparing the 2011-2015 and 2015-2019 periods, pedestrian crashes within Brevard County have increased by 16%. Although the SOS report does not specify the number of crashes in Palm Bay, the report does identify Babcock Street as one of the top corridors for bicycle crashes, which is in line with the corridor's high vehicular crash frequency. The SOS report also includes the identified priority corridors for bicycle and pedestrian improvements, including a tabular list of sidewalk gaps to address along the corridors.

Palm Bay residents identified the need for infrastructure investments that focus on enhancing the bicycle and pedestrian environments. Within Palm Bay, some of the corridors with the highest vehicular crashes are identified in the TPO's Bicycle/Pedestrian Master Plan (BPMP) as undergoing or having recently completed a bicycle and pedestrian study. One of those being Babcock Street. Other priority corridors include DeGroot Road, San Filippo Drive, Jupiter Boulevard, and Port Malabar Boulevard. Corridors for pedestrian ways include, but are not limited to, San Filippo Drive, a small segment of Minton Road, and US 1. Although a major road within Palm Bay, US 1 is not under consideration for enhanced bicycle facilities.

2.4 EXISTING AND PROJECTED ROAD NETWORK PERFORMANCE

Palm Bay's road network consists of a large number of local roadways and four state maintained facilities. Each facility was analyzed for the purposes of this element. As the traditional model of monitoring transportation

concurrency continues to shift toward mobility, TPOs are changing how they evaluate their road network. For example, Space Coast TPO assesses the network based on overall congestion by segment and no longer addresses level of service. This method requires that each municipality is responsible for evaluating the road network based on their adopted level of service standard. As such, the following analysis outlined in this section was prepared by the City.

2.4.1 *Maintenance Responsibility*

Within the City, I-95, Babcock Street, Malabar Road, and US 1 are maintained by FDOT. The rest of the roadway facilities are maintained by the City. Roadway jurisdiction is illustrated on **Map TRAN-2**.

2.4.2 *Existing Roadway Performance*

Table TRAN-1 and **Map TRAN-3** show the existing levels of service for each major thoroughfare in Palm Bay. Currently, of all the roadways within the City, only two segments operate above the accepted level of capacity. Babcock Street between Foundation Park Boulevard and Malabar Road, and Minton Road between Emerson Drive and Palm Bay Road exceed the adopted level of service standard. The City's adopted level of service standard is LOS C. Due to the current state of the built environment in and surrounding the City, traditional transportation concurrency should be utilized until the City establishes a mobility plan and prioritizes advancements in non-motorized modes and public transportation. Until such time, LOS standards should be changed to allow greater capacity on City roads. Currently, local roads have an adopted LOS of C. Not only is this not advisable from a practical perspective, this standard is essentially unachievable in a City laid out like Palm Bay. To avoid having to build more road lanes to accommodate future traffic, the adopted LOS should be changed to D. During the next evaluation period of the plan, a mobility plan and mobility priorities should be explored.

If analyzed under the current LOS standard there would be at a minimum of nine (9) additional failing segments. With an adopted LOS C standard, the reality of redevelopment and developing compact urban spaces will be lost.

2.4.3 *Projected Roadway Performance*

This subsection provides an analysis of the projected roadway performance for 2025 and 2045. **Table TRAN-2** and **Maps TRAN-5 and 6** show the 2025 and 2045 projected level of service. The projected travel demand was based on a 2 percent per year growth rate of existing roadway volumes.

Table TRAN - 1: Functional Classification and Maintenance Responsibility

ROADWAY NAME	FROM	TO	LANES	FUNCTIONAL CLASSIFICATION	MAINTAINING AGENCY
Americana Blvd	Jupiter Blvd	Minton Rd	2	Major Collector URBAN	Palm Bay
Americana Blvd	Minto Rd	Emerson Drive	2	Major Collector URBAN	Palm Bay
Babcock St	TM Goodwin Rd	Micco Rd	2	Major Collector RURAL	Brevard County
Babcock St	Micco Rd	Palm Bay City Limit	2	Major Collector RURAL	Brevard County
Babcock St	Palm Bay City Limit	Grant Rd	2	Major Collector URBAN	Brevard County
Babcock St	Grant Rd	Valkaria Rd	2	Major Collector URBAN	Brevard County
Babcock St	Valkaria Rd	Waco Blvd	2	Minor Arterial URBAN	Brevard County
Babcock St	Waco Blvd	Foundation Park Blvd	2	Minor Arterial URBAN	Brevard County
Babcock St	Foundation Park Blvd	Malabar Rd	2	Minor Arterial URBAN	Brevard County
Babcock St	Malabar Rd	Charles Blvd NE	4	Principal Arterial-Other URBAN	FDOT
Babcock St	Charles Blvd NE	Port Malabar NE	4	Principal Arterial-Other URBAN	FDOT
Babcock St	Port Malabar NE	Palm Bay Rd	4	Principal Arterial-Other URBAN	FDOT
Babcock St	Palm Bay Rd	W New Haven Ave	4	Principal Arterial-Other URBAN	FDOT
Bass Pro Dr	Riviera Drive NE	Palm Bay Rd NE	2	Major Collector URBAN	Palm Bay
Bayside Lakes Blvd	Degroodt Rd SW	Walden Blvd SE	4	Major Collector URBAN	Palm Bay
Clearmont St	Port Malabar Blvd NE	Palm Bay Rd NE	2	Major Collector URBAN	Palm Bay
Dairy Rd	Palm Bay Rd	Eber Blvd	4	Minor Arterial URBAN	Brevard County
Dairy Rd	Eber Blvd	Florida Avenue	4	Minor Arterial URBAN	Brevard County
Degroodt Rd	San Filippo Drive SW	Jupiter Blvd	2	Major Collector URBAN	Palm Bay
Eldron Blvd	Babcock Street SE	Cogan Drive SE	2	Major Collector URBAN	Palm Bay
Eldron Blvd	Cogan Drive SE	Bayside Blvd SE	4	Major Collector URBAN	Palm Bay
Eldron Blvd	Bayside Blvd SE	Jupiter Blvd	2	Major Collector URBAN	Palm Bay
Eldron Blvd	Jupiter Blvd	Americana Blvd	2	Major Collector URBAN	Palm Bay
Emerson Dr	Waldon Drive	Jupiter Blvd SE	4	Minor Arterial URBAN	Palm Bay
Emerson Dr	Jupiter Blvd NW	Malabar Rd NE	4	Minor Arterial URBAN	Palm Bay
Emerson Dr	Malabar Rd NE	Americana Blvd	2	Minor Arterial URBAN	Palm Bay

ROADWAY NAME	FROM	TO	LANES	FUNCTIONAL CLASSIFICATION	MAINTAINING AGENCY
Emerson Dr	Americana Blvd	Culver Drive	2	Minor Arterial URBAN	Palm Bay
Emerson Dr	Culver Drive	Minton Rd	2	Minor Arterial URBAN	Palm Bay
Emerson Dr	Minton Rd NE	Jupiter Blvd NW	4	Minor Arterial URBAN	Palm Bay
Emerson Dr	Jupiter Blvd NW	St Johns Heritage Parkway	2	Major Collector URBAN	Brevard County
Florida Ave	Lipscomb Street NE	Northview Street NE	2	Minor Collector (Fed Aid) URBAN	Brevard County
Foundation Park Blvd	San Filippo Drive SE	Babcock Street SE	2	Minor Collector (Fed Aid) URBAN	Palm Bay
Garvey Rd	Harper Blvd SW	Malabar Rd NW	2	Major Collector URBAN	Palm Bay
Glendale Ave	Pace Drive NW	Emerson Drive NW	2	Minor Collector (Fed Aid) URBAN	Palm Bay
Harper Blvd	Garvey Rd SW	Hurley Blvd SW	2	Major Collector URBAN	Palm Bay
Hollywood Blvd	Palm Bay Rd	Eber Blvd	2	Minor Arterial URBAN	Brevard County
Hollywood Blvd	Eber Blvd	W New Haven Ave	2	Minor Arterial URBAN	Brevard County
Hurley Blvd	Harper Blvd	Malabar Rd NW	2	Major Collector URBAN	Palm Bay
I-95	Brevard/Indian River Line	Reese Rd	6	Principal Arterial-Interstate RURAL	FDOT
I-95	Reese Rd	Malabar Rd	6	Principal Arterial-Interstate URBAN	FDOT
I-95	Malabar Rd	Palm Bay Rd	6	Principal Arterial-Interstate URBAN	FDOT
I-95	Palm Bay Rd	W New Haven Ave	6	Principal Arterial-Interstate URBAN	FDOT
Jupiter Blvd	San Filippo Drive SE	Emerson Drive SE	2	Major Collector URBAN	Palm Bay
Jupiter Blvd	Emerson Drive SE	Eldron Drive SE	2	Major Collector URBAN	Palm Bay
Jupiter Blvd	Eldron Drive SE	Degroodt Rd SW	2	Major Collector URBAN	Palm Bay
Jupiter Blvd	Degroodt Rd SW	Malabar Rd NW	2	Major Collector URBAN	Palm Bay
Jupiter Blvd	Malabar Rd NW	Americana Blvd NW	2	Major Collector URBAN	Palm Bay
Jupiter Blvd	Americana Blvd NW	Pace Dr NW	2	Major Collector URBAN	Palm Bay
Jupiter Blvd	Pace Dr NW	Emerson Drive NW	2	Major Collector URBAN	Palm Bay
Knecht Rd	Port Malabar Rd NE	Palm Bay Rd NE	2	Minor Collector (Fed Aid) URBAN	Palm Bay
Lamplighter Dr	Pace Drive NW	Emerson Drive NW	2	Minor Collector (Fed Aid) URBAN	Palm Bay
Lipscomb St	Palm Bay Rd	S Harbor City Blvd	2	Major Collector URBAN	Palm Bay
Malabar Rd	St Johns Heritage Parkway	Jupiter Blvd	2	Minor Arterial URBAN	Brevard County

ROADWAY NAME	FROM	TO	LANES	FUNCTIONAL CLASSIFICATION	MAINTAINING AGENCY
Malabar Rd	Jupiter Blvd	Minton Rd	2	Minor Arterial URBAN	Palm Bay
Malabar Rd	Minton Rd	Emerson Drive	4	Principal Arterial-Other URBAN	Palm Bay
Malabar Rd	Emerson Drive	San Filippo Drive	6	Principal Arterial-Other URBAN	Palm Bay
Malabar Rd	San Filippo Drive	I-95	6	Principal Arterial-Other URBAN	Palm Bay
Malabar Rd	I-95	Babcock Street	6	Principal Arterial-Other URBAN	Palm Bay
Malabar Rd	Babcock Street	Corey Rd	2	Minor Arterial URBAN	FDOT
Malabar Rd	Corey Rd	US-1	2	Minor Arterial URBAN	FDOT
Micco Rd	Babcock Rd	Dottie Drive	2	Major Collector RURAL	Brevard County
Minton Rd	Jupiter Blvd	Malabar Rd	2	Major Collector URBAN	Brevard County
Minton Rd	Malabar Rd	Americana Blvd	4	Principal Arterial-Other URBAN	Brevard County
Minton Rd	Americana Blvd	Emerson Drive	4	Principal Arterial-Other URBAN	Brevard County
Minton Rd	Emerson Drive	Palm Bay Rd	4	Principal Arterial-Other URBAN	Brevard County
Minton Rd	Palm Bay Rd	Hield Rd	4	Principal Arterial-Other URBAN	Brevard County
Minton Rd	Hield Rd	Norfolk Parkway	4	Principal Arterial-Other URBAN	Brevard County
Minton Rd	Norfolk Parkway	Eber Blvd	4	Principal Arterial-Other URBAN	Brevard County
Norfolk Pkwy	Minton Rd	Just North of Palm Bay Rd	2	Major Collector URBAN	Palm Bay
Norfolk Pkwy	Just North of Palm Bay Rd	Palm Bay Rd	2	Major Collector URBAN	Palm Bay
Pace Dr	St Johns Heritage Parkway	Jupiter Blvd	2	Major Collector URBAN	Palm Bay
Palm Bay Rd	Dixie Highway NE	Four Lane Section of Main St	2	Major Collector URBAN	Brevard County
Palm Bay Rd	Four Lane Section of Main St	Charles J Herbert Drive	4	Major Collector URBAN	Brevard County
Palm Bay Rd	Minton Rd	Athens Drive	6	Principal Arterial-Other URBAN	Brevard County
Palm Bay Rd	Athens Drive	Culver Drive	6	Principal Arterial-Other URBAN	Brevard County
Palm Bay Rd	Culver Drive	I-95	6	Principal Arterial-Other URBAN	Brevard County
Palm Bay Rd	I-95	Hollywood Blvd	6	Principal Arterial-Other URBAN	Brevard County
Palm Bay Rd	Hollywood Blvd	Dairy Rd	6	Principal Arterial-Other URBAN	Brevard County
Palm Bay Rd	Dairy Rd	Port Malabar Blvd	6	Principal Arterial-Other URBAN	Brevard County
Palm Bay Rd	Port Malabar Blvd	Stack Blvd	6	Principal Arterial-Other URBAN	Brevard County

ROADWAY NAME	FROM	TO	LANES	FUNCTIONAL CLASSIFICATION	MAINTAINING AGENCY
Palm Bay Rd	Stack Blvd	Riviera Drive	6	Principal Arterial-Other URBAN	Brevard County
Palm Bay Rd	Riviera Drive	Babcock Street	6	Principal Arterial-Other URBAN	Brevard County
Palm Bay Rd	Babcock Street	Knecht Rd	6	Principal Arterial-Other URBAN	Brevard County
Palm Bay Rd	Knecht Rd	Clearmont Street	6	Principal Arterial-Other URBAN	Brevard County
Palm Bay Rd	Clearmont Street	Troutman Blvd	6	Principal Arterial-Other URBAN	Brevard County
Palm Bay Rd	Troutman Blvd	Charles J Herbert Drive	6	Principal Arterial-Other URBAN	Brevard County
Port Malabar Blvd	Palm Bay Rd	Pebble Beach Avenue	2	Major Collector URBAN	Palm Bay
Port Malabar Blvd	Pebble Beach Avenue	Babcock Street	4	Major Collector URBAN	Palm Bay
Port Malabar Blvd	Babcock Street	Clearmont Street	4	Minor Arterial URBAN	Palm Bay
Port Malabar Blvd	Clearmont Street	US-1	4	Minor Arterial URBAN	Palm Bay
R J Conlon Blvd	Palm Bay Rd	Commerce Park Drive	4	Principal Arterial-Other URBAN	Palm Bay
R J Conlon Blvd	Commerce Park Drive	US-1	4	Principal Arterial-Other URBAN	Palm Bay
Riviera Dr	Palm Bay Rd	Palm Bay Rd	2	Minor Collector (Fed Aid) URBAN	Palm Bay
San Filippo Dr	Degroodt Rd SW	Wyoming Drive	2	Major Collector URBAN	Palm Bay
San Filippo Dr	Wyoming Drive	Jupiter Blvd	2	Major Collector URBAN	Palm Bay
San Filippo Dr	Jupiter Blvd	Malabar Rd	4	Minor Arterial URBAN	Palm Bay
St Johns Heritage Pk	Malabar Rd	Pace NW	2	Minor Arterial URBAN	Brevard County
St Johns Heritage Pk	Pace NW	Emerson Drive	2	Minor Arterial URBAN	Brevard County
St Johns Heritage Pk	Emerson Drive	Simon Rd	2	Minor Arterial URBAN	Brevard County
St Johns Heritage Pk	Babcock Rd	I-95	4	Local RURAL	Brevard County
US-1/SR-5/Dixie Hwy	Valkaria Rd	Malabar Rd	4	Principal Arterial-Other URBAN	FDOT
US-1/SR-5/Dixie Hwy	Malabar Rd	Port Malabar Blvd	4	Principal Arterial-Other URBAN	FDOT
US-1/SR-5/Dixie Hwy	Port Malabar Blvd	Palm Bay Rd	4	Principal Arterial-Other URBAN	FDOT
US-1/SR-5/Dixie Hwy	Palm Bay Rd	Just South Of Robert Conlan Blvd	4	Principal Arterial-Other URBAN	FDOT
US-1/SR-5/Dixie Hwy	Just South of Robert Conlan Blvd	E New Haven Blvd	6	Principal Arterial-Other URBAN	FDOT

ROADWAY NAME	FROM	TO	LANES	FUNCTIONAL CLASSIFICATION	MAINTAINING AGENCY
Valkaria Rd	Babcock Street	Corey Rd	2	Major Collector URBAN	Brevard County
Waco Blvd	Emerson Drive	Babcock Street	2	Major Collector URBAN	Palm Bay
Walden Blvd	Bayside Lakes Blvd	Wyoming Drive	2	Major Collector URBAN	Palm Bay
Wyoming Dr	Walden Rd	San Filippo Drive	2	Major Collector URBAN	Palm Bay
Wyoming Dr	San Filippo Drive	Babcock Street	2	Major Collector URBAN	Palm Bay

Sources: FDOT, Space Coast TPO, City of Palm Bay, 2023.

Table TRAN - 2: Existing Roadway Performance (2020)

ROADWAY NAME	FROM	TO	LANES	MAINTAINING AGENCY	2020 AADT	ADOPTED LOS	MAV	2020 LOS
Americana Blvd	Jupiter Blvd	Minton Rd	2	Palm Bay				
Americana Blvd	Minto Rd	Emerson Drive	2	Palm Bay				
Babcock St	TM Goodwin Rd	Micco Rd	2	Brevard County	4,805	D	14,200	D
Babcock St	Micco Rd	Palm Bay City Limit	2	Brevard County	3,372	D	14,200	D
Babcock St	Palm Bay City Limit	Grant Rd	2	Brevard County	4,805	D	14,200	D
Babcock St	Grant Rd	Valkaria Rd	2	Brevard County	7,272	D	17,700	D
Babcock St	Valkaria Rd	Waco Blvd	2	Brevard County	12,147	D	17,700	D
Babcock St	Waco Blvd	Foundation Park Blvd	2	Brevard County	16,730	D	17,700	D
Babcock St	Foundation Park Blvd	Malabar Rd	2	Brevard County	18,326	D	17,700	F
Babcock St	Malabar Rd	Charles Blvd NE	4	FDOT	39,306	D	41,790	D
Babcock St	Charles Blvd NE	Port Malabar NE	4	FDOT	30,620	D	41,790	D
Babcock St	Port Malabar NE	Palm Bay Rd	4	FDOT	37,809	D	41,790	D
Babcock St	Palm Bay Rd	W New Haven Ave	4	FDOT	29,231	D	41,790	D
Bass Pro Dr	Riviera Drive NE	Palm Bay Rd NE	2	Palm Bay	11,208	E	15,600	E
Bayside Lakes Blvd	Degroodt Rd SW	Walden Blvd SE	4	Palm Bay	14,484	D	39,800	C
Clearmont St	Port Malabar Blvd NE	Palm Bay Rd NE	2	Palm Bay				
Dairy Rd	Palm Bay Rd	Eber Blvd	4	Brevard County	16,325	D	39,800	C
Dairy Rd	Eber Blvd	Florida Avenue	4	Brevard County	21,233	D	39,800	C
Degroodt Rd	San Filippo Drive SW	Jupiter Blvd	2	Palm Bay				
Eldron Blvd	Babcock St SE	Cogan Drive SE	2	Palm Bay	6,916	D	17,700	C
Eldron Blvd	Cogan Drive SE	Bayside Blvd SE	4	Palm Bay				
Eldron Blvd	Bayside Blvd SE	Jupiter Blvd	2	Palm Bay				
Eldron Blvd	Jupiter Blvd	Americana Blvd	2	Palm Bay				
Emerson Dr	Waldon Drive	Jupiter Blvd SE	4	Palm Bay				
Emerson Dr	Jupiter Blvd NW	Malabar Rd NE	4	Palm Bay	15,386	D	39,800	C
Emerson Dr	Malabar Rd NE	Americana Blvd	2	Palm Bay	8,960	D	17,700	C

ROADWAY NAME	FROM	TO	LANES	MAINTAINING AGENCY	2020 AADT	ADOPTED LOS	MAV	2020 LOS
Emerson Dr	Americana Blvd	Culver Drive	2	Palm Bay	8,762	D	17,700	C
Emerson Dr	Culver Drive	Minton Rd	2	Palm Bay	4,504	D	17,700	C
Emerson Dr	Minton Rd NE	Jupiter Blvd NW	4	Palm Bay	21,447	D	39,800	C
Emerson Dr	Jupiter Blvd NW	St Johns Heritage Parkway	2	Brevard County	11,619	D	17,700	C
Florida Ave	Lipscomb St NE	Northview St NE	2	Brevard County				
Foundation Park Blvd	San Filippo Drive SE	Babcock St SE	2	Palm Bay				
Garvey Rd	Harper Blvd SW	Malabar Rd NW	2	Palm Bay	3,435	D	17,700	C
Glendale Ave	Pace Drive NW	Emerson Drive NW	2	Palm Bay	1,356	D	17,700	C
Harper Blvd	Garvey Rd SW	Hurley Blvd SW	2	Palm Bay	1,949	D	17,700	C
Hollywood Blvd	Palm Bay Rd	Eber Blvd	2	Brevard County	13,754	D	17,700	C
Hollywood Blvd	Eber Blvd	W New Haven Ave	2	Brevard County	12,842	D	17,700	C
Hurley Blvd	Harper Blvd	Malabar Rd NW	2	Palm Bay				
I-95	Brevard/Indian River Line	Reese Rd	6	FDOT	43,131	D	64,000	C
I-95	Reese Rd	Malabar Rd	6	FDOT	43,131	D	64,000	C
I-95	Malabar Rd	Palm Bay Rd	6	FDOT	62,500	D	111,800	C
I-95	Palm Bay Rd	W New Haven Ave	6	FDOT	77,500	D	111,800	C
Jupiter Blvd	San Filippo Drive SE	Emerson Drive SE	2	Palm Bay	10,526	D	15,600	C
Jupiter Blvd	Emerson Drive SE	Eldron Drive SE	2	Palm Bay	9,947	D	17,700	C
Jupiter Blvd	Eldron Drive SE	Degroodt Rd SW	2	Palm Bay	11,921	D	17,700	C
Jupiter Blvd	Degroodt Rd SW	Malabar Rd NW	2	Palm Bay	7,205	D	17,700	C
Jupiter Blvd	Malabar Rd NW	Americana Blvd NW	2	Palm Bay	11,237	D	17,700	C
Jupiter Blvd	Americana Blvd NW	Pace Dr NW	2	Palm Bay	11,785	D	17,700	C
Jupiter Blvd	Pace Dr NW	Emerson Drive NW	2	Palm Bay	10,832	D	17,700	C
Knecht Rd	Port Malabar Rd NE	Palm Bay Rd NE	2	Palm Bay	1,299	D	17,700	C
Lamplighter Dr	Pace Drive NW	Emerson Drive NW	2	Palm Bay				

ROADWAY NAME	FROM	TO	LANES	MAINTAINING AGENCY	2020 AADT	ADOPTED LOS	MAV	2020 LOS
Lipscomb St	Palm Bay Rd	S Harbor City Blvd	2	Palm Bay				
Main St	Dixie Highway NE	Four Lane Section of Main St	2	Palm Bay				
Main St	Four Lane Section of Main St	Charles J Herbert Drive	4	Palm Bay				
Malabar Rd	St Johns Heritage Parkway	Jupiter Blvd	2	Brevard County	9,532	D	17,700	C
Malabar Rd	Jupiter Blvd	Minton Rd	2	Palm Bay	16,865	D	17,700	D
Malabar Rd	Minton Rd	Emerson Drive	4	Palm Bay	22,111	D	39,800	C
Malabar Rd	Emerson Drive	San Filippo Drive	6	Palm Bay	29,927	E	50,900	D
Malabar Rd	San Filippo Drive	I-95	6	Palm Bay	49,770	E	50,900	D
Malabar Rd	I-95	Babcock St	6	Palm Bay	38,183	E	50,900	C
Malabar Rd	Babcock St	Corey Rd	2	FDOT	15,812	D	24,200	C
Malabar Rd	Corey Rd	US-1	2	FDOT	8,202	D	14,800	D
Micco Rd	Babcock Rd	Dottie Drive	2	Brevard County	2,319	D	14,200	C
Minton Rd	Jupiter Blvd	Malabar Rd	2	Brevard County				
Minton Rd	Malabar Rd	Americana Blvd	4	Brevard County	23,084	D	39,800	C
Minton Rd	Americana Blvd	Emerson Drive	4	Brevard County	25,491	D	39,800	C
Minton Rd	Emerson Drive	Palm Bay Rd	4	Brevard County	51,052	E	33,800	F
Minton Rd	Palm Bay Rd	Hield Rd	4	Brevard County	25,532	E	39,800	C
Minton Rd	Hield Rd	Norfolk Parkway	4	Brevard County	30,275	D	39,800	C
Minton Rd	Norfolk Parkway	Eber Blvd	4	Brevard County	30,578	D	39,800	C
Norfolk Pkwy	Minton Rd	Just North of Palm Bay Rd	2	Palm Bay	21,527	E	33,800	C
Norfolk Pkwy	Just North of Palm Bay Rd	Palm Bay Rd	2	Palm Bay				
Pace Dr	St Johns Heritage Parkway	Jupiter Blvd	2	Palm Bay	3,114	D	17,700	C
Palm Bay Rd	Minton Rd	Athens Drive	6	Brevard County	27,540	D	59,900	C

ROADWAY NAME	FROM	TO	LANES	MAINTAINING AGENCY	2020 AADT	ADOPTED LOS	MAV	2020 LOS
Palm Bay Rd	Athens Drive	Culver Drive	6	Brevard County	27,755	D	59,900	C
Palm Bay Rd	Culver Drive	I-95	6	Brevard County	49,765	D	59,900	C
Palm Bay Rd	I-95	Hollywood Blvd	6	Brevard County	53,212	D	59,900	C
Palm Bay Rd	Hollywood Blvd	Dairy Rd	6	Brevard County	44,287	D	59,900	C
Palm Bay Rd	Dairy Rd	Port Malabar Blvd	6	Brevard County	38,551	D	59,900	C
Palm Bay Rd	Port Malabar Blvd	Stack Blvd	6	Brevard County	33,821	D	59,900	C
Palm Bay Rd	Stack Blvd	Riviera Drive	6	Brevard County	34,192	D	59,900	C
Palm Bay Rd	Riviera Drive	Babcock St	6	Brevard County	35,794	D	59,900	C
Palm Bay Rd	Babcock St	Knecht Rd	6	Brevard County	31,790	D	59,900	C
Palm Bay Rd	Knecht Rd	Clearmont St	6	Brevard County	33,874	D	59,900	C
Palm Bay Rd	Clearmont St	Troutman Blvd	6	Brevard County	18,297	D	59,900	C
Palm Bay Rd	Troutman Blvd	Charles J Herbert Drive	6	Brevard County	18,010	D	59,900	C
Port Malabar Blvd	Palm Bay Rd	Pebble Beach Avenue	2	Palm Bay				
Port Malabar Blvd	Pebble Beach Avenue	Babcock St	4	Palm Bay				
Port Malabar Blvd	Babcock St	Clearmont St	4	Palm Bay	15,451	D	39,800	C
Port Malabar Blvd	Clearmont St	US-1	4	Palm Bay	11,485	D	39,800	C
R J Conlon Blvd	Palm Bay Rd	Commerce Park Drive	4	Palm Bay	13,109	D	39,800	C
R J Conlon Blvd	Commerce Park Drive	US-1	4	Palm Bay	10,112	D	39,800	C
Riviera Dr	Palm Bay Rd	Palm Bay Rd	2	Palm Bay				
San Filippo Dr	Degroodt Rd SW	Wyoming Drive	2	Palm Bay				
San Filippo Dr	Wyoming Drive	Jupiter Blvd	2	Palm Bay				
San Filippo Dr	Jupiter Blvd	Malabar Rd	4	Palm Bay	21,461	D	39,800	C
St Johns Heritage Pk	Malabar Rd	Pace NW	2	Brevard County	5,492	E	15,600	C
St Johns Heritage Pk	Pace NW	Emerson Drive	2	Brevard County	7,192	E	15,600	C
St Johns Heritage Pk	Emerson Drive	Simon Rd	2	Brevard County	10,700	E	15,600	D
St Johns Heritage Pk	Babcock Rd	I-95	4	Brevard County	3,606	E	15,600	C
US-1/SR-5/Dixie Hwy	Valkaria Rd	Malabar Rd	4	FDOT	15,164	D	41,790	C

ROADWAY NAME	FROM	TO	LANES	MAINTAINING AGENCY	2020 AADT	ADOPTED LOS	MAV	2020 LOS
US-1/SR-5/Dixie Hwy	Malabar Rd	Port Malabar Blvd	4	FDOT	18,142	D	41,790	C
US-1/SR-5/Dixie Hwy	Port Malabar Blvd	Palm Bay Rd	4	FDOT	22,192	D	39,800	C
US-1/SR-5/Dixie Hwy	Palm Bay Rd	Just South of Robert Conlan Blvd	4	FDOT	18,904	D	39,800	C
US-1/SR-5/Dixie Hwy	Just South of Robert Conlan Blvd	E New Haven Blvd	6	FDOT	27,588	D	59,900	C
Valkaria Rd	Babcock St	Corey Rd	2	Brevard County	4,244	D	14,800	C
Waco Blvd	Emerson Drive	Babcock St	2	Palm Bay				
Walden Blvd	Bayside Lakes Blvd	Wyoming Drive	2	Palm Bay				
Wyoming Dr	Walden Rd	San Filippo Drive	2	Palm Bay				
Wyoming Dr	San Filippo Drive	Babcock St	2	Palm Bay				

Sources: FDOT, Space Coast TPO, Inspire, 2023.

LOS = Level of Service, MAV = Maximum Allowed Traffic Volume, AADT = Average Annual Daily Trips

Table TRAN - 3: Projected Roadway Performance (2025 & 2045)

ROADWAY NAME	FROM	TO	LANES	ADOPTED LOS	MAV	2025 AADT	2025 LOS	2045 AADT	2045 LOS
Americana Blvd	Jupiter Blvd	Minton Rd	2						
Americana Blvd	Minto Rd	Emerson Dr	2						
Babcock St	TM Goodwin Rd	Micco Rd	2	D	14,200	5,305	D	7,883	D
Babcock St	Micco Rd	Palm Bay City Limit	2	D	14,200	3,723	D	5,532	D
Babcock St	Palm Bay City Limit	Grant Rd	2	D	14,200	5,305	D	7,883	D
Babcock St	Grant Rd	Valkaria Rd	2	D	17,700	8,029	D	11,930	D
Babcock St	Valkaria Rd	Waco Blvd	2	D	17,700	13,411	D	19,928	F
Babcock St	Waco Blvd	Foundation Park Blvd	2	D	17,700	18,471	F	27,447	F
Babcock St	Foundation Park Blvd	Malabar Rd	2	D	17,700	20,233	F	30,066	F
Babcock St	Malabar Rd	Charles Blvd NE	4	D	41,790	43,397	F	64,486	F
Babcock St	Charles Blvd NE	Port Malabar NE	4	D	41,790	33,807	D	50,235	F
Babcock St	Port Malabar NE	Palm Bay Rd	4	D	41,790	41,744	D	62,030	F
Babcock St	Palm Bay Rd	W New Haven Ave	4	D	41,790	32,273	D	47,957	F
Bass Pro Dr	Riviera Dr NE	Palm Bay Rd NE	2	E	15,600	12,375	E	18,388	F
Bayside Lakes Blvd	Degroodt Rd SW	Walden Blvd SE	4	D	39,800	15,992	C	23,763	C
Clearmont St	Port Malabar Blvd NE	Palm Bay Rd NE	2						
Dairy Rd	Palm Bay Rd	Eber Blvd	4	D	39,800	18,024	C	26,783	C
Dairy Rd	Eber Blvd	Florida Avenue	4	D	39,800	23,443	C	34,835	C
Degroodt Rd	San Filippo Dr SW	Jupiter Blvd	2						
Eldron Blvd	Babcock St SE	Cogan Dr SE	2	D	17,700	7,636	C	11,346	C
Eldron Blvd	Cogan Dr SE	Bayside Blvd SE	4						
Eldron Blvd	Bayside Blvd SE	Jupiter Blvd	2						
Eldron Blvd	Jupiter Blvd	Americana Blvd	2						
Emerson Dr	Waldon Dr	Jupiter Blvd SE	4						
Emerson Dr	Jupiter Blvd NW	Malabar Rd NE	4	D	39,800	16,987	C	25,242	C
Emerson Dr	Malabar Rd NE	Americana Blvd	2	D	17,700	9,893	C	14,700	C

ROADWAY NAME	FROM	TO	LANES	ADOPTED LOS	MAV	2025 AADT	2025 LOS	2045 AADT	2045 LOS
Emerson Dr	Americana Blvd	Culver Dr	2	D	17,700	9,674	C	14,375	C
Emerson Dr	Culver Dr	Minton Rd	2	D	17,700	4,973	C	7,389	C
Emerson Dr	Minton Rd NE	Jupiter Blvd NW	4	D	39,800	23,679	C	35,186	C
Emerson Dr	Jupiter Blvd NW	St Johns Heritage Pkwy	2	D	17,700	12,828	C	19,062	F
Florida Ave	Lipscomb St NE	Northview St NE	2						
Foundation Park Blvd	San Filippo Dr SE	Babcock St SE	2						
Garvey Rd	Harper Blvd SW	Malabar Rd NW	2	D	17,700	3,793	C	5,635	C
Glendale Ave	Pace Dr NW	Emerson Dr NW	2	D	17,700	1,497	C	2,225	C
Harper Blvd	Garvey Rd SW	Hurley Blvd SW	2	D	17,700	2,152	C	3,198	C
Hollywood Blvd	Palm Bay Rd	Eber Blvd	2	D	17,700	15,186	C	22,565	F
Hollywood Blvd	Eber Blvd	W New Haven Ave	2	D	17,700	14,179	C	21,069	F
Hurley Blvd	Harper Blvd	Malabar Rd NW	2						
I-95	Brevard/Indian River Line	Reese Rd	6	D	64,000	47,620	C	70,761	F
I-95	Reese Rd	Malabar Rd	6	D	64,000	47,620	C	70,761	F
I-95	Malabar Rd	Palm Bay Rd	6	D	111,800	69,005	C	102,538	C
I-95	Palm Bay Rd	W New Haven Ave	6	D	111,800	85,566	C	127,147	F
Jupiter Blvd	San Filippo Dr SE	Emerson Dr SE	2	D	15,600	11,622	C	17,269	F
Jupiter Blvd	Emerson Dr SE	Eldron Dr SE	2	D	17,700	10,982	C	16,319	C
Jupiter Blvd	Eldron Dr SE	Degroodt Rd SW	2	D	17,700	13,162	C	19,558	F
Jupiter Blvd	Degroodt Rd SW	Malabar Rd NW	2	D	17,700	7,955	C	11,821	C
Jupiter Blvd	Malabar Rd NW	Americana Blvd NW	2	D	17,700	12,407	C	18,435	F
Jupiter Blvd	Americana Blvd NW	Pace Dr NW	2	D	17,700	13,012	C	19,335	F
Jupiter Blvd	Pace Dr NW	Emerson Dr NW	2	D	17,700	11,959	C	17,771	F
Knecht Rd	Port Malabar Rd NE	Palm Bay Rd NE	2	D	17,700	1,434	C	2,131	C
Lamplighter Dr	Pace Dr NW	Emerson Dr NW	2						
Lipscomb St	Palm Bay Rd	S Harbor City Blvd	2						

ROADWAY NAME	FROM	TO	LANES	ADOPTED LOS	MAV	2025 AADT	2025 LOS	2045 AADT	2045 LOS
Main St	Dixie Highway NE	Four Lane Section of Main St	2						
Main St	Four Lane Section of Main St	Charles J Herbert Dr	4						
Malabar Rd	St Johns Heritage Parkway	Jupiter Blvd	2	D	17,700	10,524	C	15,638	C
Malabar Rd	Jupiter Blvd	Minton Rd	2	D	17,700	18,620	F	27,669	F
Malabar Rd	Minton Rd	Emerson Dr	4	D	39,800	24,412	C	36,275	C
Malabar Rd	Emerson Dr	San Filippo Dr	6	E	50,900	33,042	D	49,098	D
Malabar Rd	San Filippo Dr	I-95	6	E	50,900	54,950	F	81,653	F
Malabar Rd	I-95	Babcock St	6	E	50,900	42,157	C	62,643	F
Malabar Rd	Babcock St	Corey Rd	2	D	24,200	17,458	C	25,941	F
Malabar Rd	Corey Rd	US-1	2	D	14,800	9,056	D	13,456	D
Micco Rd	Babcock Rd	Dottie Dr	2	D	14,200	2,560	C	3,805	C
Minton Rd	Jupiter Blvd	Malabar Rd	2						
Minton Rd	Malabar Rd	Americana Blvd	4	D	39,800	25,487	C	37,872	C
Minton Rd	Americana Blvd	Emerson Dr	4	D	39,800	28,144	C	41,821	F
Minton Rd	Emerson Dr	Palm Bay Rd	4	E	33,800	56,366	F	83,756	F
Minton Rd	Palm Bay Rd	Hield Rd	4	E	39,800	28,189	C	41,888	F
Minton Rd	Hield Rd	Norfolk Parkway	4	D	39,800	33,426	C	49,669	F
Minton Rd	Norfolk Parkway	Eber Blvd	4	D	39,800	33,761	C	50,166	F
Norfolk Pkwy	Minton Rd	Just North of Palm Bay Rd	2	E	33,800	23,768	C	35,317	F
Norfolk Pkwy	Just North of Palm Bay Rd	Palm Bay Rd	2						
Pace Dr	St Johns Heritage Parkway	Jupiter Blvd	2	D	17,700	3,438	C	5,109	C
Palm Bay Rd	Minton Rd	Athens Dr	6	D	59,900	30,406	C	45,182	C
Palm Bay Rd	Athens Dr	Culver Dr	6	D	59,900	30,644	C	45,535	C
Palm Bay Rd	Culver Dr	I-95	6	D	59,900	54,945	C	81,645	F
Palm Bay Rd	I-95	Hollywood Blvd	6	D	59,900	58,750	C	87,300	F

ROADWAY NAME	FROM	TO	LANES	ADOPTED LOS	MAV	2025 AADT	2025 LOS	2045 AADT	2045 LOS
Palm Bay Rd	Hollywood Blvd	Dairy Rd	6	D	59,900	48,896	C	72,658	F
Palm Bay Rd	Dairy Rd	Port Malabar Blvd	6	D	59,900	42,563	C	63,247	F
Palm Bay Rd	Port Malabar Blvd	Stack Blvd	6	D	59,900	37,341	C	55,487	C
Palm Bay Rd	Stack Blvd	Riviera Dr	6	D	59,900	37,751	C	56,096	C
Palm Bay Rd	Riviera Dr	Babcock St	6	D	59,900	39,519	C	58,724	C
Palm Bay Rd	Babcock St	Knecht Rd	6	D	59,900	35,099	C	52,155	C
Palm Bay Rd	Knecht Rd	Clearmont St	6	D	59,900	37,400	C	55,574	C
Palm Bay Rd	Clearmont St	Troutman Blvd	6	D	59,900	20,201	C	30,018	C
Palm Bay Rd	Troutman Blvd	Charles J Herbert Dr	6	D	59,900	19,884	C	29,547	C
Port Malabar Blvd	Palm Bay Rd	Pebble Beach Avenue	2						
Port Malabar Blvd	Pebble Beach Avenue	Babcock St	4						
Port Malabar Blvd	Babcock St	Clearmont St	4	D	39,800	17,059	C	25,349	C
Port Malabar Blvd	Clearmont St	US-1	4	D	39,800	12,680	C	18,842	C
R J Conlon Blvd	Palm Bay Rd	Commerce Park Dr	4	D	39,800	14,473	C	21,507	C
R J Conlon Blvd	Commerce Park Dr	US-1	4	D	39,800	11,164	C	16,590	C
Riviera Dr	Palm Bay Rd	Palm Bay Rd	2						
San Filippo Dr	Degroodt Rd SW	Wyoming Dr	2						
San Filippo Dr	Wyoming Dr	Jupiter Blvd	2						
San Filippo Dr	Jupiter Blvd	Malabar Rd	4	D	39,800	23,695	C	35,209	C
St Johns Heritage Pk	Malabar Rd	Pace NW	2	E	15,600	6,064	C	9,010	D
St Johns Heritage Pk	Pace NW	Emerson Dr	2	E	15,600	7,941	D	11,799	D
St Johns Heritage Pk	Emerson Dr	Simon Rd	2	E	15,600	11,814	D	17,554	F
St Johns Heritage Pk	Babcock Rd	I-95	4	E	15,600	3,981	C	5,916	C
US-1/SR-5/Dixie Hwy	Valkaria Rd	Malabar Rd	4	D	41,790	16,742	C	24,878	C
US-1/SR-5/Dixie Hwy	Malabar Rd	Port Malabar Blvd	4	D	41,790	20,030	C	29,764	C
US-1/SR-5/Dixie Hwy	Port Malabar Blvd	Palm Bay Rd	4	D	39,800	24,502	C	36,408	C

ROADWAY NAME	FROM	TO	LANES	ADOPTED LOS	MAV	2025 AADT	2025 LOS	2045 AADT	2045 LOS
US-1/SR-5/Dixie Hwy	Palm Bay Rd	Just South of Robert Conlan Blvd	4	D	39,800	20,872	C	31,014	C
US-1/SR-5/Dixie Hwy	Just South of Robert Conlan Blvd	E New Haven Blvd	6	D	59,900	30,459	C	45,261	C
Valkaria Rd	Babcock St	Corey Rd	2	D	14,800	4,686	C	6,963	C
Waco Blvd	Emerson Dr	Babcock St	2						
Walden Blvd	Bayside Lakes Blvd	Wyoming Dr	2						
Wyoming Dr	Walden Rd	San Filippo Dr	2						
Wyoming Dr	San Filippo Dr	Babcock St	2						

Sources: FDOT, Space Coast TPO, Inspire, 2023.

All other projections based on 2 percent per year growth.

LOS = Level of Service, MAV = Maximum Allowed Traffic Volume, AADT = Average Annual Daily Trips

2.5 PARKING

Parking within the City is generally addressed by individual developments through paved surface lots. The City's land development regulations require off-street parking based on the square footage or number of units included in a specific development. There is no structured parking within the City. All surface lots are arranged in front of the primary structure on the site, which does not encourage a pedestrian friendly environment.

2.6 PUBLIC TRANSPORTATION

Palm Bay's public transportation needs are served by Space Coast Area Transit (SCAT), which is a fixed-bus route service provided by the Brevard County government. The five (5) routes (Heritage-West Melbourne; South Palm Bay; West Palm Bay; Melbourne/Palm Bay; East Palm Bay) provide transportation within Palm Bay and connect Palm Bay to neighboring communities, such as Melbourne and West Melbourne, see **Map TRAN-4**. The buses on these routes visit each stop once an hour from around 7 AM to around 8 PM on weekdays – weekend routes have similar time intervals but with reduced operating hours. For those with disabilities, SCAT provides comprehensive service, including Paratransit.

The five routes mainly provide service along major corridors, such as W. New Haven Avenue, Babcock Street, Minton Road, and Malabar Road. The routes' extension into smaller local streets is not extensive, posing a "last-mile" transportation problem which refers to the challenge people have traveling from their public transit stop to their final destination. This challenge is even more prominent in the southern and eastern parts of Palm Bay where there is very little overlap in bus routes' stops and many subdivisions are completely unserved, without a bus stop within one (1) or two (2) miles. As the City looks to enhance economic opportunities for community members, extending public transit service may be a key component in connecting people to these opportunities.

2.7 AIRPORTS

There are no airports within the City boundaries, though Melbourne International Airport is approximately six (6) miles north of the City limits. Valkaria Airport and Sebastian Municipal Airport are also close to the City and are smaller, public-use airports. The next closest international airport is Orlando International Airport, about 50 miles from the City.

2.8 PEDESTRIAN AND CYCLING SYSTEM

Improving pedestrian and cyclist connectivity has become an important issue to the City to create a more connected community. In 2020, the Palm Bay Police Department partnered with the Florida Department of Transportation to facilitate the Alert Today/Alive Tomorrow High Visibility Enforcement Program to enhance on-road protection for pedestrians and cyclists. This effort targeted Palm Bay Road and Malabar Road, two corridors which have the highest rates of pedestrian and cyclist accidents in the City.

Pedestrian access is provided along sidewalks, as well as crosswalks at major intersections. One-sided sidewalks can be found along collector roads, and sidewalks can be found on both sides of major arterial roads. While pedestrian infrastructure is present along major arterials, there are further challenges to pedestrian connectivity and comfort. Because of traffic volumes along major arterials, the pedestrian experience may be uncomfortable, and there are few shade trees to protect from the heat. Since crosswalks are located at major intersections, pedestrians would be unable to cross safely at non-major intersections. This may limit pedestrian access to employment, commercial centers, or residential areas. The construction of highly visible mid-block traffic crossings for pedestrians is a potential opportunity for enhancing pedestrian connectivity within the City.

Very few of the City's roads have been designed with cycling infrastructure, though cyclists can use non-major roadways. There are bike lanes on some of the arterial roadways in the City, but were added retroactively to the roads and are not the optimal condition for cyclist.

The City continues to implement their Sidewalk Plan that was developed in 2010. Very few of the proposed sidewalks have been constructed as a result of this plan. Most of the constructed sidewalks that were proposed in the plan have been provided by new development. Continued utilization of the plan should be a priority to continue to connect pedestrian from residential areas to the City's primary destinations. An update to the Sidewalk Plan should be completed to include constructed segments and include new proposed segments of the pedestrian system. In order to have a cohesive bicycle and pedestrian network, this system should provide meaningful connections to the trails system in the City discussed in the next section.

2.9 TRAILS

There are three trails that fall within City limits, though there are several more trails which fall immediately outside of City limits, but still accessible to City residents. Ais Trail Park, located in the northeastern area of the City, has a 0.6-mile nature trail loop which provides an opportunity to explore the natural habitat of the City. There is a self-guided educational walk throughout the trail to learn about the native flora and fauna.

Turkey Creek Sanctuary Trail, located south of Port Malabar Boulevard NE, is approximately 4.5 miles, though there are three (3) individual trails within the Turkey Creek Sanctuary Park which make up the trail system. These trails are a mixture of boardwalk, unpaved, and biking trails. The one-mile mountain bike trail connects to longer trails outside of the City limits (Malabar Scrub Sanctuary Trail).

Malabar Trail runs within the City limits and outside of it. The trail runs south from Port Malabar Boulevard NE toward the City boundary and along the boundary toward the Indian River, then south into the City of Malabar. The trail allows hiking and biking.

The Three Forks Marsh Conservation Area Trail, managed by the St. Johns River Water Management District, runs along portions of the western boundary of the City, providing nature access to City residents. There are camping areas, picnicking, and boating access within the Conservation Area.

As part of the parks and recreation master planning process, a citywide trail system should be contemplated. As described above the trails system should be provide connections to the pedestrian network linking residential communities with the City's natural areas and centers of commerce.

2.10 EQUITY

Advancing equity within the transportation system is a topic that has garnered more attention in recent years. Bay's and much of today's transportation systems were constructed with one type of user, the automobile. Understanding that this method of planning transportation networks developed exclusivity to people with access to automobiles, planners and designers shifted their focus to provide a system that is more complete and provide access to all people. This movement is much like the Complete Streets movement. However, when evaluating a transportation system through the lens of Equity, it becomes evident who lacks a clear means of reliable transportation.

When evaluating equity in the transportation system the following should apply.

- Accessibility: access to life's daily work, play, friends, family, goods and services broad and diverse places.
- Equality: equal allocation of resources.

- Equity: providing resources and solutions to address groups' unique needs and preferences.
- Transportation Equity: providing a fair distribution of transportation facilities that are accessible and affordable for everyone in the community.

As Palm Bay continues to evolve to become a more urban environment, equity should be evaluated as part of the transportation design and planning discussion.

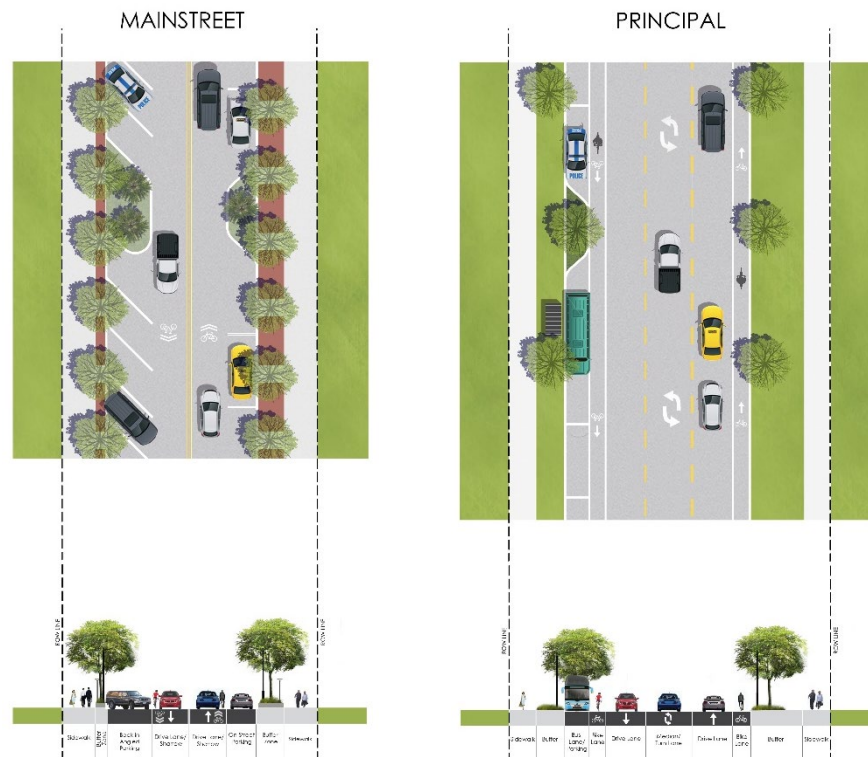
2.11 COMPLETE STREETS

A paradigm shift occurred within the last fifteen years in the planning and design of transportation systems throughout the country. No more are we designing auto-centric roadways that bisect crucial core areas and put the burden on pedestrians and cyclists to move safely through an economic hub. The Complete Streets movement seeks to get back to the original design intent of a city's roadway network that promotes walkability with compelling and functional public spaces which will ultimately inform the development of a mobility framework of the city. Status Quo auto-dependency has undermined the character and livability of many of this nation's cities, particularly within their historic downtowns. Personal automobile trips by residents, visitors, students and workers strain the local street network and in downtown areas causes conflicts where pedestrian, wheelchair and bicycle modes are at risk of accidents created by the auto-centric transportation system.

Complete Streets is a context sensitive design concept that informs decisions for roadways that is more focused on the full functional value of a right-of-way rather than the sole focus being on automobile capacity. **Figure 1** provides two examples of conceptual complete street designs. This a mobility tool that has been adopted by the FDOT and TPO, which provides for funding and design assistance for roadways within the city. FDOT District 5 has become a champion of complete streets and has allocated resources specifically for this cause. The state has established a context classification for roadways that mirrors the form-based transect. Each state road is given a context classification and based its character and location. The context classification and transportation characteristics of a roadway determines key design criteria for all non-limited- access state roadways. The state's Context Classification Guide provides guidance on how context classification can be used, describes the measures used to determine the context classification of a roadway, and describes the relationship of context classification with the FDOT Design Manual (FDM) and other FDOT guidance.

The City should continue to work with its state and regional partners to enhance their mobility aspirations and facilitate complete street design within the City.

Figure 1: Complete Streets Examples



2.12 RESIDENTIAL TRAFFIC CALMING

The City Council approved traffic calming policy in 2007 that includes direction for implementing and funding residential traffic calming methods along local streets in the City. Traffic calming consists of built technique to slow traffic speeds on streets in residential areas or high volume pedestrian areas. These techniques may comprise speed humps, speed tables, elevated pedestrian crossing, chicanes, vegetative bump-outs, on-street parking, HAWK signals, changing street alignment, installation of barriers, and/or other physical measures to reduce traffic speeds and/or cut-through volumes, in the interest of street safety, livability, and other public purposes.

Administered by the Public Works Department, there are specific criteria for implementing traffic calming measures. Some of the criteria include length of the roadway, no conflicts with drainage, number of daily trips, not a designated Primary Fire Response Route, and others. The policy allows residents to request and fund the construction of the traffic calming device should it be approved by the Department.

High rates of speeds within residential neighborhoods is an unsafe condition that leads to numerous traffic accidents and fatalities each year. Fundamentally, a network of roads should provide connectivity that does not impede the movement of people within a city or force travel onto main thoroughfares. Coupled with Palm Bay's suburban development pattern and lack of compact urban centers, daily travel relies on the major arterials for all travel to the areas of commerce in the City.

2.13 VISION ZERO

In 2022, the City Council approved a resolution adopting the Vision Zero goal of no loss of life on Palm Bay's streets. As part of this resolution the City committee staff to participate in the county-wide Vision Zero Safety Committee and recommended that the committee coordinate with Palm Bay's on the implementation efforts of Vision Zero.

Vision Zero is a movement that strives to eliminate all traffic related fatalities and severe injuries, while also increasing safe, healthy, equitable mobility for all. This was first implemented in Sweden in the 1990s and has proved successful across Europe and has recently gained significant momentum in the US.

In excess of 42,000 people are killed and thousands more are injured on US streets. Not only does losing a life exact an emotional toll on families and communities, but the economic impact on personal finances can be devastating. Facilities exact a significant cost to taxpayers on emergency response and long-term healthcare costs. The graphic below embodies the philosophy of Vision Zero.

Figure 2: Vision Zero Ethos



2.14 INTELLIGENT TRANSPORTATION SYSTEM (ITS)

Space Coast TPO completed an ITS Master Plan in 2021 that establishes the long range vision and goals for implementing an ITS program across the road network in Brevard County. ITS is an advanced application of interconnected technology that aims to increase the efficiency of a built network by using innovative approaches to the circulation of multiple modes of transportation. This provides better traffic management, enables users to be better informed, make safer decisions, and established a more coordinated, and efficient use of transportation networks through smart technology.

Six objectives were established as part of the ITS Master Plan that include the following:

1. Improve traffic mobility (e.g., reduce travel time, improve travel time reliability, reduce traffic congestion),
2. Increase ITS footprint on critical corridors,
3. Improve the ease of using multimodal transportation options,
4. Improve bicycle and pedestrian safety,
5. Reduce the number of automobile crashes, and
6. Improve transportation operation strategies.

According to the master plan, Palm Bay has eleven (11) coordinated signals, one closed circuit television (CCTV) device, and no interconnected signals. The ITS Master Plan lists projects within the next 5 years. There are no ITS projects listed in Palm Bay. There are a number of proposed ITS projects for Palm Bay corridors. Most of the projects proposed are listed to be completed beyond 10 years. Roadways that are being considered for improvements include Emerson Drive, Malabar Road, St. Johns Heritage Parkway, Hollywood Boulevard, Dairy Road, San Filippo Drive, Babcock Street, and US 1.

Along I-95, there are a several proposed projects at the interchanges. Within Palm Bay, the interchanges include Palm Bay Road, Malabar Road, and St. Johns Heritage Parkway. These projects may include ramp signal systems, queue warning systems, wrong way detection systems, or automated truck warning systems. There is no timeframe for completion of these projects.

Intersection safety improvements are also proposed at several intersections in Palm Bay. Each intersection includes a proposed suite of ITS methods for safety improvements. For more specific information on the proposed improvements, see 2021 Intelligent Transportation Systems Master Plan. Below are the intersections proposed to be improved.

1. Palm Bay Road at Hollywood Boulevard - Kit C
2. Minton Road at Emerson Drive - Kit C
3. Malabar Road at Emerson Drive - Kit B

3.0 FUTURE NEEDS

3.1 NEAR TERM

In the near term, Palm Bay continues to implement the \$150M road improvement bond that was approved by referendum in November 2018. After years of neglect and limited funding, roadways in the City deteriorated to a point that residents overwhelmingly approved the bond. There are no near term improvements to the transportation network that will impact capacity of the existing facilities.

3.2 LONG TERM

Projected growth rates out to 2045 will continue to steadily increase as the population grows in the City. As shown in Table TRAN-2, several roadway segments will exceed the level of service standard, including Babcock Street, Jupiter Boulevard, Malabar Road, Minton Road, Palm Bay Road, St. Johns Heritage Parkway, Norfolk Parkway, Hollywood Boulevard, Bass Pro Drive, and Emerson Drive. Improvements identified in the LRTP are listed below.

Map TRAN-7 illustrates transportation improvements out to 2045.

Long Term Improvements addressing roadway capacity:

- Malabar Road: Widening to four lanes between SJHP to Minton Road and Babcock Street and US 1 (2031-2035).
- Palm Bay Road/Minton Road/Emerson Drive intersection operational analysis project. (2041-2045)
- Minton Road widening 2 to 4 lanes – design, RW and construction,
- Emerson Drive widening 2 to 4 lanes – design, RW and construction,
- Babcock Street widening 2 to 4 lane – redo PD&E study,
- SJHP widening from 2 to 4 lanes – design and construction cost,
- SJHP PD&E study from Malabar to Babcock – PD&E study
- SJHP connection from Malabar Road to Babcock Street
- Future extension of SJHP east to Micco Road

Additional Planned Improvements on the City's transportation network:

- Traffic Signal at Emerson and SJHP – Construction
- Traffic Signal at Pace and SJHP – Construction
- Traffic Signal turn lanes and poles for Jupiter at Malabar – design and construction
- Traffic Signal turn lanes and poles for Cogan at San Filippo – Construction
- Traffic Signal turn lanes and poles for Jupiter at San Filippo – Construction
- Traffic signal interconnect and new master controller for Malabar, Emerson and San Filippo – construction.
- I-95 at Malabar Road Interchange improvements
- I-95 at Palm Bay Road Interchange improvements

Building enough capacity on the existing facilities is not a realistic approach to accommodate future growth. Alternative measures need to be implemented to provide multiple modes of transportation to offset the impacts of future growth. Additionally, changes to the historic development pattern will be critical in the way people move in Palm Bay. Updates to the Future Land Use Element provide the necessary densities and intensities to allow for compact urban development that will facilitate a more pedestrian/bicycle friendly environment.

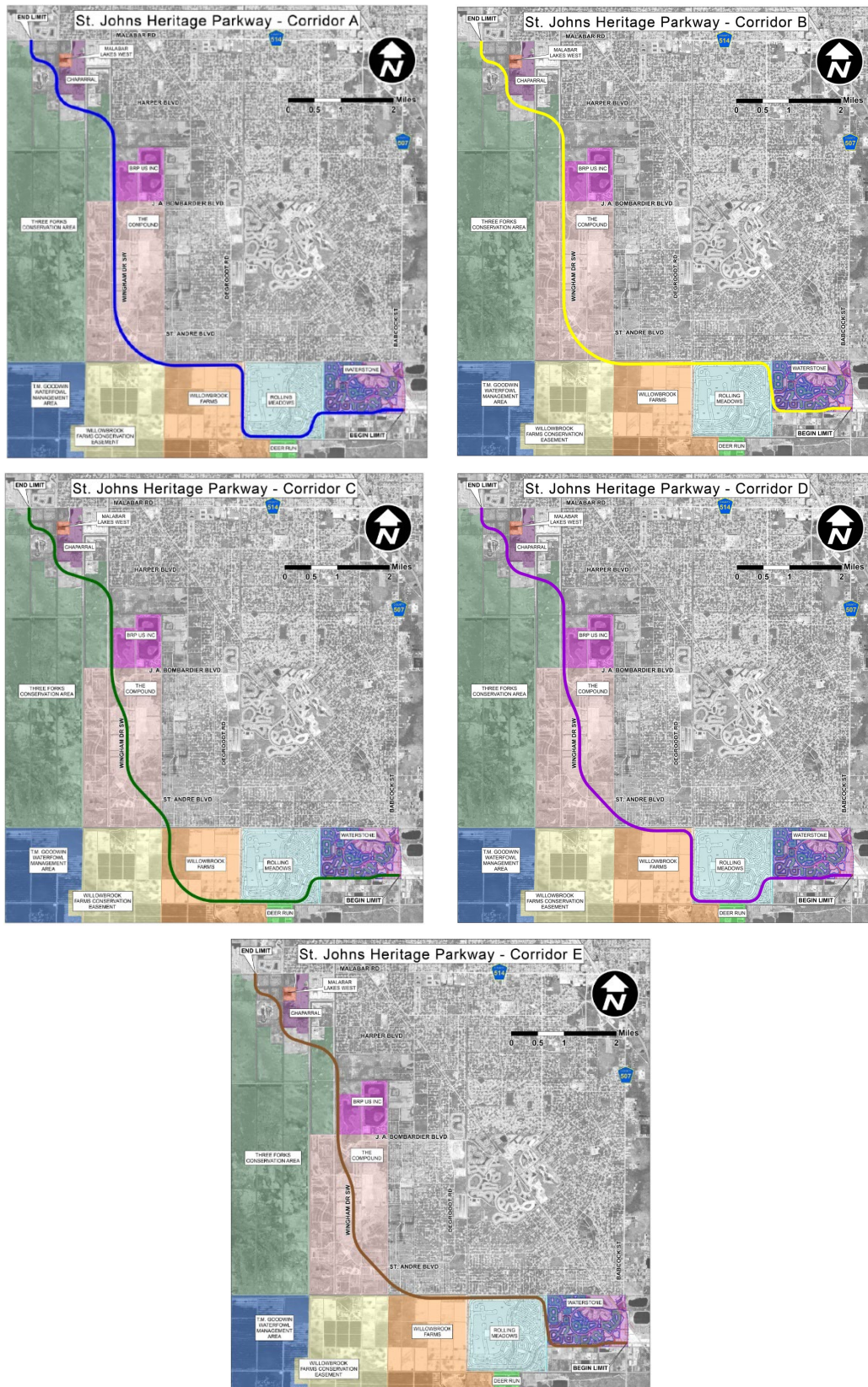
St. Johns Heritage Parkway continues to be a long term transportation improvement that will have a significant impact on the growth of Palm Bay in the future. To fully understand the impacts of this facility, the City should undertake a transportation and land use study surrounding the proposed interchanges of the Parkway. The following section includes a description of the Parkway. Such a study should explore and analyze all the land between the disconnected pieces of SJHP, consider opportunities for land development and expansion of the City, and identify where and how the SJHP may be connected eastward at different points along the parkway.

3.2.1.1 St. John Heritage Parkway (SJHP)

St John Heritage Parkway (SJHP) is an important arterial that has been under consideration since the Babcock Ranch development was conceived. **Figure 2** shows potential alignments of the new section of SJHP, which wraps around the western edge of the City, traverses the Compound and eventually connects with the existing portion of the parkway near I-95. Between the northwestern Palm Bay segment and the southeastern Palm Bay segment, there is vast acreage of undeveloped land, which includes the Compound. Ideally, the two segments of SJHP would be built out further to expand and connect in the future.

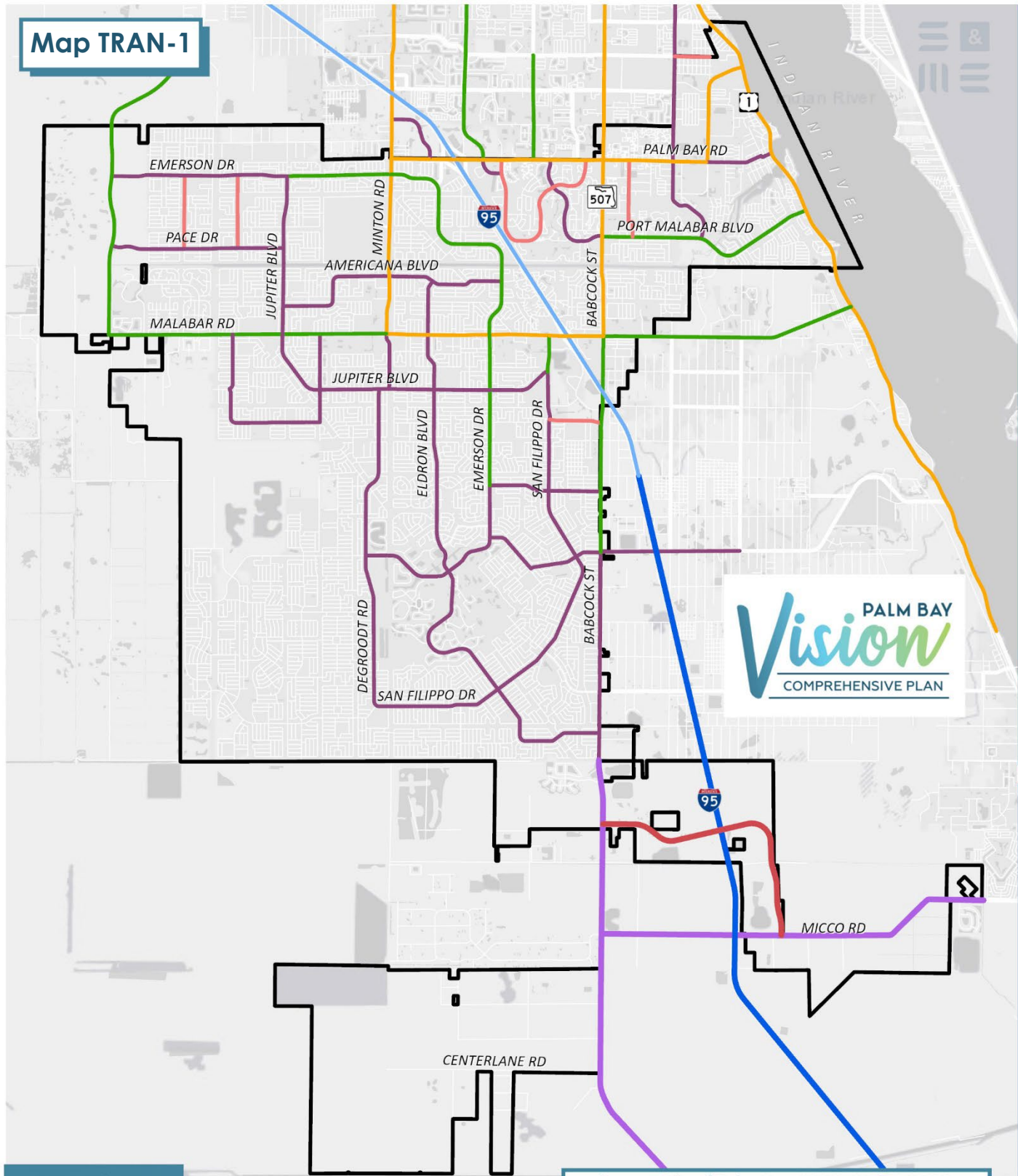
At this time, a timeframe for completion, funding, or an alignment have not yet been determined. However, it is conceivable the Parkway could be completed by 2045.

Figure 3: St. John's Heritage Parkway Potential Alignments



Source: Brevard County, 2021.

Map TRAN-1



Source: City of Palm Bay, 2022; FDOT, 2019.

LEGEND

City of Palm Bay

Water Feature

Functional Classification

01 - Principal Arterial-Interstate RURAL

07 - Major Collector RURAL

09 - Local RURAL

11 - Principal Arterial-Interstate URBAN

14 - Principal Arterial-Other URBAN

16 - Minor Arterial URBAN

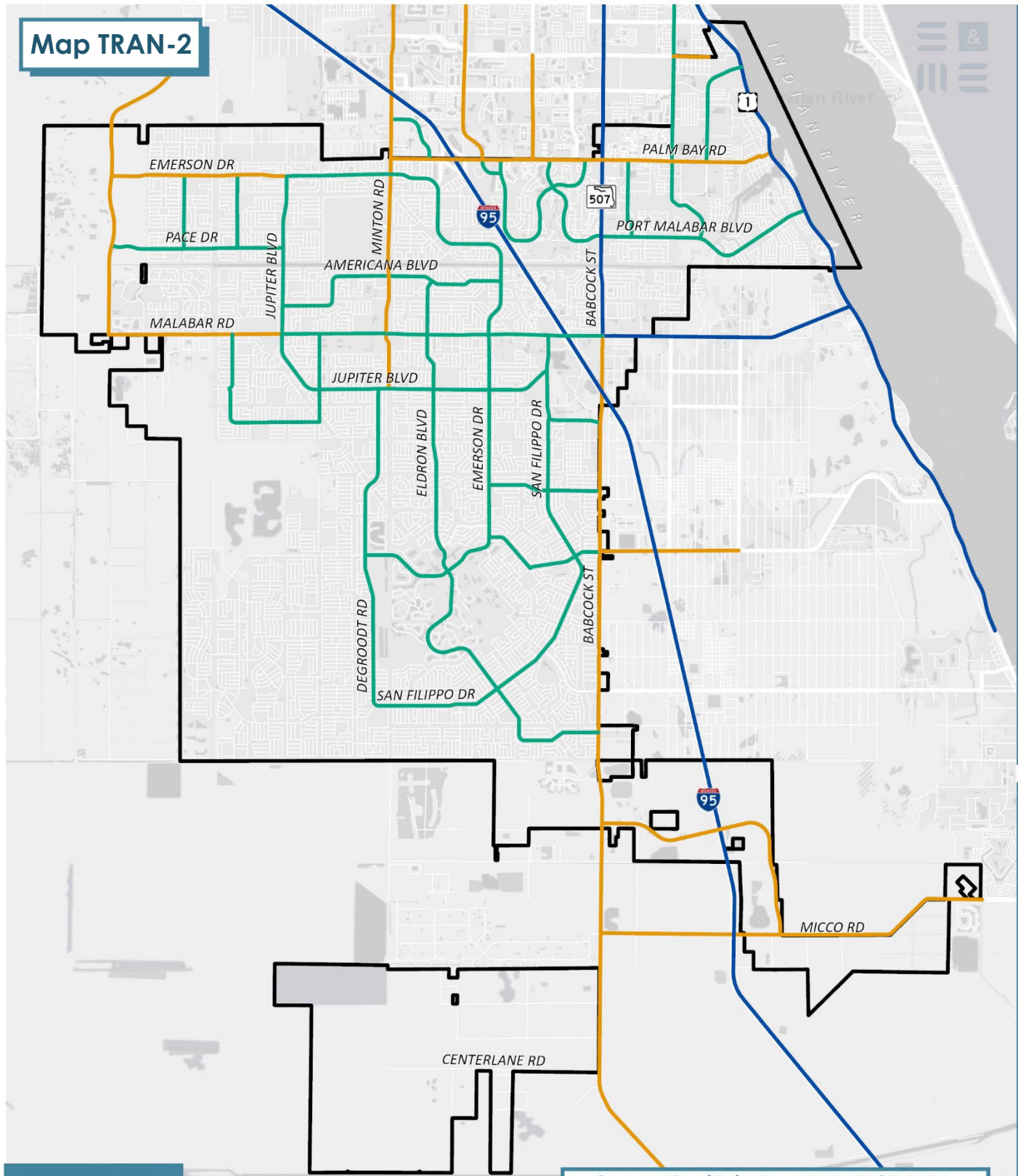
17 - Major Collector URBAN

18 - Minor Collector (Fed Aid) URBAN

ROADWAY CLASSIFICATION



Map TRAN-2



Source: City of Palm Bay, 2022; FDOT, 2019.

LEGEND

- City of Palm Bay
- Water Feature

Maintaining Agency

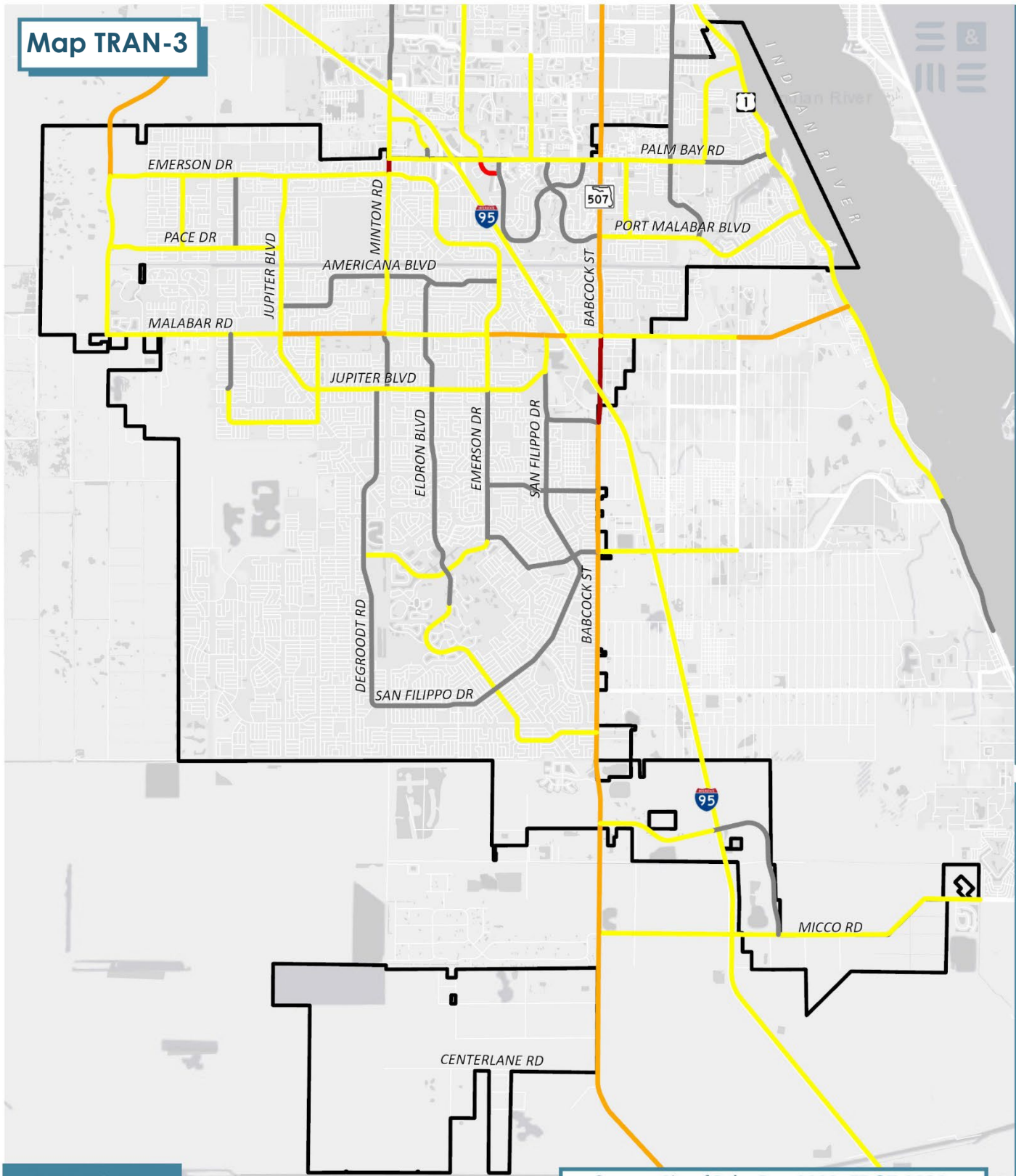
- Palm Bay
- Brevard County
- FDOT

VISION PALM BAY
COMPREHENSIVE PLAN

ROADWAY JURISDICTION



Map TRAN-3



LEGEND

- City of Palm Bay
- Water Feature

Existing Level of Service (2020)

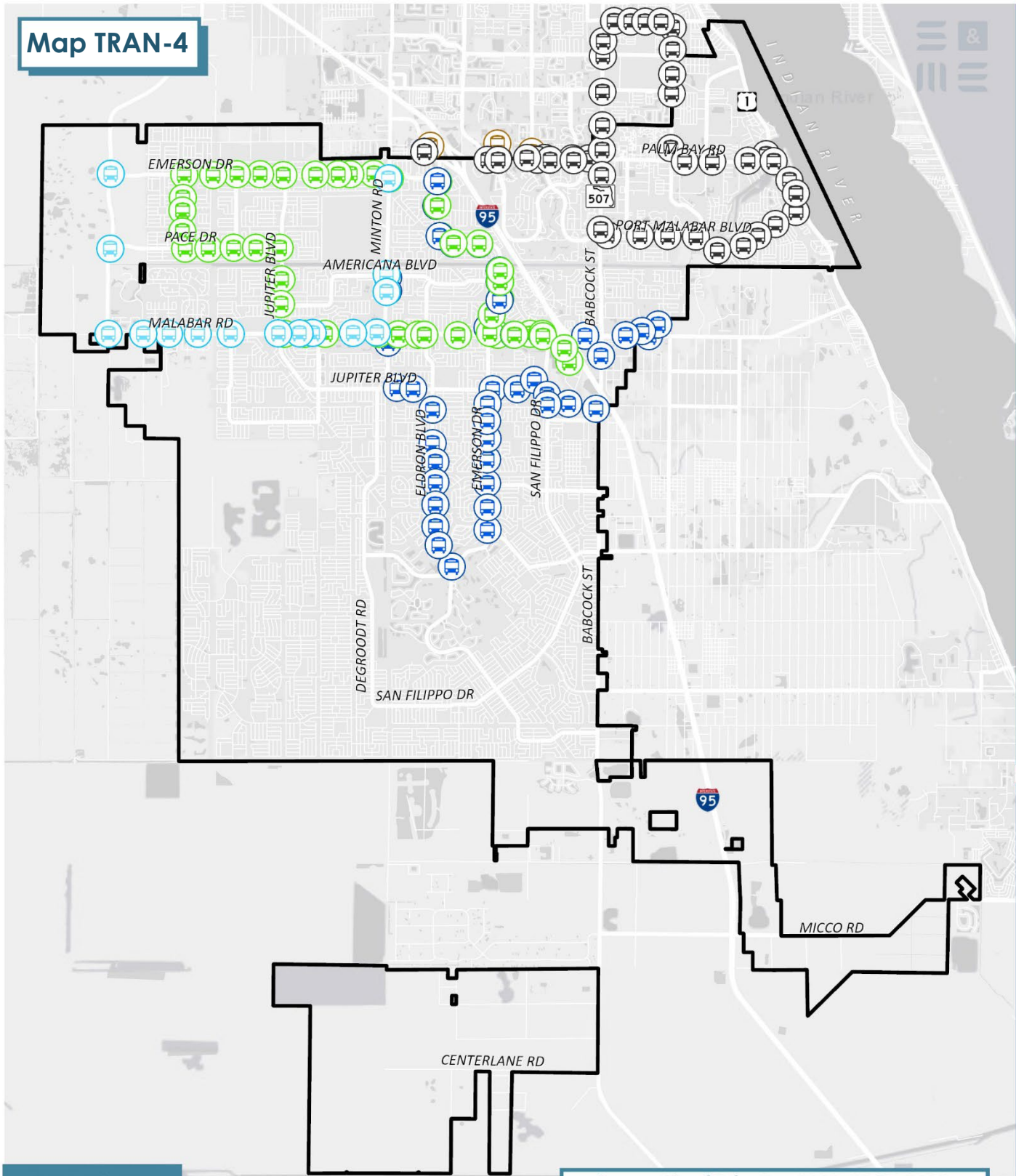
- C
- D
- E
- F
- Data Not Available



EXISTING ROADWAY PERFORMANCE



Map TRAN-4



LEGEND

- City of Palm Bay
- Water Feature

Space Coast Area Transit Route

- 20
- 22
- 23
- 25
- 27

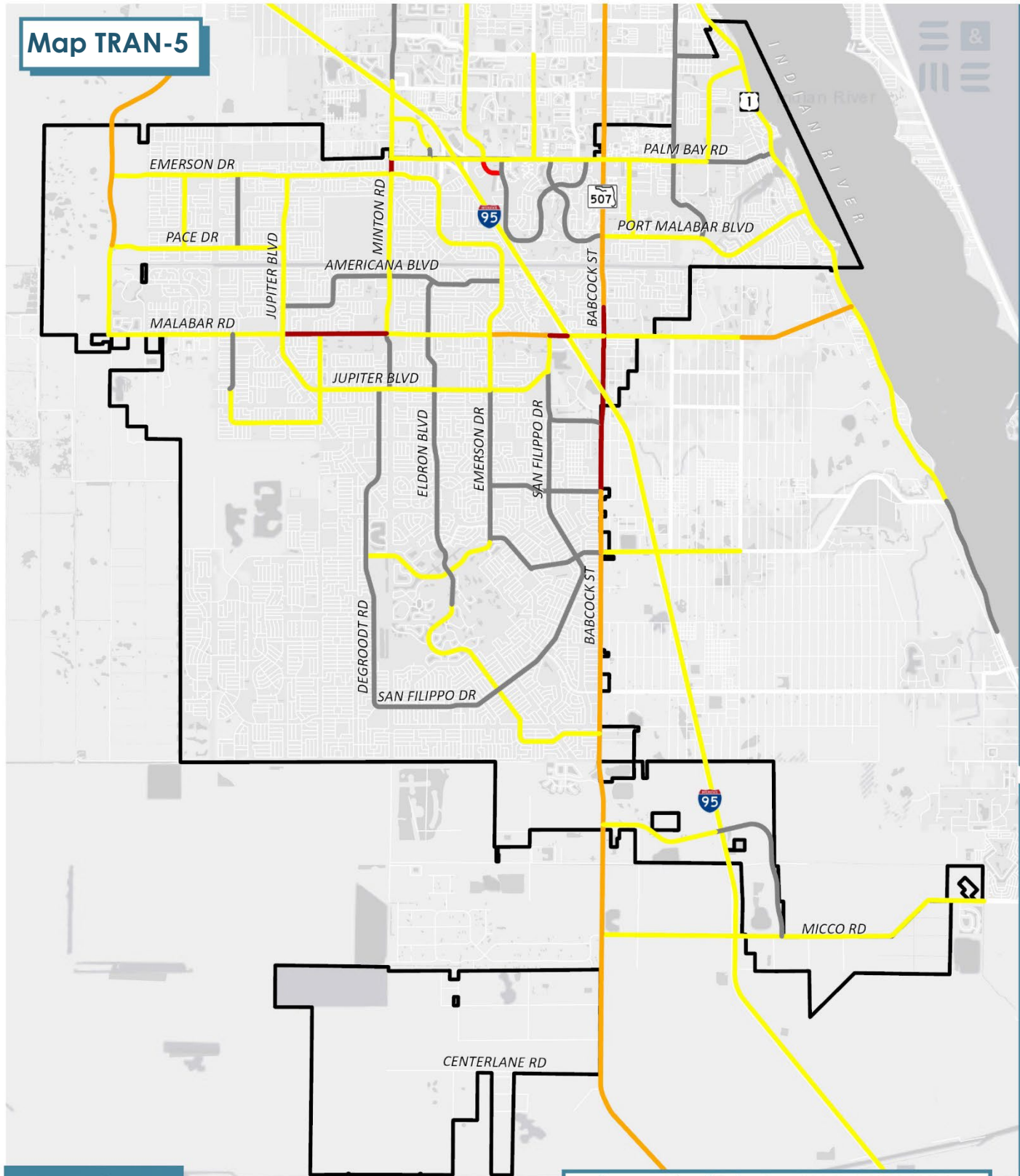
VISION PALM BAY
COMPREHENSIVE PLAN

Source: City of Palm Bay, 2022; FDOT, 2019.

TRANSIT FACILITIES



Map TRAN-5



Source: City of Palm Bay, 2022; FDOT, 2019.

LEGEND

- City of Palm Bay
- Water Feature

Projected Level of Service (2025)

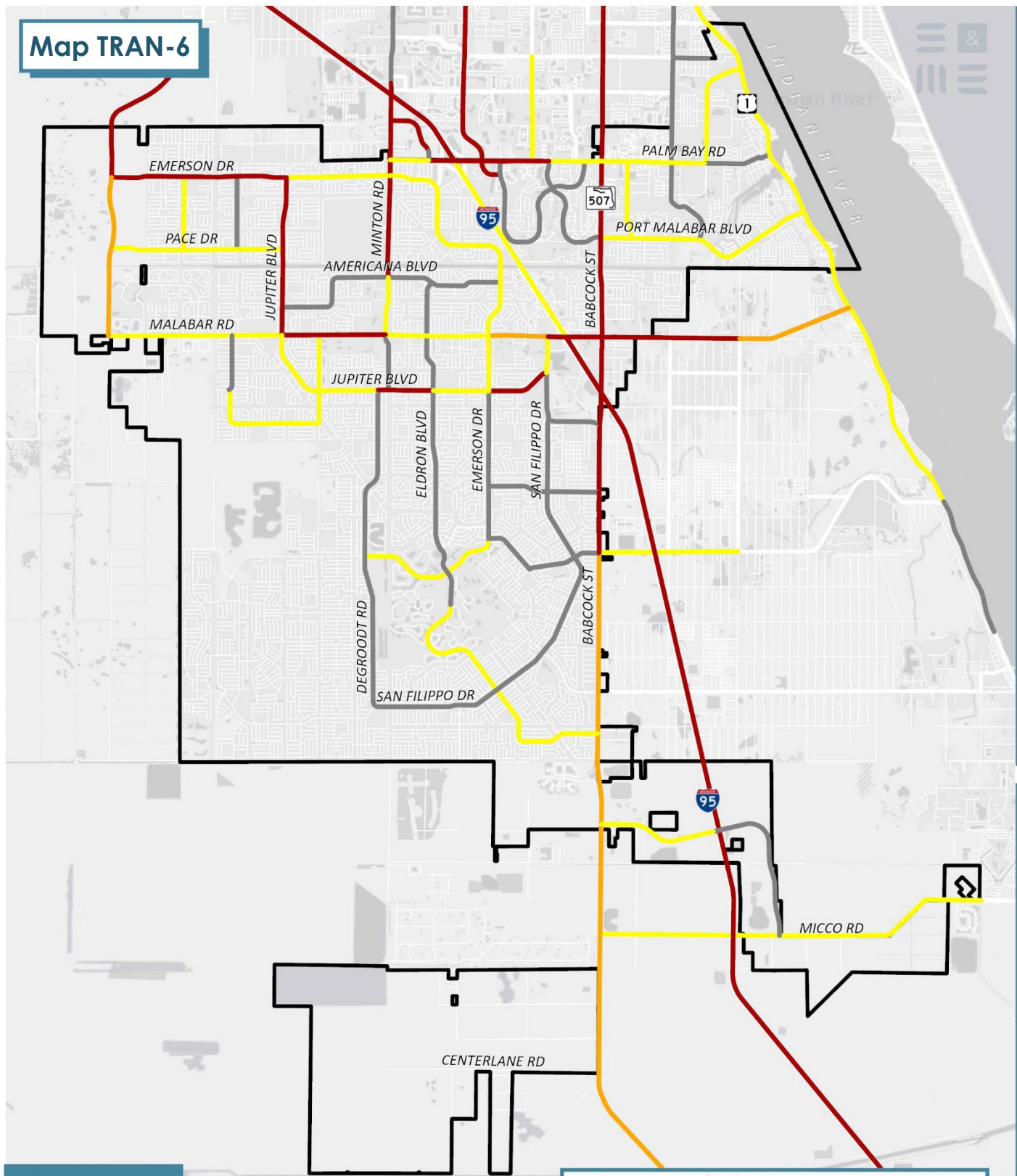
- C
- D
- E
- F
- Data Not Available



PROJECTED ROADWAY PERFORMANCE (2025)



Map TRAN-6



Source: City of Palm Bay, 2022; FDOT, 2019.

LEGEND

- City of Palm Bay
- Water Feature

Projected Level of Service (2045)

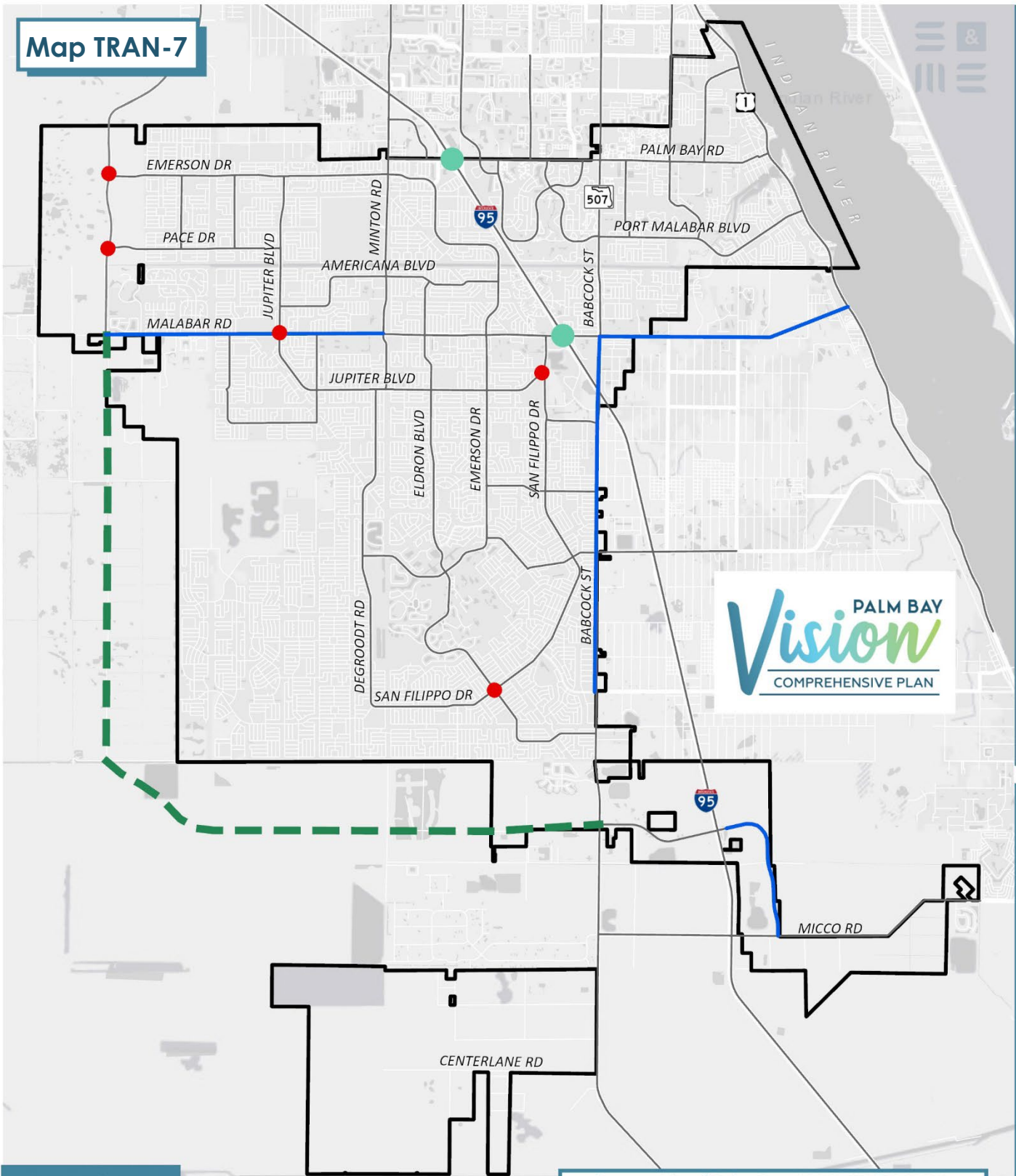
- C
- D
- F
- Data Not Available



PROJECTED ROADWAY PERFORMANCE (2045)



Map TRAN-7



LEGEND

- City of Palm Bay
- Water Feature
- Road
- Roadway Improvement
- Interchange Improvement
- Intersection Improvement
- St. Johns Heritage Parkway Conceptual Alignment

FUTURE TRANSPORTATION MAP (2045)



GOAL TE-1

A safe, balanced, efficient and comprehensive transportation system that adequately serves the needs of all residents and visitors of Palm Bay.

Objective TE-1.1

Maintain roadway level of service at or better than all adopted level of service standards.

Policy TE-1.1A. The City shall provide timely implementation of the highway improvements through projects and programs identified in the Capital Improvements Element.

Policy TE-1.1B. The City shall maintain the roadway level of service stated in Policy CIE-1.5A for the provision of adequate transportation facilities.

Policy TE-1.1C. Evaluate the functional classification of each roadway facility in the City to ensure the service volumes are consistent with the Space Coast TPO.

Policy TE-1.1D. The City shall implement a traffic monitoring program to annually update and analyze traffic data.

Policy TE-1.1E. The City shall develop and implement Land Development Regulations which establish criteria which require new roads and

streets designed as an integral part of, and consistent with, the Future Transportation Map.

Policy TE-1.1F. The City shall review and update the Transportation Impact Fee and determine if a mobility fee structure should be utilized.

Policy TE-1.1G. Continue to enforce the Concurrency Management Ordinance to ensure that future development does not cause a reduction in the level of service.

Policy TE-1.1H. To facilitate a more urban development pattern, the City shall prepare a mobility study to evaluate all modes of travel and determine whether transportation concurrency should be utilized in the future.

Policy TE-1.1I. The City shall utilize strategies developed by the Space Coast Transportation Planning Organization (TPO) to facilitate local traffic use to preserve the operation and function of Interstate 95.

Objective TE-1.2

Improve the safety of the transportation system through a reduction in the rate of accidents on the public roadway system.

Policy TE-1.2A. The City Specific design criteria for transportation facilities shall meet or exceed those criteria established by the City, State and Federal transportation authorities. These include,

but are not limited to, the following Florida Department of Transportation (FDOT) documents:

- Manual of Uniform Standards for Design, Construction and Maintenance of Streets and Highways (Florida Greenbook);
- Roadway Design Manual;;
- Pedestrian and Bicycle Safety Plan;
- Bicycle and Pedestrian Facilities Handbook;
- Florida Highway Landscape Guide; and
- Traffic Engineering Manual.

Policy TE-1.2B. To minimize access points on arterials and collector streets the land development regulations shall include provisions to encourage frontage streets and joint use of access points.

Policy TE-1.2C. The City shall evaluate the appropriateness of commercial, industrial and multi-family developments which utilize access from local residential streets.

Policy TE-1.2D. In coordination with state and regional transportation agencies, advance the Vision Zero strategy in designing and planning the transportation system in the City.

Policy TE-1.2E. The City shall continue to implement the Traffic Calming program to reduce speeds and potential traffic collisions on local residential streets.

Objective TE-1.3

Ensure that the City coordinates with appropriate transportation agency plans and programs in the implementation of this plan.

Policy TE-1.3A. To ensure the City's needs are represented, a member of the City shall continue active participation in the Space Coast TPO.

Policy TE-1.3B. Annually review the plans and programs of the following entities and update the Capital Improvements Schedule accordingly:

- a. Space Coast TPO;
- b. FDOT;
- c. City of Melbourne;
- d. City of West Melbourne;
- e. Town of Malabar;
- f. Town of Grant Valkaria, and;
- g. Brevard County.

Objective TE-1.4

Protect existing and future rights-of-way from building encroachment.

Policy TE-1.4A. The land development regulations shall continue to include appropriate building setbacks along all roadways consistent with recommended right-of-way widths and the plans of transportation system providers.

Policy TE-1.4B. Establish a program in the Capital Improvements Element to identify and acquire future right-of-way based on identified needs in the Transportation Element.

Policy TE-1.4C. Continue to enforce the on-site parking requirements of the Land Development Regulations.

Policy TE-1.4D. Assess the current parking requirements and determine if parking maximums should be incorporated to limit large unused surface lots.

Policy TE-1.4E. Develop provisions in the Land Development Regulations that encourage and facilitate an interconnected grid system that

maximizes connections between roadways regardless of functional classification.

Policy TE-1.4F. The land development regulations shall include a Transportation Corridor Management Ordinance for the southern extension (south of Malabar Road) of the St. Johns Heritage Parkway. A consistent alignment shall be defined as a 200' right-of-way corridor extending from Malabar Road on the northern end, Interstate 95 on the southeastern end. The

alignment shall be based upon the preferred alignment of a PD&E study conducted to Federal NEPA standards (Ord. 2016-84, passed 10-17-17).[IS THIS THE CORRECT ALIGNMENT?]

Policy TE-1.4G. During the right-of-way acquisition for the St. Johns Heritage Parkway, the City shall undertake a land use and transportation study to explore the impacts of the new interchanges and opportunities for additional east-west connectivity.

Objective TE-1.5

Increase ridership of mass transit and transportation disadvantage service within the City of Palm Bay.

Policy TE-1.5A. Participate in the planning of the Brightline rail service.

Policy TE-1.5B. Prepare and make available, through distributing brochures or by car/van pool information to all employees and citizens in Palm Bay.

Policy TE-1.5C. Incorporate provisions requiring, where appropriate, facilities such as bus benches, shelters, bus turnout facilities, park-and-ride lots, and bus stops, be included in design plans for new or revised development projects which include major trip generators and/or attractors.

Policy TE-1.5D. Continue to work with the Space Coast TPO, the FDOT, Aging Matters in Brevard, the Brevard Commission on Aging, the Space Coast Area Transit Authority and other appropriate agencies to provide public transit

and/or transportation disadvantage service to Palm Bay.

Policy TE-1.5E. Prepare and make available to the transportation disadvantaged, through brochures and newsletters, information regarding the availability of public transit and paratransit services.

Policy TE-1.5F. Continue to coordinate with the FDOT and all proposals for High Speed and Intercity rail to ensure that passenger rail routes through the City of Palm Bay include a passenger terminal serving Palm Bay.

Policy TE-1.5G. The City shall utilize annual ridership per capita as the indicator to measure progress toward achievement of mobility goals relating to public transit.

Objective TE-1.6

Transmit the needs of Palm Bay to service providers of existing and future airport facilities.

Policy TE-1.6A. The Planning Division shall review and provide written recommendations on all Melbourne International Airport Authority plans

and actions which increase the aircraft-related noise levels in Palm Bay.

Policy TE-1.6B. The Planning Division shall review and provide written recommendations on all Valkaria Airport plans and actions which would increase the aircraft-related noise levels in Palm Bay.

Policy TE-1.6C. Annually, the Planning Division shall review the FDOT Five-Year Transportation Plan for future airport sites and make written recommendations to City Council on any proposal for new airport facilities in South Brevard.

Objective TE-1.7

Transmit the needs of Palm Bay to service providers of existing and future port facilities.

Policy TE-1.7A. The Planning Division shall review, at least every five years, any plans of the Canaveral Port Authority and make written recommendations to the City Council on actions, if any, to be taken by the City.

Policy TE-1.7B. The City shall request voting representation on any committee/group planning new port siting's in South Brevard.

Objective TE-1.8

Provide bicycle/pedestrian facilities on all roadways.

Policy TE-1.8A. The City shall include bicycle/pedestrian facilities on all new roadways and major expansions of existing roadways.

Policy TE-1.8B. The City shall request Brevard County and the FDOT include bicycle/pedestrian facilities on all new roadways and major expansions of existing roadways.

Policy TE-1.8C. All new bicycle facilities designed or approved by the City shall conform to the FDOT design standards or other applicable engineering criteria.

Policy TE-1.8D. The City shall continue to seek alternative funding sources for the expansion of

the pedestrian/bicycle facilities in the City and recommend appropriate sources to the Palm Bay City Council for action.

Policy TE-1.8E. During the project review phase, ensure that pedestrian/bicycle facilities are included to promote the use of walking and bicycling.

Policy TE-1.8F. Annually update the City's Sidewalk and Bikeway Plan to include new facilities and proposed facilities.

Policy TE-1.8G. Update the City's Sidewalk and Bikeway Plan to include the South Space Coast TPO Trails program.

Objective TE-1.9

A multimodal transportation system which is coordinated with the Future Land Use Element.

Policy TE-1.9A. Request the Space Coast Area Transit authority to provide public transit service

to all major traffic generators and attractors in Palm Bay.

Policy TE-1.9B. The City shall utilize the following transportation demand management methods to modify peak hour travel demand and to reduce vehicle miles traveled per capita:

- Providing ridesharing/vanpooling information;
- Encouraging nonmotorized transportation methods such as walking or bicycling where appropriate;
- Encouraging micro-mobility opportunities to provide the last mile;
- Requesting the Space Coast Area Transit authority to provide public transit services to major employers and employment centers at negotiated fares; and
- Promoting flexible work hours, telecommuting and preferential parking for ridesharers or vanpoolers.

Policy TE-1.9C. The City shall utilize access management, signalization enhancements, Intelligent Transportation Systems (ITS) and similar system management techniques to improve the safety and efficiency of the transportation system.

Policy TE-1.9D. The City shall establish land use, site design, and building design guidelines for development along transit corridors.

The City shall ensure that the Transportation Element is consistent with the policies in the Future Land Use Element and takes into account development pattern, population densities, housing types, employment patterns, and land use patterns.

Objective TE-1.10

The City shall promote the use of multimodal transportation options such as mass transit, interconnected pedestrian facilities and bicycle facilities, wildlife and other natural system corridors and other connectivity projects, consistent with the following policies.

Policy TE-1.10A. Incorporate the use of alternative modes of transportation in new and existing developments based on the context, development form and land use.

Policy TE-1.10B. Continue to require pedestrian access features in new developments and require connection to intra-city and intercity pedestrian facilities.

Policy TE-1.10C. Require the connectivity of new developments to the pedestrian and bicycle facilities and use of public lands existing and planned for the City and neighboring jurisdictions.

Policy TE-1.10D. Ensure that transit stops are safe, convenient, and accessible.

Policy TE-1.10E. Continue to coordinate with Space Coast Area Transit (SCAT) to provide efficient and effective bus routes, ridesharing options, shelters, and transit stops/stations.

Policy TE-1.10F. Develop Complete Streets standards for roadway design that provide equal access for all users including pedestrians, bicycles, mass transit and other vehicles.

Policy TE-1.10G. Every five years, evaluate the effectiveness of the transportation goals, objectives, and policies in reducing vehicle miles traveled and traffic collisions.

Objective TE-1.11

Adoption of a Mobility Plan, consistent with the following policies, that supports mobility needs, reduces congestion, supports urban infill and redevelopment of lands within the City's service boundary in order to eliminate and discourage urban sprawl.

Policy TE-1.11A. Concurrent with the adoption of the Mobility Plan, modify all Transportation Level of Service standards to reflect the strategies contained in the Mobility Plan.

Policy TE-1.11B. During the preparation of the Mobility Plan, the City shall determine if transportation concurrency is necessary to achieve their mobility goals.

Policy TE-1.11C. Create an interconnected transportation system that accommodates public transit, ride sharing, bicycling, pedestrians and other vehicles by promoting multimodal opportunities in all new and redeveloped development projects.

Policy TE-1.11D. Focus transit resources on high volume corridors and destinations such as Brevard

Community College, major employment centers, major parks and similar high-volume locations, and large-scale higher density and intensity projects.

Policy TE-1.11E. Priority shall be given to land use modifications that support and incorporate multimodal transportation opportunities through density and design.

Policy TE-1.11F. Identify modifications to existing developed areas to encourage multimodal opportunities and establish a phased program to effectuate infill and redevelopment efforts to implement those opportunities.

Policy TE-1.11G. Coordinate land use and transportation opportunities to encourage mixed use developments with multimodal facilities.

(Ord. 2010-22, passed 07-08-10; Ord. 2015-56, passed 02-04-16; Am. Ord. 2016-84, passed 10-17-17)

GOAL HSG-1

Cultivate a diverse, safe, and affordable housing stock which meets the needs of all current and future residents of Palm Bay.

Objective HSG-1.1

Provide opportunities to diversify the types, price points, and location of housing choices within the City.

Policy HSG-1.1A. Continue to work with the development community to identify opportunities for diversifying the City’s housing inventory while meeting local housing demands.

Policy HSG-1.1B. Identify and eliminate regulations which may prevent the development of missing middle housing within the City.

Policy HSG-1.1C. Amend the LDC to permit missing middle housing options (including duplexes, triplexes, quadplexes, etc.) in select low density residential districts.

Policy HSG-1.1D. Amend the LDC to ensure that missing middle housing units are designed to

match the aesthetic and character of the surrounding community.

Policy HSG-1.1E. Update the LDC to permit non-traditional housing options within select residential zoning districts, such as accessory dwelling units (ADUs), tiny homes, houseboats, cottage neighborhoods, etc.

Policy HSG-1.1F. Work with existing and prospective landlords to expand the City’s supply of rental housing units.

Policy HSG-1.1G. Ensure that the FLUM and Zoning Map include categories/designations that allow mobile homes.

Objective HSG-1.2

Seek to repair and improve substandard housing to prevent the need for City-initiated demolitions.

Policy HSG-1.2A. All housing rehabilitation and demolition activities within the City shall be in conformance with the provisions of the Palm Bay Code of Ordinances.

Policy HSG-1.2B. Develop a formal and systematic process for conducting regularly scheduled reviews of local housing conditions. The results of these reviews shall be inventoried

and included in an report that is published by the City each year.

Policy HSG-1.2C. The City shall continue to utilize federal, state, and local housing assistance funds, as available, to work with property owners to conduct a substandard housing rehabilitation program.

Policy HSG-1.2D. Explore opportunities to establish a formal demolition prevention program within Palm Bay to limit the need for City-initiated demolitions of substandard housing units.

Policy HSG-1.2E. Amend the LDC to include strategies which protect culturally significant housing within the City.

Objective HSG-1.3

Seek to implement affordable housing solutions to serve very low-, low-, and moderate-income households within the City.

Policy HSG-1.3A. Regularly work with the housing developers to identify (and potentially eliminate) regulatory barriers to providing affordable housing units within the City.

Policy HSG-1.3B. Partner with developers to acquire and utilize vacant and blighted properties within neighborhoods as potential infill sites for affordable housing.

Policy HSG-1.3C. Explore amending the LDC to provide additional development flexibility for affordable housing projects.

Policy HSG-1.3D. Consider offering development bonuses to developers who provide affordable housing units in single-family subdivisions exceeding 25 units.

Policy HSG-1.3E. To the greatest extent practicable, coordinate with housing developers to avoid concentrations of affordable housing units within individual developments.

Policy HSG-1.3F. Provide expedited permitting for all affordable housing projects within the City.

Policy HSG-1.3G. Utilize Community Development Block Grant (CDBG), State Housing

Initiatives Program (SHIP), HOME Investment Partnership Program, and similar federal, state, and local grant funding sources to provide housing assistance to very low-, low-, and moderate-income households.

Policy HSG-1.3H. Assist in the establishment and growth of community land trusts which provide permanent affordable housing.

Policy HSG-1.3I. Continue to utilize the Community Development Advisory Board (CDAB) to review proposed amendments to the Palm Bay LDC and Comprehensive Plan which may impact the existing or future supply of affordable housing within the City.

Policy HSG-1.3J. Continue to implement and update the provisions of the 5-Year Consolidated Plan and annual Action Plan.

Policy HSG-1.3K. Housing programs shall be administered through the City's Housing and Community Development Department.

Policy HSG-1.3L. Provide guidance and encouragement for rental property owners who wish to participate in the Section 8 Program.

Objective HSG-1.4

Provide opportunities for the development of group homes, foster care facilities, homeless shelters, and other permanent or temporary housing options intended to serve populations with special needs.

Policy HSG-1.4A. Ensure that the LDC clearly identifies the zoning districts where group homes,

foster care facilities, homeless shelters, and other permanent or temporary housing options are permitted.

Policy HSG-1.4B. Explore the possibility of establishing a taskforce designed to study the needs of the area’s unsheltered population and increase the ability of the City to provide support services for those experiencing homelessness.

Policy HSG-1.4C. Seek to establish an incentive program for landlords who provide housing

opportunities for individuals and families experiencing homelessness.

Policy HSG-1.4D. Continue to work with local nonprofit organizations and government agencies to support the provision of services aiding populations experiencing homelessness.

Policy HSG-1.4E. Enact a public information campaign to destigmatize populations experiencing homelessness.

Objective HSG-1.5

Ensure relocation housing is readily available for persons displaced by actions of the City.

Policy HSG-1.5A. The City shall take no action to displace persons until a report is submitted to City Council identifying standard and affordable housing available to those individuals.

Policy HSG-1.5B. The City shall continue to enforce the provisions of the Fair Housing Act.

Objective HSG-1.6

Establish energy efficient building design requirements and standards for new, redeveloped and renovated housing within the City.

Policy HSG-1.6A. Identify and remove procedural or regulatory barriers to implementing energy efficient building practices.

Policy HSG-1.6B. Plan review, housing assistance and building inspection staff will be trained in energy efficient building materials, practices, and techniques on an on-going basis.

Policy HSG-1.6C. Continue to offer an energy efficiency package for rehabilitation projects through the City's Housing Rehabilitation Program that considers the extent of the rehabilitation project but includes appliances meeting energy-star or similar rating standards, window upgrades, insulation, lighting, water saving fixtures, water heater upgrades and more efficient HVAC systems.

HOUSING



03

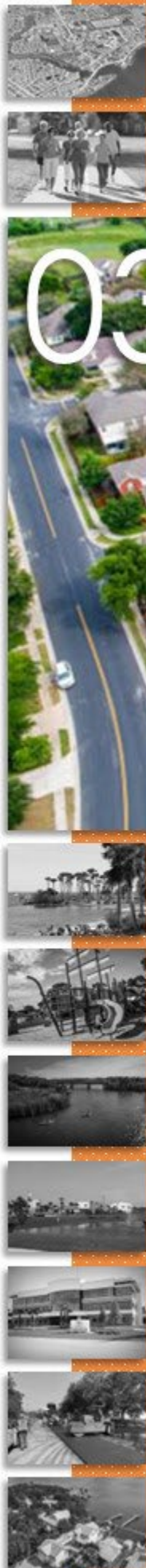


Table of Contents

1.0 HOUSING INVENTORY	1
1.1 Housing Characteristics.....	1
1.1.1 Housing Type & Units per Building.....	1
1.1.2 Housing Age	2
1.1.3 Housing Tenure	3
1.1.4 Housing Conditions.....	4
1.2 Housing Costs.....	4
1.2.1 Median Sales Price	4
1.2.2 Homeownership Costs.....	5
1.2.3 Renter Costs	6
1.3 Cost Burden.....	7
1.3.1 Cost-Burdened Owners.....	7
1.3.2 Cost-Burdened Renters.....	8
1.4 Government Subsidized Housing	9
1.4.1 Inventory of Subsidized Housing	10
1.4.2 Financing	10
2.0 PROJECTED HOUSING NEEDS	11
3.0 CONSIDERATIONS FOR ADVANCING HOUSING EQUITY	12
3.1 Housing Diversity	12
3.2 Affordable Housing	13

List of Tables

Table HSG - 1: Type of Structure by Units (2021)	2
Table HSG - 2: Age of Housing Inventory (2021).....	2
Table HSG - 3: Occupancy Status (2020).....	3
Table HSG - 4: Vacant Housing Units (2020)	4
Table HSG - 5: Substandard Housing Units (2020)	4
Table HSG - 6: Median Sale Prices for Homes (2001-2021)	5
Table HSG - 7: Monthly Ownership Costs for Owner-Occupied Households (2020).....	5
Table HSG - 8: Renter Households by Gross Rent (2020).....	7
Table HSG - 9: Owner-Occupied Households, Cost Burden by Income (2020).....	8
Table HSG - 10: Renter Households, Cost Burden by Income (2020).....	9
Table HSG - 11: Assisted Housing Inventory (2020)	10
Table HSG - 12: Projected Housing Needs (2025-2045).....	11
Table HSG - 12: Cost Burden Projections (2025-2040).....	12

INTRODUCTION

The purpose of the *Housing Element* is to ensure that the City of Palm Bay regulates residential development in a manner that can equitably, efficiently, and effectively meet the housing needs of the community's existing and projected populations. The Data & Analysis portion of this Element seeks to provide a factual basis for future housing decisions and policy changes made by the City as part of this update. Housing-related topics examined as part of this analysis include housing unit counts, types, age, occupancy status, condition, values, costs, subsidies, existing and projected needs, and considerations for advancing equity in the local housing market.

1.0 HOUSING INVENTORY

The data for this Element was obtained from the United States Census Bureau (USCB), the American Community Survey (ACS), ESRI Business Analyst Online (BAO), and the Shimberg Center's Florida Housing Data Clearinghouse (FHDC) at the University of Florida. It should be noted that housing data from these agencies and organizations often varies by vintage, source, and methods of estimation. As a result, *the housing data shown in this assessment may vary slightly from section to section.*

1.1 HOUSING CHARACTERISTICS

According to the population and household estimates provided in the Future Land Use Element of this Plan (derived from a combination of population projections provided by the Bureau of Economic Business Research at the University of Florida and housing data collected by the FHDC), the City of Palm Bay currently (2022) maintains a population of 127,256 residents comprising a total of 40,918 households.

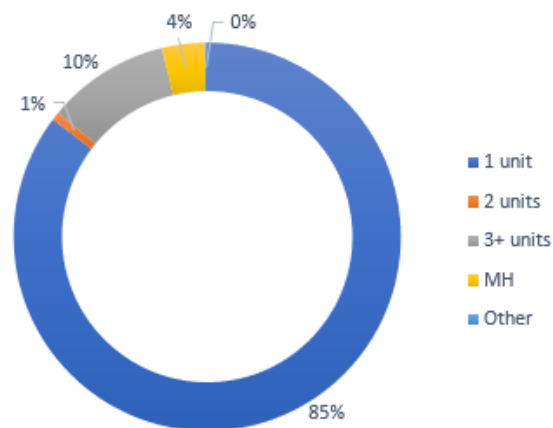
Per ACS, there were 43,771 housing units in the City in 2021. Between April 1, 2021, and March 31, 2022, a total of 1,529 permits were issued for new homes (1,526 single family and 3 mobile homes) and the demolition of one single family home, bringing that total number of new units to 45,299. The detailed data contained in this element, however, is for 2021 as the ACS and the Florida Housing Data Clearing House do not currently have any more recent data.

1.1.1 Housing Type & Units per Building

As discussed within the Community Character section of the Data & Analysis for the Future Land Use Element, Palm Bay is best described as a 1960s era pre-platted Florida suburban community, with a vast majority of its housing stock consisting of detached, single-family residences. This assessment is largely reflected in the latest housing estimates provided by ACS (2016-2020) which break down the City's 2021 housing inventory based on number of units per structure as shown in **Table HSG-1**.

Table HSG - 1: Type of Structure by Units (2021)

Type of Structure by Units	Total Units	Percentage of Total
1 unit, detached	36,359	83.1%
1 unit, attached	986	2.3%
2 units	310	0.7%
3 or 4 units	1,038	2.4%
5 to 9 units	1,424	3.3%
10 to 19 units	1,039	2.4%
20 to 49 units	400	0.9%
50 or more units	571	1.3%
Mobile home unit	1,565	3.6%
Other (Boat, RV, Van, etc.)	79	0.2%
Total	43,771	100%



Source: ACS (2016-2020), 2021.

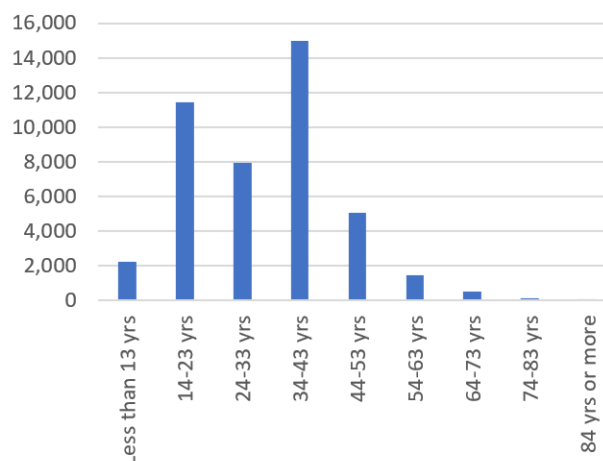
Besides detached single-family units, which comprise over 83% of the City's housing stock (85% for attached and detached combined), the remaining housing unit types within the City are split somewhat evenly. The combined percentage of multi-family developments is 10%, with 5 to 9 units per structure leading the categories. Similar to other suburban Florida cities, the next largest housing type is mobile homes—the majority of which are found within the mobile home parks and subdivisions of Sun Manor, Old Fort, and Palm Bay Estates.

1.1.2 Housing Age

Like many Florida communities, the majority of the City's housing stock was constructed in the latter half of the twentieth century. As shown in the ACS (2016-2020) housing estimates provided in **Table HSG-2**, less than five percent of the City's housing unit inventory is over 50 years in age. Although the City lacks a substantial historic housing market, the relatively young age of Palm Bay's housing inventory helps keep the average cost of maintaining a home in the City lower than some of its more historic counterparts (i.e., Historic Eau Gallie or Downtown Melbourne).

Table HSG - 2: Age of Housing Inventory (2021)

Housing Units by Year Structure Built	Total Units	Percentage of Total
2010 or later	2,201	5.0%
2000-2009	11,435	26.1%
1990-1999	7,954	18.2%
1980-1989	14,974	34.2%
1970-1979	5,071	11.6%
1960-1969	1,439	3.3%
1950-1959	492	1.1%
1940-1949	116	0.3%
1939 or Earlier	89	0.2%
Total	43,771	100%



Source: ACS (2016-2020), 2021.

1.1.3 Housing Tenure

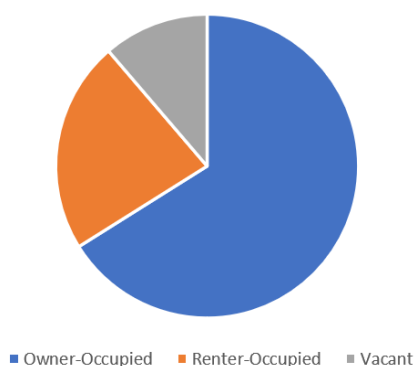
Occupied housing units are classified as owner or renter occupied. Generally speaking, municipalities desire high rates of homeowner occupancy within their communities, as homeowners typically stay within the area longer, engage in local elections more, and spend greater time, energy, and money maintaining their property and home. However, the availability of rental units plays a critical role in the stability of a community as well—the largest reason being that possessing a sizable rental stock provides affordable alternatives to those who may not be able to afford purchasing a single-family home. According to *Housing Policy in United States* by Alex F. Schwartz (2015), possessing a healthy rental market also has been shown to reduce homelessness, crime, displacement, foreclosures, evictions, and other disruptive forces within a community.

The ACS (2015-2019) provides estimates for the total number of owner and renter occupied households within the City. These values are shown in **Table HSG-3**, which also includes the number of vacant housing units estimated within the City during this same period.

Table HSG - 3: Occupancy Status (2020)

Occupancy Status	Number of Units	Percent of Total
Owner-Occupied	28,680	66.1%
Renter-Occupied	9,806	22.6%
Total Occupied	38,486	88.7%
Vacant	4,901	11.3%
Total	43,387	100%

Source: ACS (2015-2019), 2020.



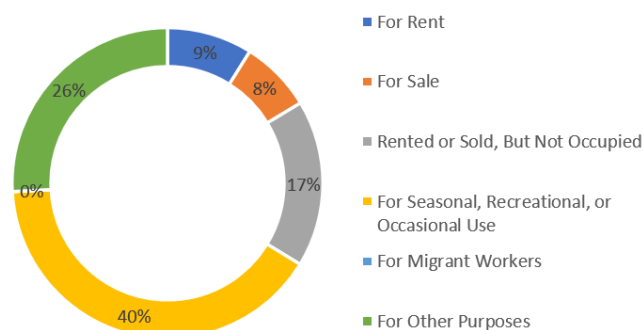
Vacant units include those which are currently being offered for sale or rent, units that have recently finished construction but do not currently have tenants, units in which the primary tenant only lives in the home seasonally, and other similar circumstances. It should be noted that the vacancy estimates are likely outdated as the country is currently in the midst of a significant housing shortage. As such, the vacancy rate for Palm Bay in 2022 is expected to be significantly lower than those presented in the table. A detailed breakdown of housing unit vacancies is provided in **Table HSG-4** below.

Units classified as vacant for seasonal, recreational, or occasional use are also known as “vacation” or “second” homes. These may be large estates, time-sharing condos, or single family homes in a subdivision. Florida has been the leader in the nation on the number of seasonal units over the last three censuses. The number of seasonal units in Palm Bay may seem high, but it is consistent with other cities in the County which are also attractive to snowbirds.

Table HSG - 4: Vacant Housing Units (2020)

Vacancy Status	Number of Units	Percent of Total
For Rent	436	8.9%
For Sale	366	7.5%
Rented or Sold, But Not Occupied	851	17.4%
For Seasonal, Recreational, or Occasional Use	1,981	40.4%
For Migrant Workers	0	0.0%
For Other Purposes	1,267	25.9%
Total	4,901	100%

Source: ACS (2015-2019), 2020.



1.1.4 Housing Conditions

In its *Urban Blight and Public Health Research Report* (2017), the Urban Institute defined substandard housing “as residential spaces with structural and other physical deficiencies that do not meet health and safety requirements, thereby endangering the health and safety of residents.” However, accurately determining the City’s total inventory of substandard units is impracticable, as it would likely require in-person inspections for each unit within Palm Bay. As such, most housing organizations and local government utilize a wide range of indicators to estimate if a housing unit is likely substandard. The most often used indicators in Florida are conditions of overcrowding and/or units lacking complete kitchen or plumbing facilities. ACS provides estimates for each of these indicators and is shown in **Table HSG-5** below.

Table HSG - 5: Substandard Housing Units (2020)

Indicator of Substandard Housing	Total Number of Units	Percentage of Total
Overcrowding (1.01 of More Persons Sharing a Room)	981	2.5%
Lacking Complete Kitchen Facilities	482	1.1%
Lacking Complete Plumbing Facilities	331	0.8%

Source: ACS (2015-2019), 2020.

As shown in **Table HSG-5**, a vast majority of the City’s housing stock is likely not considered to be substandard according to indicators utilized by the ACS. This is likely because most of Palm Bay’s housing stock is comprised of homes constructed within the last 50 years and thus, were required to meet contemporary building standards.

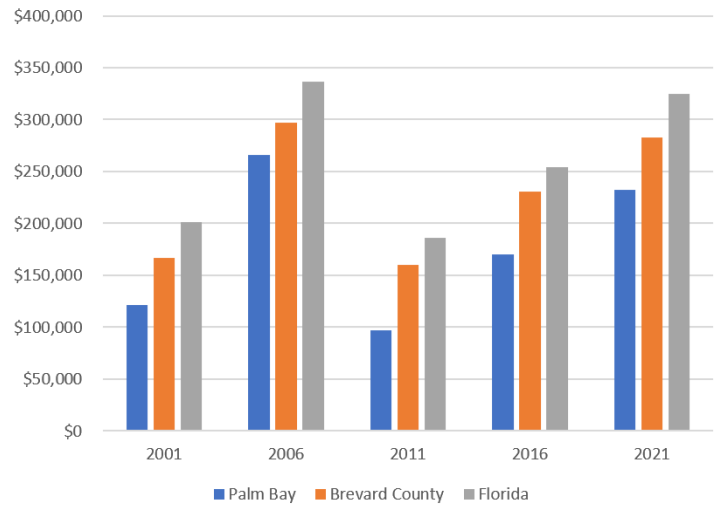
1.2 HOUSING COSTS

1.2.1 Median Sales Price

The FHDC summarizes the median sales prices for single-family homes for communities throughout the state using property sale data collected by the Florida Department of Revenue. Median sales prices can also be examined at the county and state level to get a better perspective on the value of Palm Bay’s housing market by comparison. Median sale prices for homes in the City, Brevard County, and the State of Florida for the 20-year period between 2001 and 2021 are provided in **Table HSG-6**.

Table HSG - 6: Median Sale Prices for Homes (2001-2021)

Year	Palm Bay	Brevard County	Florida
2001	\$121,670	\$166,290	\$201,327
2002	\$129,741	\$180,129	\$214,223
2003	\$148,828	\$193,078	\$230,248
2004	\$185,339	\$228,442	\$258,613
2005	\$252,501	\$294,816	\$313,924
2006	\$266,284	\$296,844	\$336,558
2007	\$229,112	\$261,843	\$314,211
2008	\$189,173	\$233,313	\$245,042
2009	\$141,710	\$194,851	\$208,769
2010	\$111,994	\$180,436	\$197,857
2011	\$96,601	\$159,896	\$185,841
2012	\$97,224	\$159,459	\$192,675
2013	\$122,305	\$180,196	\$215,489
2014	\$131,859	\$189,189	\$231,613
2015	\$151,102	\$206,127	\$246,207
2016	\$169,652	\$230,690	\$254,437
2017	\$187,134	\$237,959	\$262,320
2018	\$197,795	\$246,432	\$270,211
2019	\$206,973	\$250,490	\$276,601
2020	\$225,468	\$269,512	\$298,876
2021	\$232,000	\$283,000	\$324,900



Source: FHDC, 2022.

Over the past 20 years, the fluctuations in the median sale prices for homes in the City largely match those experienced by Brevard County and the State of Florida. The City of Palm Bay's median home sale price, however, has never exceeded those experienced at the County or State level. The primary benefit of this phenomenon is that the City's housing market can be seen as more affordable than many of the other communities located within Brevard County and the State. However, lower local housing values often result in a lower tax base, which means less funding for important community facilities, services, and amenities, such as roadway improvements, park expansions, and law enforcement.

1.2.2 Homeownership Costs

Homeownership can be a costly endeavor. In addition to the reoccurring costs associated with taxes, insurance, utilities, and association fees, maintenance costs for repairs and improvements tend to exponentially increase as structures age. Another significant cost to home ownership are down payment costs, mortgage insurance, and mortgage payments, which can influence decisions to either buy or rent property. The monthly costs for homeowners (as a percentage of household income) in Palm Bay is provided below in **Table HSG-7**.

Table HSG - 7: Monthly Ownership Costs for Owner-Occupied Households (2020)

Monthly Costs	Number of Units	Percent of Total
Households with Mortgage Payments		
<\$200	0	0.0%
\$200-\$299	0	0.0%
\$300-\$399	59	0.2%
\$400-\$499	310	1.2%
\$500-\$599	437	1.7%

Monthly Costs	Number of Units	Percent of Total
\$600-\$699	1,132	4.3%
\$700-\$799	1,449	5.5%
\$800-\$899	1,922	7.3%
\$900-\$999	1,773	6.7%
\$1,000-\$1,249	4,774	18.2%
\$1,250-\$1,499	3,012	11.5%
\$1,500-\$1,999	2,347	8.9%
\$2,000-\$2,499	786	3.0%
\$2,500-\$2,999	238	0.9%
\$3,000-\$3,499	161	0.6%
\$3,500-\$3,999	0	0.0%
> \$4,000	111	0.4%
Not Computed	172	0.7%
Subtotal	18,683	71.1%
Households without Mortgage Payments		
<\$100	236	0.9%
\$100-\$149	503	1.9%
\$150-\$199	831	3.2%
\$200-\$249	805	3.1%
\$250-\$299	1,085	4.1%
\$300-\$349	1,263	4.8%
\$350-\$399	1,310	5.0%
\$400-\$499	1,988	7.6%
\$500-\$599	1,047	4.0%
\$600-\$699	355	1.4%
\$700-\$799	209	0.8%
\$800-\$899	159	0.6%
\$900-\$999	49	0.2%
\$1000-\$1099	98	0.4%
\$1100-\$1199	0	0.0%
\$1200-\$1299	30	0.1%
\$1300-\$1399	0	0.0%
\$1400-\$1499	0	0.0%
>\$1500	0	0.0%
Not Computed	28	0.1%
Subtotal	9,997	38.0%
Total	26,280	100.0%

Source: ACS (2015-2019), 2020.

1.2.3 Renter Costs

Renting can be an affordable alternative to homeownership; however, when the demand for rental housing exceeds the supply of available units, the cost of renting can escalate quickly—especially when the rent includes other costs as well, such as taxes, insurance, utilities, and association fees (often referred to as ‘gross rent’). The monthly gross rent for renting households in Palm Bay is provided below in **Table HSG-8**.

Table HSG - 8: Renter Households by Gross Rent (2020)

Gross Rent	Number of Units	Percent of Total
<\$200	0	0.0%
\$200-\$299	139	1.4%
\$300-\$499	0	0.0%
\$500-\$749	771	7.9%
\$750-\$999	2934	29.9%
\$1,000-\$1,499	4166	42.5%
\$1,500-\$1,999	924	9.4%
\$2,000-\$2,499	117	1.2%
\$2,500-\$2,999	90	0.9%
\$3,000-\$3,499	0	0.0%
>\$3,500	0	0.0%
No Cash Rent	479	4.9%
Not Computed	186	1.9%
Total	9,806	100%

Source: ACS (2015-2019), 2020.

1.3 COST BURDEN

1.3.1 Cost-Burdened Owners

According to the Federal Department of Housing and Urban Development (HUD), a household is deemed to be cost burdened when housing costs exceed 30% of the household's monthly income. Cost-burdened households are often forced to choose between essential items, such as transportation, food, clothing, or medicine because they cannot afford to purchase these items once the costs of owning and maintaining a home are paid. These choices can have long term and dramatic effects on a household, often leading to issues such as health concerns, limited employment options, and fewer educational opportunities.

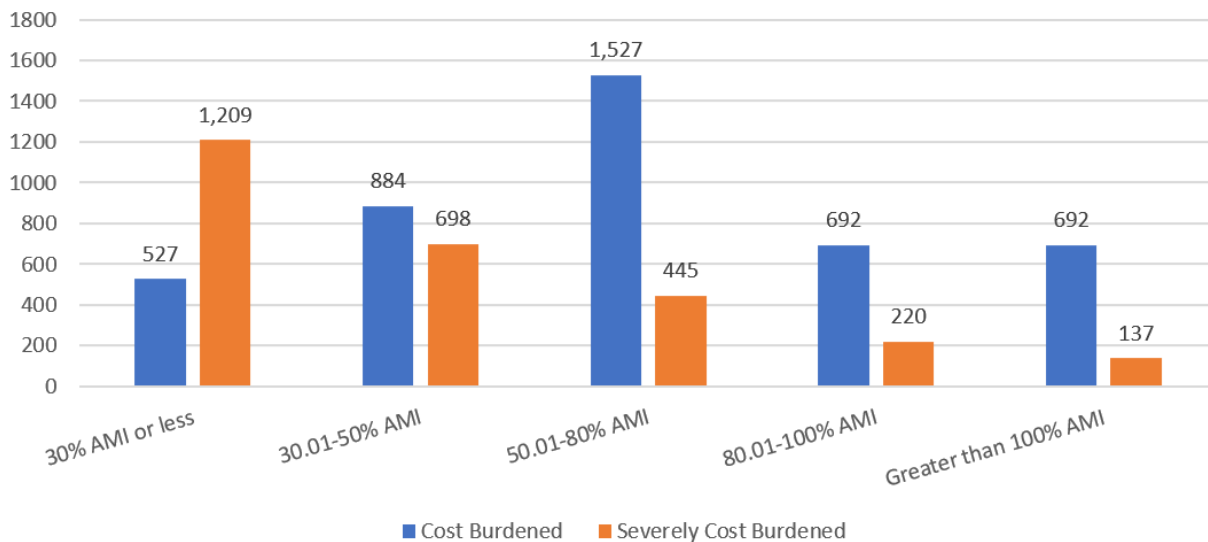
Cost burden is often more deeply felt by households who make less than the area median income (AMI), which is the midpoint of a region's income distribution. Households making significantly less than the AMI who are cost-burdened are significantly less likely to afford other basic necessities required to meet their daily needs than households whose monthly income exceeds the AMI. The relationship between housing costs and household income for owner-occupied households within Palm Bay is shown in **Table HSG-9** below.

Table HSG - 9: Owner-Occupied Households, Cost Burden by Income (2020)

Household Income	Housing Cost Burden			Total Households ¹	Percentage of Total
	30% or less	30.1-50% (Cost Burdened)	More than 50% (Severely Cost Burdened)		
30% AMI or less	511	527	1,209	2,247	7%
30.01-50% AMI	1,582	884	698	3,164	10%
50.01-80% AMI	3,620	1,527	445	5,592	18%
80.01-100% AMI	2,928	692	220	3,840	13%
Greater than 100% AMI	14,706	692	137	15,535	51%
Total Households¹	23,347	4,322	2,709	30,378	100%
Percentage of Total	77%	14%	9%	100%	--

¹Due to the unavailability of housing data with a matching vintage and source, the total number of households provided in this table is different than the total number of owner-occupied households identified in **Table HSG-6**.

Source: FHDC, 2022.



As noted in **Table HSG-9**, almost half of the homeowners in the City earn incomes at or below the AMI and 42% of them are cost-burdened. Approximately 24% of those households pay from 30 to 50% of their income for housing, and about 17% are severely cost-burdened (paying more than 50% of their income for housing).

1.3.2 Cost-Burdened Renters

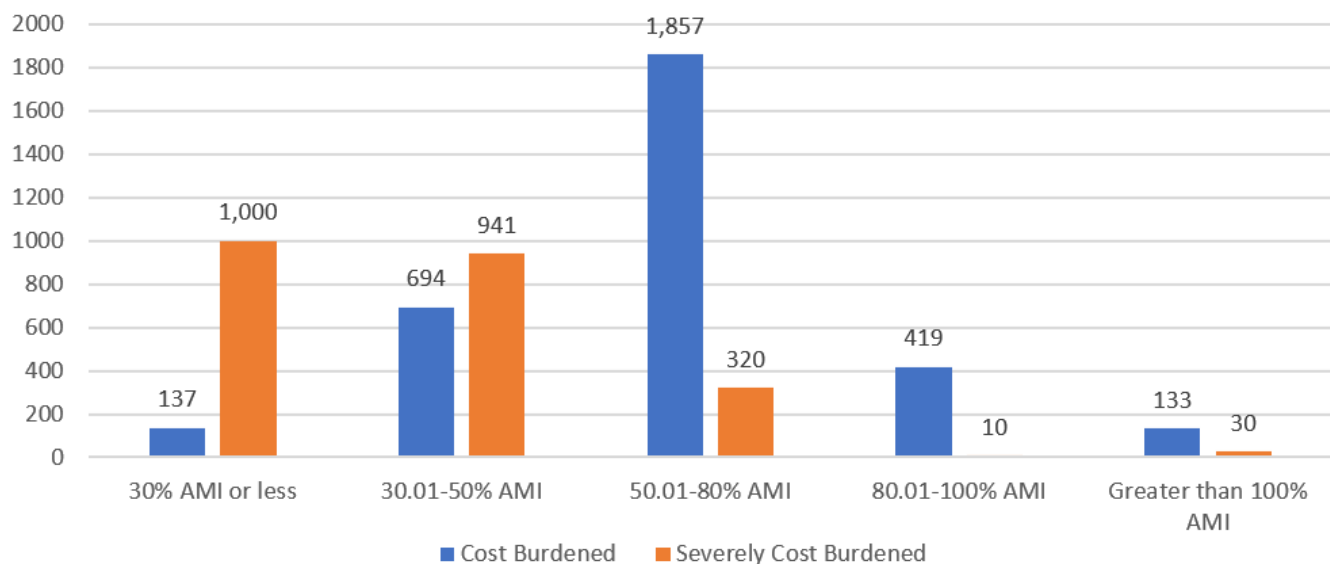
Renters are particularly prone to becoming cost-burdened by the price of housing, as rents (unlike mortgages) can vary wildly from year to year. As such, a renting household can be financially stable one year and cost-burdened the next if their gross rent increases. Additionally, renting households making less than AMI are more likely to become cost-burdened by increases in their gross rent. This relationship between housing costs and household income for renter-occupied households within Palm Bay is shown in **Table HSG-10** below.

Table HSG - 10: Renter Households, Cost Burden by Income (2020)

Household Income	Housing Cost Burden			Total Households ¹	Percentage of Total
	30% or less	30.1-50%	More than 50%		
30% AMI or less	98	137	1,000	1,235	12%
30.01-50% AMI	250	694	941	1,885	18%
50.01-80% AMI	709	1,857	320	2,886	28%
80.01-100% AMI	1,064	419	10	1,493	14%
Greater than 100% AMI	2,714	133	30	2,877	28%
Total Households¹	4,835	3,240	2,301	10,376	100%
Percentage of Total	47%	31%	22%	100%	--

¹Due to the unavailability of housing data with a matching vintage and source, the total number of households provided in this table is different than the total number of owner-occupied households identified in **Table HSG-8**.

Source: FHDC, 2022.



As shown in **Table HSG-10**, over 50% of all renter-occupied households within the City are considered to be cost-burdened by HUD (22% are severely cost-burdened). Of that cost-burdened group, approximately 97% make less than the AMI. It is likely that the City is feeling the negative effects of the current nationwide housing shortage. As such, the demand (and thus, cost) for local rental housing has potentially risen significantly since this data was originally recorded—resulting in many more renting families within Palm Bay becoming cost-burdened within the last two years.

1.4 GOVERNMENT SUBSIDIZED HOUSING

Previous sections described the costs of owning and renting a home in Pam Bay and identified how many owners and renters are cost-burdened or severely cost-burdened. This section provides an inventory of government subsidized housing units and financing tools available to City residents.

1.4.1 Inventory of Subsidized Housing

According to §490.9071, F.S., 'assisted housing' means a rental housing development, including rental housing in a mixed-use development, that received or currently receives funding from any federal or state housing program.

Table HSG-11 provides an inventory of the City's assisted housing stock.

Table HSG - 11: Assisted Housing Inventory (2020)

Name	Program(s) Provided ¹	Target Population	Year Built	Ownership Type	Subsidy End	Assisted Units ²	HUD/RD Rental Assistance Units ³	Total Units ⁴
Malabar Cove I	Housing Credits 4%; Local Bonds; SAIL	Family	Not Available	For-Profit	2059	76	0	76
Malabar Cove II	Housing Credits 4%; Local Bonds; SAIL	Family	2009	For-Profit	2061	50	0	72
Park at Palm Bay	Housing Credits 4%; State Bonds	Family	2002	For-Profit	2036	234	0	234
Southlake Towers	Extremely Low Income; Housing Credits 4%; Rental Assistance/HUD; SAIL; Section 202 Direct Loan	Elderly	1986	Non-Profit	2071	85	85	85
Tranquility Cove	Federal Deposit Insurance Corporation	Family	1986	For-Profit	Not Available	3	0	8
Total						448	85	475
¹ Includes programs administered by the U.S. Dept. of Housing and Urban Development (HUD), U.S. Department of Agricultural and Rural Development (RD), Florida Housing Finance Corporation (Florida Housing), and Local Housing Finance Authorities (LHFA) ² Number of units with rent and/or income restrictions ³ Number of units receiving monthly rental assistance from USDA RD or HUD ⁴ Total number of units in development - includes property management units								

Source: FHDC, 2022.

When considering the high number of families earning below the AMI who are cost-burdened by their monthly rental expenses (and to a lesser extent, mortgage payments) within the City, Palm Bay should continue its efforts to expand its suite of housing assistance programs, as well as coordinate with developers, landowners, and current landlords to increase the supply of affordable units within the City.

1.4.2 Financing

The City of Palm Bay offers several grants and loan programs that benefit very low to moderate income residents of Palm Bay by administering the Community Development Block Grant (CDBG), HOME Investment Partnership, and the State Housing Initiative Partnership (SHIP) programs. These financing programs are described as follows:

Community Development Block Grant

The Community Development Block Grant is an entitlement grant awarded to the City of Palm Bay through the U.S. Department of Housing and Urban Development that is based upon 'need factors' including population, income, unemployment level, and housing conditions. The program's primary objective is the development of viable urban communities by providing decent housing, a suitable living environment, and expanding economic opportunities primarily for low to moderate income persons. Use of CDBG funds is guided by the City's Five-Year Consolidated Plan and directed towards local activities such as owning and renting affordable housing, aiding infrastructure improvements, and supporting programs aimed at improving the lives of low to moderate income individuals.

Home Investment Partnerships

The City is a member of the Brevard County HOME Consortium and partners with the Consortium and local nonprofits to fund the development, purchase, and/or rehabilitation of affordable housing units available for rent or homeownership to low- and moderate-income households.

State Housing Initiatives Partnership

The SHIP program, facilitated by the Florida Housing Finance Corporation, provides funds to expand the production and preservation of affordable housing units in the City. There are several strategies which are included within the SHIP program for qualified households, such as:

- Purchasing assistance for first-time homebuyers
- Owner-occupied housing rehabilitation—particularly households occupied by persons with special needs
- Disaster recovery and emergency repair assistance
- Utility hook up assistance
- Rental housing development assistance

2.0 PROJECTED HOUSING NEEDS

As discussed throughout this Element, detailed housing data and estimates for the City of Palm Bay often varies by source, vintage, and methods of estimating. To ensure consistency between Elements of this Plan, the City's projected housing needs were based upon the City's projected 2045 population presented within the Future Land Use Element of this Plan. The result of this effort is shown in **Table HSG-12**.

Table HSG - 12: Projected Housing Needs (2025-2045)

Population/Households	2025	2030	2035	2040	2045
Permanent Palm Bay Population	131,129	139,609	146,736	153,053	158,680
Number of <i>Permanent</i> Households	42,164	44,890	47,182	49,213	51,022
Seasonal Palm Bay Population	6,750	7,186	7,553	7,878	8,168
Number of <i>Seasonal</i> Households	2,170	2,311	2,429	2,533	2,626
Total Palm Bay Population	137,879	146,795	154,289	160,931	166,848
Total Number of Households	44,334	47,201	49,610	51,746	53,649
¹ Assuming an average persons per household of 3.11, per Table FLUE-1 .					

Source: BEBR, City of Palm Bay, FHDC, S&ME, 2022.

Assuming each permanent and seasonal household within the Palm Bay will occupy at least one housing unit each, **Table HSG-12** indicates that the City will need approximately 51,022 units for its permanent population and 2,626 units for its seasonal residents by the year 2045 (for an estimated demand of 53,649 units total). As shown in **Tables HSG-1** and **HSG-2**, the ACS (2016-2020) estimated that the City possessed a housing inventory of 43,771 units in 2021. To meet Palm Bay's projected demand of 53,649 units by 2045, a minimum of 9,878 new units will need to be constructed within the next 24 years.

The FHDC issues projections of households by tenure, household income, and cost burden by applying the current percentages to the projected population. See **Table HSG-13**.

Table HSG - 13: Cost Burden Projections (2025-2040)

	2025	2030	2035	2040
OWNERS				
Total Owners	33,502	36,190	38,125	40,031
Owners at or below AMI	16,369	17,683	18,629	19,559
30% or less of AMI	2,478	2,677	2,820	2,961
30.1-50% of AMI	3,489	3,770	3,971	4,169
50.1-80% of AMI	6,168	6,661	7,018	7,369
80.1-100% of AMI	4,234	4,575	4,820	5,060
Cost Burdened Owners	4,004	4,326	4,558	4,784
Severely Cost Burdened	2,835	3,063	3,227	3,388
Percentage Cost Burdened	41.78%	41.79%	41.79%	41.78%
RENTERS				
Total Renters	11,233	11,799	12,306	12,787
Renters at or below AMI	8,119	8,528	8,895	9,242
30% or less of AMI	1,337	1,405	1,465	1,522
30.1-50% of AMI	2041	2145	2237	2323
50.1-80% of AMI	3125	3281	3423	3558
80.1-100% of AMI	1616	1697	1770	1839
Cost Burdened Renters	3363	3533	3684	3830
Severely Cost Burdened	2458	2582	2694	2798
Percentage Cost Burdened	71.70%	71.70%	71.70%	71.72%

Source: FHDC, 2022.

3.0 CONSIDERATIONS FOR ADVANCING HOUSING EQUITY

If it is assumed that the City's current percentage of cost-burdened households will remain constant through the 2045 planning horizon, the City can expect its population of cost-burdened households to exceed 16,000 within the next 23 years—a significant majority of which will likely earn a monthly income lower than the AMI. In efforts to assist this growing population in obtaining and keeping stable housing conditions, the City will continue to explore methods to increase the *diversity* of its housing stock and the inventory of available *affordable housing units* in the future.

3.1 HOUSING DIVERSITY

As evidenced throughout this Element, the overwhelming majority of the housing stock in Palm Bay is comprised of owner-occupied single-family detached homes. The lack of diversity in local housing options and tenure often creates a financial barrier to those who cannot afford to purchase a home, such as low-to-moderate income workers (e.g., teachers, firefighters, etc.), individuals with substantial debt, retirees, single-parent households, or those with special needs. By expanding Palm Bay's housing stock with more moderate to high density housing options, particularly those available for rent to households making 30% or less of the AMI, the City can create a more affordable (and thus more equitable) housing market for its current and prospective residents.

3.2 AFFORDABLE HOUSING

Besides considerations for advancing equity, there are numerous reasons for the City to increase the supply of affordable housing within Palm Bay. First, the provision of affordable housing is a legal obligation per §163.3177(6)(f)1.d, F.S.; second, the affordable housing stock often houses critical workers within the community, like teachers, nurses, retail employees, and law enforcement; third, it helps reduce the number of unhoused persons within communities. There are many other benefits to increasing the affordable housing stock within Palm Bay and the City can perform numerous actions to assist with its development, including (but certainly not limited to):

- Allowing accessory dwelling units (i.e., mother-in-law suites, garage apartments, granny flats, etc.) in all residential FLU categories
- Incentivizing density and Floor Area Ratio (FAR) bonuses for the provision of affordable housing units
- Assisting the establishment and/or growth of community land trusts--independent, nonprofit organizations which provides permanent affordable housing for working families who have incomes at or below the AMI

Many of these items cannot be accomplished simply by amending the Comprehensive Plan. However, the Plan can lay the foundation for these projects/programs to be implemented in the future to better serve the affordable housing needs of the community.



04



COASTAL MANAGEMENT

Table of Contents

1.0	INTRODUCTION	1
2.0	COASTAL MANAGEMENT AREA	1
2.1	Storm Surge Considerations.....	1
2.2	Sea Level Rise Considerations.....	2
3.0	EXISTING CONDITIONS WITHIN THE CMA	2
3.1	Natural Resources	2
3.2	Development & Infrastructure.....	3
3.2.1	Existing Land Use.....	3
3.2.2	Public Infrastructure.....	4
3.3	Vulnerable Populations.....	5
3.4	Emergency Management.....	6
3.4.1	Evacuation Procedures & Zones.....	6
3.4.2	Evacuation Clearance Times.....	7
3.4.3	Emergency Shelters.....	8
4.0	POTENTIAL IMPACTS OF FUTURE DEVELOPMENT WITHIN THE CMA	9
4.1	Natural Resources	9
4.2	Water-Dependent & Water-Related Uses	9
4.3	Public Facilities.....	10
4.4	Emergency Evacuations & Shelters.....	10
4.5	Stormwater & Drainage	10
4.6	Coastal Flooding.....	10
5.0	ESTUARINE POLLUTION	10
5.1	Regulatory Programs.....	11
6.0	CONSIDERATIONS FOR ADVANCING EQUITY.....	11

List of Maps

Map CME - 1. Storm Surge	13
Map CME - 2. Sea Level Rise Projections	14
Map CME - 3. Coastal Management Area	15
Map CME - 4. Land Uses within the CMA	16
Map CME - 5. Evacuation Zones	17
Map CME - 6. Future Land Use within the CMA	18

List of Tables

Table CME - 1: Water-Dependent & Water-Related Uses within the CMA	4
Table CME - 2: Vulnerability Factors for Households within the Palm Bay CMA (2020)	5
Table CME - 3: Brevard County Clearance Times	7
Table CME - 4: Emergency Shelters	8

1.0 INTRODUCTION

The purpose of the *Coastal Management Element* is to understand and plan for the protection of natural resources, properties, infrastructure, and human life against the impacts of sea level rise, storm surge, and other flood-related issues associated with coastal living. The Data & Analysis portion of this Element provides the factual basis for future development decisions and policy changes regarding the City's most vulnerable areas prone to coastal flooding. Items inventoried and analyzed as part of this effort included natural and manmade resources, water-dependent and water-related uses, pollution sources, vulnerable populations, and county-wide evacuation measures. This Element concludes with a consideration for advancing equity within the City's continued coastal management efforts.

2.0 COASTAL MANAGEMENT AREA

Low-lying and waterfront properties located within coastal communities are uniquely vulnerable to the negative impacts of sea level rise, storm surge, and other flood-related issues. As such, many municipalities along Florida's coastline establish Coastal Management Areas (also referred to throughout the State as *Coastal Planning Areas*, *Coastal Management Zones*, *Coastal Storm Areas*, and other variations thereof) to better identify and protect the natural resources, properties, infrastructure, and human lives located within these areas. The Palm Bay CMA includes:

- a. Lands located east of US Highway 1
- b. The Coastal High Hazard Area (CHHA), as determined by the National Oceanic and Atmospheric Administration's (NOAA) Sea, Lake and Overland Surges from Hurricanes (SLOSH) storm surge model (as identified in **Map CME-1**).
- c. Areas vulnerable to Storm Surge Categories 2 and 3, per NOAA's SLOSH storm surge model (as shown in **Map CME-1**)
- d. Properties projected to be impacted from sea level rise by the year 2100 under NOAA's High severity scenario (as illustrated in **Map CME-2**).

The City of Palm Bay Coastal Management Area is shown in **Map CME-3**.

2.1 STORM SURGE CONSIDERATIONS

According to NOAA, storm surge is defined as the "abnormal rise in seawater level during a storm, measured as the height of the water above the normal predicted astronomical tide." NOAA's Sea, Lake and Overland Surges from Hurricanes (SLOSH) model identifies the maximum extent of a community's anticipated storm surge based upon the category of the storm causing the flooding.

Portions of the community located below the elevation of a category 1 storm surge are known as the Coastal High Hazard Area (CHHA) and are considered by the Florida Legislature as areas particularly vulnerable to the effects of coastal flooding. As such, coastal communities which choose to delineate a CMA often include the CHHA within its boundaries. However, considering that many Florida communities often experience storms more intensive than a category 1 hurricane, the City of Palm Bay and several other municipalities include category 2 or 3 storm surge zones within the CMA as well.

2.2 SEA LEVEL RISE CONSIDERATIONS

Another naturally occurring phenomenon impacting coastal communities is sea level rise. According to NOAA, global sea levels have been rising over the past century, and the rate has increased in recent decades. Higher sea levels also increase the severity of storm surge which has led to more frequent and widespread flooding within coastal communities. As such, many of these communities include the portions of their community projected to be impacted by sea level rise within their CMA. Sea level rise mapping shapefiles are provided by the University of Florida GeoPlan Center utilizing sea level rise projection data from NOAA.

Sea level rise projection scenarios are available for 2040, 2050, 2060, 2070, 2080, 2090, and 2100 at varying levels of severity (Low, Intermediate-Low, Intermediate, Intermediate-High, High, and Extreme). Coastal communities in Florida often vary in their choice of sea level projections for inclusion within their CMA. Some communities choose more conservative projections (i.e., 2040-intermediate projections), while others are more aggressive (i.e., 2100-Extreme projections) depending on how proactive the municipality desires to be in anticipated and protecting their community from the impacts of rising sea levels. The City of Palm Bay includes the 2100 projections into its Coastal Management Area.

3.0 EXISTING CONDITIONS WITHIN THE CMA

The following overview of the natural resources, development, infrastructure, and populations found within the CMA should not be interpreted as a vulnerability assessment, adaptation action area plan, or resiliency plan. These efforts include extensive and exhaustive assessments of the structural and social assets likely to be impacted by coastal flood-related issues and provide strategies for addressing these impacts. Instead, the following analysis should simply be utilized as a factual basis for future decision making regarding new development within the City's most vulnerable areas prone to flood-related issues and providing the basis for policy development in the Coastal Management Element.

3.1 NATURAL RESOURCES

As evidenced by the St. Johns River Water Management District's (SJRWMD) latest Land Use/Land Cover (LULC) GIS database, the City of Palm Bay is rich with diverse habitats which support a wealth of Florida's native vegetation and wildlife. The LULC found throughout the City are provided in **Map CON-1** and those located within the City's Coastal Management Area are listed below:

- Bays and Estuaries
- Freshwater Marshes
- Herbaceous
- Mangrove Swamp
- Mixed Scrub-Shrub Wetland
- Mixed Wetland Hardwoods
- Pine Flatwoods
- Sand Pine
- Shrub and Brushland
- Upland Mixed Forest

A majority of the LULC classifications listed above are highly productive and diverse habitats. In fact, many of these habitats contain wetland features (as shown **Map FLU-4**) which are critical to the health and well-being of an abundance of Florida’s vegetation and wildlife. For example, Mangrove Swamps contain wetlands home to billions of worms, protozoa, barnacles, oysters, and other invertebrates which help directly or indirectly sustain larger organisms such as fish, birds, and crocodiles. Alternatively, Pine Flatwood habitats support several threatened and endangered species in Florida, including the Florida panther, red-cockaded woodpecker, bald eagle, and eastern indigo snakes.

The presence of significant vegetative and wildlife communities within the Palm Bay CMA further underscores the importance of conducting a more detailed vulnerability assessment of the City’s coastal areas, as many of these communities may be at risk from flood-related issues. Although updated Goals, Objectives, and Policies have been included within the Comprehensive Plan regarding natural resources within the CMA, creating a resiliency plan supported by a vulnerability assessment would be more likely to result in their continued protection and preservation.

3.2 DEVELOPMENT & INFRASTRUCTURE

Coastal flooding will not only impact the City’s natural resources but may also create significant disruptions for development and infrastructure. The following inventory and analysis provides a brief overview of the existing land uses and public facilities currently found within the Palm Bay CMA which may be impacted by issues of sea level rise, storm surge, and other coastal flood-related issues.

3.2.1 Existing Land Use

As shown in **Map CME-4**, much of Palm Bay’s Coastal Management Area is currently developed. Uses found within the CMA include a mix of residential (low, medium, and high) and nonresidential activities such as commercial, office/professional, public/institutional, recreation, and rights-of-way and utilities. There is a sizable amount of vacant property within the Coastal Management Area; however, much of this land is located adjacent to Turkey Creek and is likely undevelopable. Of the aforementioned uses, *low density residential* is the most predominant. Within the CMA, the detached single-family housing units which comprise this category are primarily located within the Palm Bay Point subdivision (found east of US Highway 1) and in the neighborhoods immediately north of Turkey Creek.

Privately-owned structures within the CMA are at significantly higher risk of being damaged each year from coastal flood-related issues. As indicated on the storm surge models presented in **Map CME-1**, an overwhelming majority of properties within the CMA would likely suffer from significant flood damage if a Category 3 storm or higher hits the City. Beyond the risk to life and property, flood waters can also carry destroyed and/or hazardous building materials and waste into critical surface waters and habitats and potentially devastate natural resources. Therefore, further analysis is needed to determine the vulnerability of the developments which comprise the CMA from the destructive forces of coastal floods.

HISTORIC & CULTURAL RESOURCES WITHIN THE CMA

According to the Florida Master Site File maintained by the State Division of Historical Resources, there are currently seven structures, four resource groups, and one bridge which have been surveyed within the Palm Bay CMA. Of these surveyed items, none are currently listed on the National Registry of Historic Places (NRHP).

However, the Florida East Coastal Railroad and the US Highway 17 bridge crossing Turkey Creek have been determined to be eligible for potential listing on the NRHP by the State. At this time, neither of these resources are owned by the City.

Provisions have been included within the Comprehensive Plan to ensure that historic and cultural resources within the Palm Bay CMA continue to be identified and protected from coastal flood-related events, when appropriate.

3.2.1.1 Water-Dependent & Water-Related Uses

Water-dependent uses are activities which can be carried out only on, in, or adjacent to shorelines because the use requires access to the waterbody, including ports, marinas, recreation, electrical generating facilities, or for water supply purposes. Water-related uses are activities which are not directly dependent upon access to a waterbody, but which provide goods and services that are directly associated with water-dependent uses, including boat storage, marine repair, boat and trailer sales, marine industrial, commercial and recreational fishing support. **Table CME-1** identifies some of the most notable public and privately owned water-dependent and water-related uses within the Palm Bay CMA.

Table CME - 1: Water-Dependent & Water-Related Uses within the CMA

Name/Location	Type of Use/Facility	Ownership Status
Water-Dependent Uses		
1. Paddling Paradise	Equipment Rental	Private
2. Palm Bay Marina	Marina	Private
Water-Related Uses		
3. Ais Trail Park	Park	Public
4. Castaway Point Park	Park	Public
5. Goode Park	Park	Public
6. Lazy Turtle RiverFront Grill & Tiki Bar	Restaurant	Private
7. Pollak Park	Park	Public
8. The Shack Riverfront Restaurant	Restaurant	Private
9. Stearns Point Park	Park	Public

Source: City of Palm Bay, 2022.

Water-dependent and water-related uses are often significant contributors to the local economy of coastal communities. However, these uses must also be carefully located, designed, constructed, and operated in a way that does not create adverse impacts to adjacent waterbodies and ecosystems. The updated Goals, Objectives, and Policies strive to maintain harmony between considerations for economic development and environmental integrity for new and expanded water-dependent and water-related uses proposed within the Palm Bay CMA.

3.2.2 Public Infrastructure

The provision, protection, and maintenance of infrastructure is one of the most important functions of local government, as public facilities are critical to supporting the day-to-day operations of its residents and businesses. As such, the disruption or destruction of infrastructure can create significant impacts to the function of a community. Considering that much of the City's coast is developed, an extensive system of public infrastructure is currently operating within the CMA and thus, are subject to potential damage from coastal flood-related issues. An inventory of the area's most critical and widely utilized infrastructure is provided below.

- **US Highway 1.** Although many roadways within the CMA are likely to be impacted by coastal flood-related issues, none will create a larger disruption on the local and regional transportation network than US Highway 1. This major roadway is currently owned and maintained by the Florida Department of Transportation (FDOT). The Department estimated that between 22,500 and 34,500 daily trips (depending on the segment) occurred in 2021 along the portion US Highway 1 found within the CMA. If this highway becomes inundated by flood waters and is unable to facilitate travel, drivers will likely utilize other nearby roadways within the City which are not intended to accommodate heavy traffic flow—potentially resulting in gridlocked streets, damaged roadways, and dangerous conditions for local pedestrians and cyclists.

- **Potable water and sanitary system.** As shown in **Maps FLU-9 and FLU-10**, both centralized water and sewer services are currently operating or are available for connection with the Palm Bay CMA. Flooding from major storm events in coastal communities can often overwhelm these systems and compromise their ability to perform at an acceptable level. For example, excessive stormwater runoff can contaminate both surface and ground water supply; wastewater facilities can overflow and seep into the water supply; potable water systems (if power is lost) may fail to treat water before being consumed by customers. Furthermore, repairing and/or rehabilitating these systems are expensive and may take several months to complete before resuming normal operations.
- **Electrical system.** Above ground electrical powerlines are found throughout the Palm Bay CMA. Unlike potable water and sanitary sewer, electrical systems within Palm Bay are not owned and operated by the City but rather Florida Power & Light (FPL). Although above ground systems are easier and less costly to maintain in the short-term, they are also prone to more outages during significant storm events. Losing power for extended periods can create significant disruptions for the community. However, undergrounding electric infrastructure can be cost-prohibitive which is one of the primary reasons why many power lines throughout the State remain above ground.

As highlighted in this inventory, infrastructure such as major roadways, water and sewer networks, and electrical systems are often both critically important to supporting a community and highly vulnerable to the impacts of coastal flood-related issues. As such, Goals, Objectives, and Policies have been included within this Comprehensive Plan Update which aim to increase the resiliency of infrastructure within the Palm Bay CMA by 2045. However, a more detailed plan for protecting critical infrastructure will be necessary if the City wishes to sufficiently protect its public facilities beyond the planning horizon identified within this Plan.

3.3 VULNERABLE POPULATIONS

For those who reside within Florida's coastal communities, preparing and protecting life and property from significant flood damage is often an annual occurrence—particularly in the event of a major storm. However, some segments of the population are often more vulnerable to experiencing significant disruptions to their lives from coastal flood-related than others. According to the U.S. Climate Resilience Toolkit, vulnerable populations are those which face “uneven exposures and sensitivities to growing coastal risks and limit[ed] adaption options” due to a broad range of socioeconomic factors. Factors which often increase the vulnerability of a household include lacking a motor vehicle, earning below the poverty level, sheltering one or more persons with a disability, and lacking an English-speaking person in the household. These vulnerability conditions were explored within the Palm Bay CMA using the demographic analysis tools available on ESRI Business Analyst Online (BAO). The result of this analysis is provided in **Table CME-2** below.

Table CME - 2: Vulnerability Factors for Households within the Palm Bay CMA (2020)

Vulnerability Factor	Number of Households
Total Households	407
Owner Occupied Households with No Vehicle ¹	4
Households Earning Below the Poverty Level	72
Households with One or More Persons with a Disability ²	138
Households with No English Speaker	0

¹This variable was not available for renter occupied households.

²The U.S. Census Bureau defines disability broadly as difficulty with one of the following six basic areas of functioning—ambulation, cognition, hearing, independent living, self-care, and vision.

Source: ESRI Business Analyst Online, 2022.

As shown in the table above, there appear to be several potentially vulnerable households within the CMA. The most prominent vulnerability factors within Palm Bay's coastal area are households earning below the poverty level and those possessing one or more persons with a disability. Households earning below the poverty level are uniquely vulnerable to coastal flood-related events because they may not have the funds needed to make critical repairs, seek emergency medical treatment, or afford temporary shelters like motels. Additionally, households caring for those with disabilities are at greater risk of failing to escape from hazards, losing essential medications or medical devices, or failing to access transportation accommodations necessary for evacuation.

There are numerous factors which can render certain households more vulnerable to sea level rise, storm surge, and other flood-related issues associated with coastal living. As such, this Comprehensive Plan Update not only includes goals, objectives, and policies to protect these populations, but also lays the groundwork for the creation of a coastal resiliency plan which includes an extensive inventory and assessment of Palm Bay's most vulnerable households.

3.4 EMERGENCY MANAGEMENT

As a coastal community in Florida, the City of Palm Bay is constantly striving to improve its emergency management processes and procedures to ensure the safety of its residents. As part of these efforts, the City coordinates with state, regional, and county agencies to ensure its evacuation routes and emergency shelter system are able to assist all residents, regardless of their individual vulnerabilities, to evacuate or obtain safe shelter. The following discussion will describe the City's evacuation procedures and routes, as well as identify emergency shelters available within Palm Bay.

3.4.1 Evacuation Procedures & Zones

In the event of a significant storm event, those located within coastal communities may be recommended or mandated to evacuate by the Brevard County Emergency Management Department depending on the severity of the storm. Evacuation zones within the City are determined by the Florida Department of Emergency Management using storm surge models. These zones, and their location within the City, are described below:

- **Evacuation Zone A:** Areas likely to be impacted by storm surge up to 11 feet and thus are ordered to evacuate first. Portions of the community located within Zone A include areas located immediately north of Turkey Creek and along the Indian River.
- **Evacuation Zone B:** Areas likely to be impacted by storm surge up to 15 feet. Portions of the City located within Zone B are found within Palm Bay Point, Palm Bay Estates, and select homes within the Turkey Creek neighborhood.
- **Evacuation Zone C:** Areas likely to be impacted by storm surge up to 20 feet. Portions of the Palm Bay community located within this Zone include homes within the Turkey Creek neighborhood, Bethesda Baptist Church, a majority of Palm Bay Estates, and homes located immediately south of Turkey Creek.
- **Evacuation Zone D:** Areas likely to be impacted by storm surge up to 28 feet. This Zone covers significant portions of northeast Palm Bay, including all of the Turkey Creek neighborhood, several areas north of Port Malabar Blvd and neighborhoods surrounding the Florida East Coast Railroad.
- **Evacuation Zone E:** Areas likely to be impacted by storm surge up to 35 feet. This Zone includes most of the City's land located between Babcock Street and the Indian River.

Residents and visitors seeking to evacuate Palm Bay may use one of the four designated evacuation routes found within the City, which include I-95, US Highway 1, State Road 507, and Malabar Road (east of I-95). These routes, along with their current and projected level of service, are shown on the Transportation Element maps.

3.4.2 Evacuation Clearance Times

Clearance Time is the time necessary for people evacuate from the point when the evacuation order is issued until the last evacuee can either leave the evacuation zone or arrive at a safe shelter within the county. Clearance times for Brevard County are studied and projected by the East Central Florida Regional Planning Council (ECFRPC) in coordination with FDEM and local municipalities. To determine estimated clearance times within Brevard County, two primary analyses are utilized. The first method of analysis, *base evacuation*, is performed using a standardized set of data points and assumptions and, therefore, can easily be compared between counties and regional planning councils across the State. Alternatively, an *operational evacuation analysis* is performed using set a of data points and assumptions determined by each RPC, and therefore, is tailored to each region.

Using both base and operational evacuation analyses, the ECFRPC has produced three sets of estimated clearance times for Brevard County, which are described below and identified in **Table CME-3**.

1. *Clearance Time to Shelter*. The hours necessary to safely evacuate vulnerable residents and visitors to a "point of safety" within the county based on a specific hazard, behavioral assumptions, and evacuation scenario. Calculated from the point in time when the evacuation order is given to the point in time when the last vehicle reaches a point of safety within the county.
2. *In-County Clearance Time*. The hours required from the point an evacuation order is given until the last evacuee can either leave the evacuation zone or arrive at a safe shelter within the county. This does not include those evacuees leaving the county on their own.
3. *Out of County Clearance Time*. The hours necessary to safely evacuate vulnerable residents and visitors to a "point of safety" within the county based on a specific hazard, behavioral assumptions and evacuation scenario. Calculated from the point an evacuation order is given to the point in time when the last vehicle assigned an external destination exits the county.

Table CME - 3: Brevard County Clearance Times

Clearance Time Type	Evacuation Zone A	Evacuation Zone B	Evacuation Zone C	Evacuation Zone D	Evacuation Zone E
Base Evacuation Clearance Time					
Clearance Time to Shelter	14	16	17.5	20.5	21.5
In-County Clearance Time	15	16.5	18.5	21	25.5
Out of County Clearance Time	15	16.5	18.5	21	25.5
Operational Evacuation Clearance Time					
Clearance Time to Shelter	Not provided	13.5	13	17	12.5
In-County Clearance Time	Not provided	14.5	14.5	17.5	29.5
Out of County Clearance Time	Not provided	14.5	14.5	17.5	29.5

Source: ECFRC, 2021.

As shown in the table above, while clearance times improve in some zones, others worsen in the Operational Evacuation model when compared to the Base Evacuation analysis. The greatest deviations between the two models were found in Evacuation Zone E when examining the Clearance Time to Shelter, which showed a

difference of nine hours. Regardless of the model utilized, the City, County, and RPC should continue to evaluate and implement methods to reduce its clearance times, no matter the destination. Unlike many other RPCs in the State, the ECFRPC does not provide target metrics or strategies for how clearance times within the region should be reduced.

The Coastal Management Element Goals, Objectives, and Policies require the City to coordinate with Brevard County to reduce local evacuation times and improve the capabilities of emergency shelters, to offer development bonuses and other incentives to developers who provide onsite emergency shelters within new housing projects, and to identify the needs vulnerable populations within the City's resiliency plan.

3.4.3 Emergency Shelters

Many families and individuals which choose to evacuate from a major storm event may elect to stay at an emergency shelter. Brevard County organizes its emergency shelters into three distinct, yet occasionally overlapping, categories. The first is *Primary Evacuation Shelters (PES)* which are open to families that have been evacuated from their homes, live in low-lying areas, and/or simply want to protect themselves from a major storm event. The second category of shelters are categorized as *Special Needs Shelters (SNS)*, which are intended for populations who require sheltering assistance due to physical, mental, and/or cognitive impairment or sensory disabilities. Eligible populations meeting these criteria will be granted access to these locations and provided additional measures of care during emergency periods. The final type of evacuation shelter is *Pet-Friendly Shelters (PFS)*, which allow for limited accommodations for families with pets.

According to the *FDEM 2022 Statewide Emergency Shelter Plan*, there are currently 38 emergency shelters in Brevard County—nine of which are located within the City of Palm Bay. There is also one additional shelter within the City that is not identified within the Statewide Emergency Plan—the Ted Whitlock Community Center. Of these ten, nine are PES (two of which are also pet-friendly) and one is a SNS. Several of the shelters located within the City also meet 'EHPA' criteria. *Enhanced Hurricane Protection Area* criteria are established within the Florida Building Code (Section 435.25) and were developed to ensure that new educational facilities which also serve as evacuation shelters are designed and constructed in a manner which meets or exceeds national standards, guidelines, and best practices. A list of all the emergency evacuation shelters within the City, including their address, capacity, type, and EHPA determination, is provided in **Table CME-4**.

Table CME - 4: Emergency Shelters

Name	Street Address	Capacity	Meets EHPA Criteria	Type
Bayside High School	1901 Degroodt Road SW	5,090	No	PES
Discovery Elementary School	1275 Glendale Avenue NW	1,539	Yes ¹	PES
Heritage High School	2353 W Malabar Road	4,789	Yes ¹	PES
John F. Turner Sr. Elementary School	3175 Jupiter Boulevard SE	500	Yes	PES
Jupiter Elementary School	950 Tupelo Road SW	1,339	No	PES
Palm Bay Community Center	1951 NW Malabar Road	484	No	PES, PFS
Riviera Elementary School	351 Riviera Drive NE	1,289	No	PES
Sunrise Elementary School	1651 Mara Loma Blvd	697	Yes	SNS
Ted Whitlock Community Center	370 Championship Circle NW	474	Yes	PES, PFS
Westside Elementary School	2175 Degroodt Rd	2,189	No	PES

¹Limited to certain portions of the shelter.

Sources: FDEM, 2022.

Unlike emergency evacuation procedures, Florida Statutes do not require (nor provide a criteria for) municipalities to establish level of service standards for the provision of emergency shelters. However, the City may choose to explore and implement this system in future in conjunction with the development of a resiliency plan. Considerations for determining level of service criteria for emergency shelters may include the number of residents in need of evacuation for each zone, the location and accommodations necessary to support Palm Bay's special needs populations, households in need of pet-friendly facilities, and the location, capacity, and capabilities of each emergency shelter facility.

4.0 POTENTIAL IMPACTS OF FUTURE DEVELOPMENT WITHIN THE CMA

Much of the City's projected economic and population growth is anticipated to occur within the Palm Bay CMA, as evidenced by the sizable densities and intensities permitted within the area by the City's Future Land Use Map. As shown in **Map CME-5**, the CMA is currently home to 11 FLUM designations which permit a mix of residential and nonresidential uses at varying densities and intensities.

Residential land use categories found within the CMA include Low Density Residential (LDR) and Medium Density Residential (MDR), which permit a diversity of housing types at densities ranging from 5 dwelling units per acre (du/ac) to 10 du/ac. Nonresidential categories found within the CMA are Commercial (COM) and Industrial (IND), which feature a Floor Area Ratio (FAR) of 2.5 and 5.0, respectively. Mixed use categories include Urban Mixed-Use (UMU), which permits development up to 40 du/ac and 2.5 FAR. The Public/Semi-Public (PSP) FLU category is also found within the Palm Bay CMA and allows for public uses at an intensity not exceed a 2.0 FAR. The remaining two categories, Recreation & Open Space (ROS) and Conservation (CON), are not intended to support new development and redevelopment projects.

Many of the land use designations found in the CMA permit maximum densities and intensities at a scale much greater than what has been previously developed within the City. However, many of these properties do not currently possess a zoning district which allows them to achieve the maximum densities/intensities afforded to them by their FLU. When rezonings are requested, the City will consider potential impacts on (but not limited to): natural resources, water-dependent or water-related uses, public facilities, emergency evacuations and shelters, and drainage. Consideration will also be given to the property's potential to be impacted by storm surge, sea level rise, and other coastal flood-related issues. These considerations are explored further throughout this section.

4.1 NATURAL RESOURCES

As identified and discussed within **Section 2.1** of this document, there are several highly productive and diverse habitats found within the Palm Bay CMA. For example, habitats such as *Mangrove Swamps*, *estuaries*, and *Pine Flatwoods* support many vegetative and wildlife communities—some of which are considered to be endangered or threatened species. Several of these habitats also include numerous wetland features, which are critical for acting as local retention systems, regulating the flow of water, supporting local vegetative and wildlife communities, and removing excess nutrients and particulates from stormwater. These natural resources are not only protected from the impacts of development through the City's land regulations, but also through the additional permitting requirements at the regional, state, and federal level from agencies such as SJRWMD, FDEP, FWC, and USACE.

4.2 WATER-DEPENDENT & WATER-RELATED USES

The City's adjacency to natural water bodies can be a significant driver for the local economy. However, properties located along the waterfront are finite in number and thus, should be encouraged to develop in a manner which capitalizes on their proximity to hydrological features without harming nearby natural resources. Examples of water-dependent and water-related uses within the Palm Bay CMA are provided in **Table CME-1**. The Goals,

Objectives, and Policies of the Comprehensive Plan ensure that these uses continue to be encouraged, preserved, and/or enhanced throughout the planning horizon identified within this Plan.

4.3 PUBLIC FACILITIES

The development and expansion of new public facilities will likely be necessary to accommodate new development and redevelopment activities within the Palm Bay CMA. For example, considering the availability of both centralized water and sewer infrastructure within the area, new development and redevelopment activities are likely to connect to the City's utility system is likely to extend and connect to the City's utility network in lieu of providing onsite well and septic facilities. To the extent feasible, the City limits the placement of public expenditures in the CMA. However, City infrastructure and community facilities should be evaluated in a vulnerability assessment as part of the City's resiliency plan.

4.4 EMERGENCY EVACUATIONS & SHELTERS

Evacuations and shelters are important functions of emergency planning. As the City continues to grow in population, particularly within the Coastal Management Area, the need for coordination between the County and the City will increase. These efforts should be focused on identifying ways to prevent the degradation of local evacuation times and to increase the volume and capabilities of area shelters. Provisions have been included within the Goals, Objectives, and Policies to advance these coordination efforts. Additionally, the City will now seek to offer development bonuses and other incentives to developers for including onsite emergency shelters within new housing developments.

4.5 STORMWATER & DRAINAGE

Coastal areas are prone to flooding and potential pollutants from run-off and surge events. Much of the run-off from current development with the coastal area is collected by stormwater retention, treated, and attenuated to the nearby surface waters. These facilities need to be evaluated during the vulnerability assessment to understand if the systems will be impacted by sea level rise, which could eliminate the function of these systems in the future.

4.6 COASTAL FLOODING

There is currently no recorded nuisance flooding attributed to tidal events in the City. However, sea level rise is projected to impact properties surrounding Palm Bay and Turkey Creek, and along the Indian River Lagoon. This area of the City is particularly vulnerable to rising sea levels and will receive the brunt of storm surge in the event of hurricane. A vulnerability assessment for this area should analyze the impacts of sea level rise on existing and future land uses as well as impacts on public facilities. The City's Future Land Use map within the CMA is shown in **Map CME-6**.

5.0 ESTUARINE POLLUTION

The Indian River Lagoon is the main surface water body in Palm Bay. Discharges from the City's sewage treatment plants into the lagoon were eliminated with the Indian River Lagoon Act (1990)¹. Regulations allow up to 80 days per year of "emergency wet weather" surface discharge into the Indian River Lagoon. Onsite sewage disposal systems (i.e., septic tanks) are prevalent within the City of Palm Bay, and this form of sewage treatment can be a

¹ Barile, Peter. "Widespread sewage pollution of the Indian River Lagoon system, Florida (USA) resolved by spatial analyses of macroalgal biogeochemistry." *Marine Pollution Bulletin*, 2018

major threat to the health of ground and surface waters. The lagoon also experiences pollution problems from stormwater runoff. The practice of using canals and ditches to drain land has resulted in abnormally high amounts of freshwater entering the lagoonal system, which has upset the normal balance of the system and caused problems for flora and fauna. The lagoon also has a layer of fine silt and sediment called “muck,” which has accumulated through years of erosion². This layer of “muck” has disrupted the natural ecosystem for seagrass and increases the nitrogen and phosphorus within the lagoon, leading to stressors for the ecosystem (including algal blooms).

Detailed analyses of estuarine conditions are contained in the *Indian River Lagoon Comprehensive Conservation and Management Plan* which was prepared by the Indian River Lagoon National Estuary Program.

5.1 REGULATORY PROGRAMS

The City of Palm Bay has regulations regarding floodplain and stormwater management. The purpose of the City’s stormwater management is to protect, maintain, and enhance health, safety, and general welfare of the community, as well as minimize erosion and sedimentation and protect and restore natural salinity levels in estuarine areas.

The City has implemented the following measures to reduce estuarine pollution:

- Minimize non-point source pollution. Utilization of natural vegetated buffers to function as filters and to remove pollutants from runoff prior to discharge into surface waters.
- Eliminate point source pollution.
- Prevent new developments from creating new sources of pollution. Provide appropriate regulations for new development to ensure proper stormwater management.

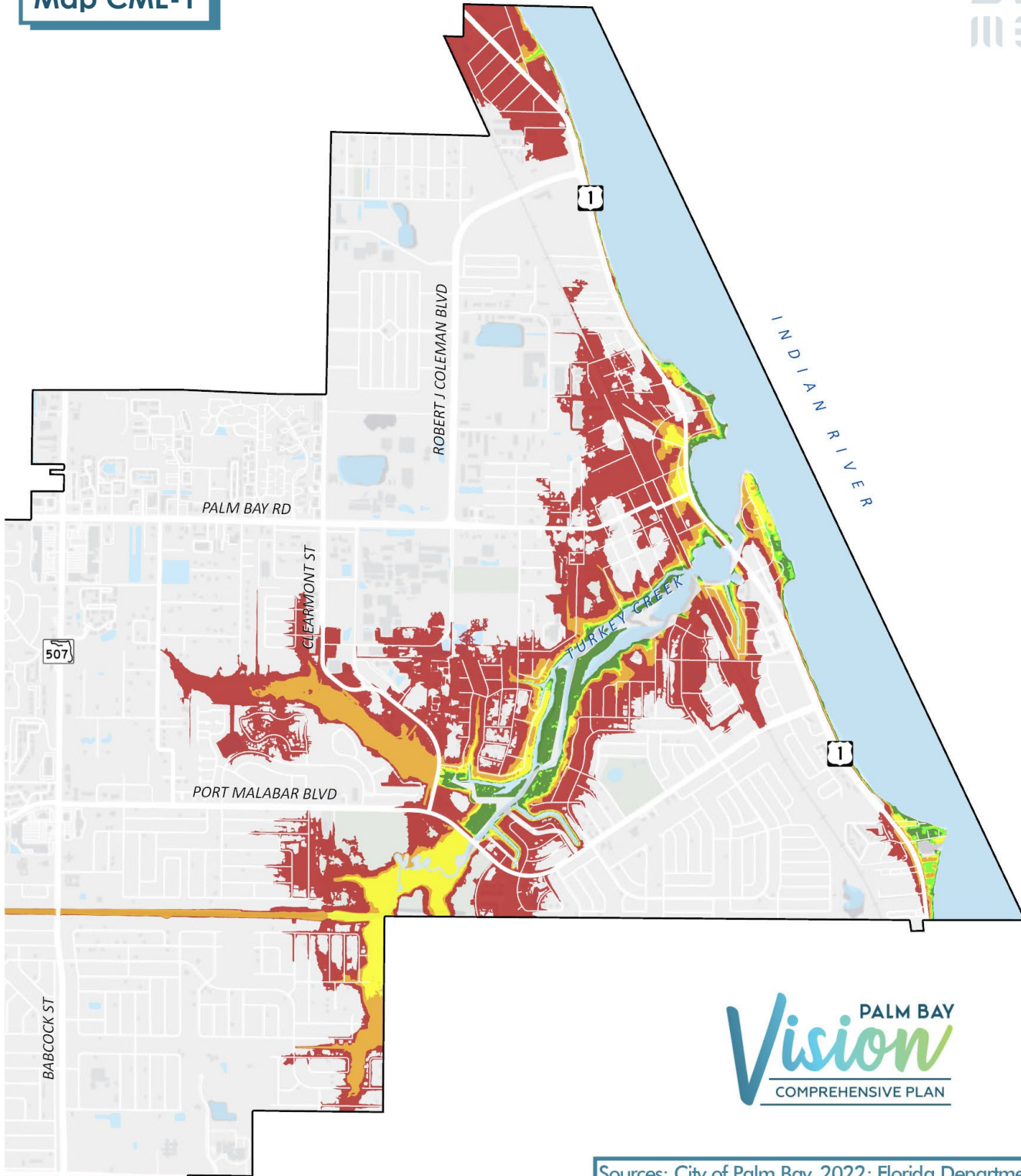
The St. Johns River Water Management District, the East Central Florida Regional Planning Council (ECFRPC), the Florida Department of Environmental Protection, the Florida Marine Fisheries Commission, the Florida Game and Fresh Water Fish Commission, the U.S. Department of the Interior, U.S. Department of Defense, and U.S. Environmental Protection Agency all have various degrees of regulatory responsibilities within the Palm Bay Coastal Management Area. In addition, several private non-profit agencies work closely with local governments and other public agencies to preserve, protect, and enhance the environmental quality of the Coastal Management Area as well as provide more public access to the natural resources.

6.0 CONSIDERATIONS FOR ADVANCING EQUITY

According to the Center for Disease Control Social Vulnerability Index, two of the most vulnerable census tracts in the City of Palm Bay are located near the Indian River Lagoon and Turkey Creek. Social vulnerability accounts for socioeconomic status, household composition and disability, minority status and language, and housing type and access to personal vehicle. These areas of the City are also at the highest risk of sea level rise (as shown in **Map CME-3**), storm surge, and other hazards caused by major storms. Many residents who live in this area may not have access to their own personal vehicles or speak English. These households are also more likely to have accessibility needs which would require a Special Needs Shelter. Understanding the differing needs of the

² https://onelagoon.org/wp-content/uploads/IRLNEP_Final-Draft-CCMP-REVISION_2018-12-07_LowRes_20200204.pdf

community is important when planning for emergencies. As such, the City of Palm Bay could consider developing a resiliency plan to better understand the needs of their community and adapt to the needs of their most vulnerable residents.



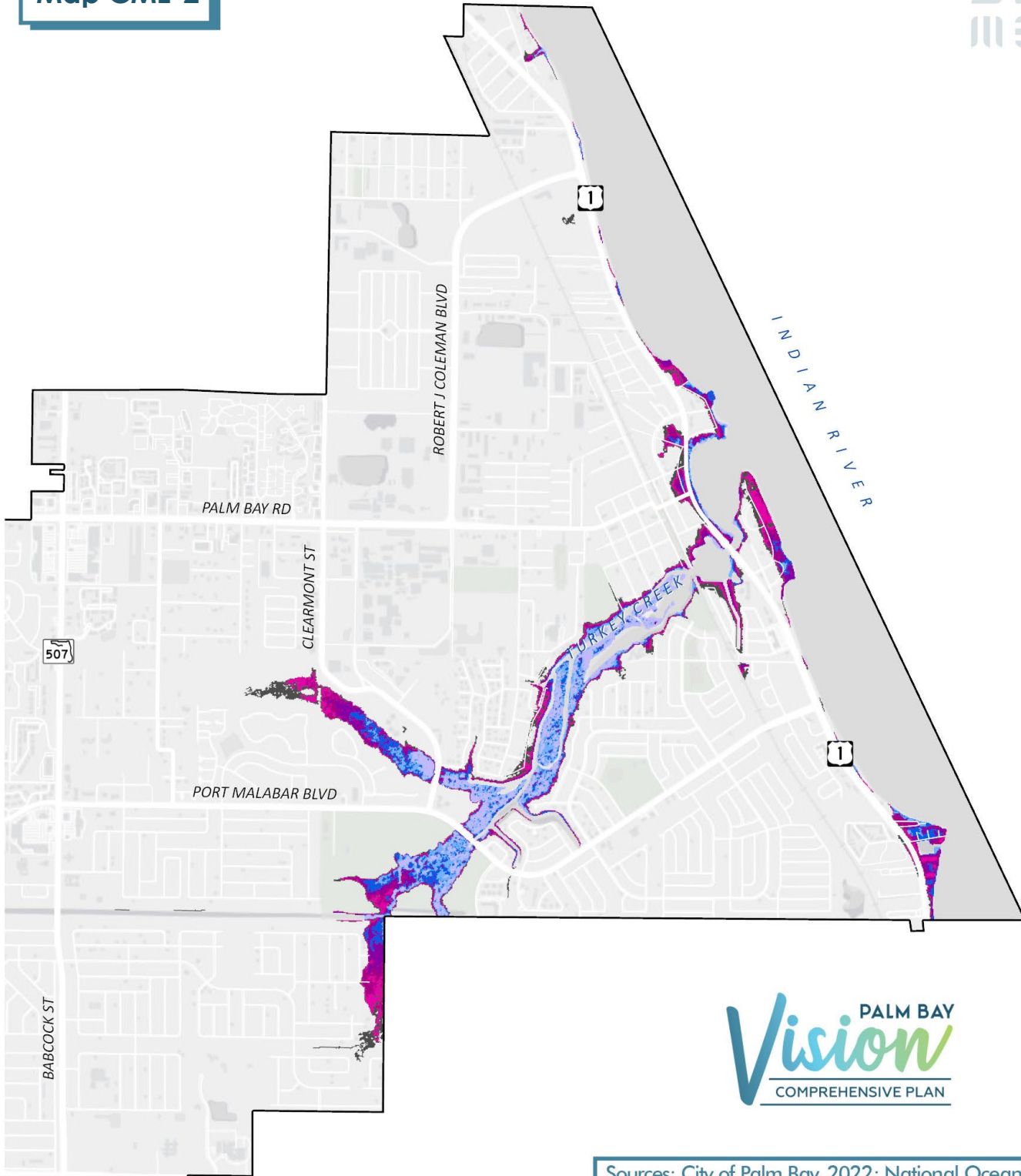
VISION PALM BAY
COMPREHENSIVE PLAN

Sources: City of Palm Bay, 2022; Florida Department of Emergency Management, 2021.

LEGEND

- | | |
|----------------------------|------------|
| City of Palm Bay | Category 2 |
| Water Feature | Category 3 |
| <i>Storm Surge (SLOSH)</i> | Category 4 |
| Category 1 (CHHA) | Category 5 |





Sources: City of Palm Bay, 2022; National Oceanic and Atmospheric Administration, 2020.

LEGEND

City of Palm Bay

Sea Level Rise Projections (NOAA 2017 High)

20-Year Projection (2040)

30-Year Projection (2050)

40-Year Projection (2060)

50-Year Projection (2070)

60-Year Projection (2080)

70-Year Projection (2090)

80-Year Projection (2100)

80-YEAR SEA LEVEL RISE PROJECTIONS





Source: City of Palm Bay, 2022.

LEGEND

- City of Palm Bay
- Coastal Management Area
- Water Feature



COASTAL MANAGEMENT AREA





Vision PALM BAY
COMPREHENSIVE PLAN

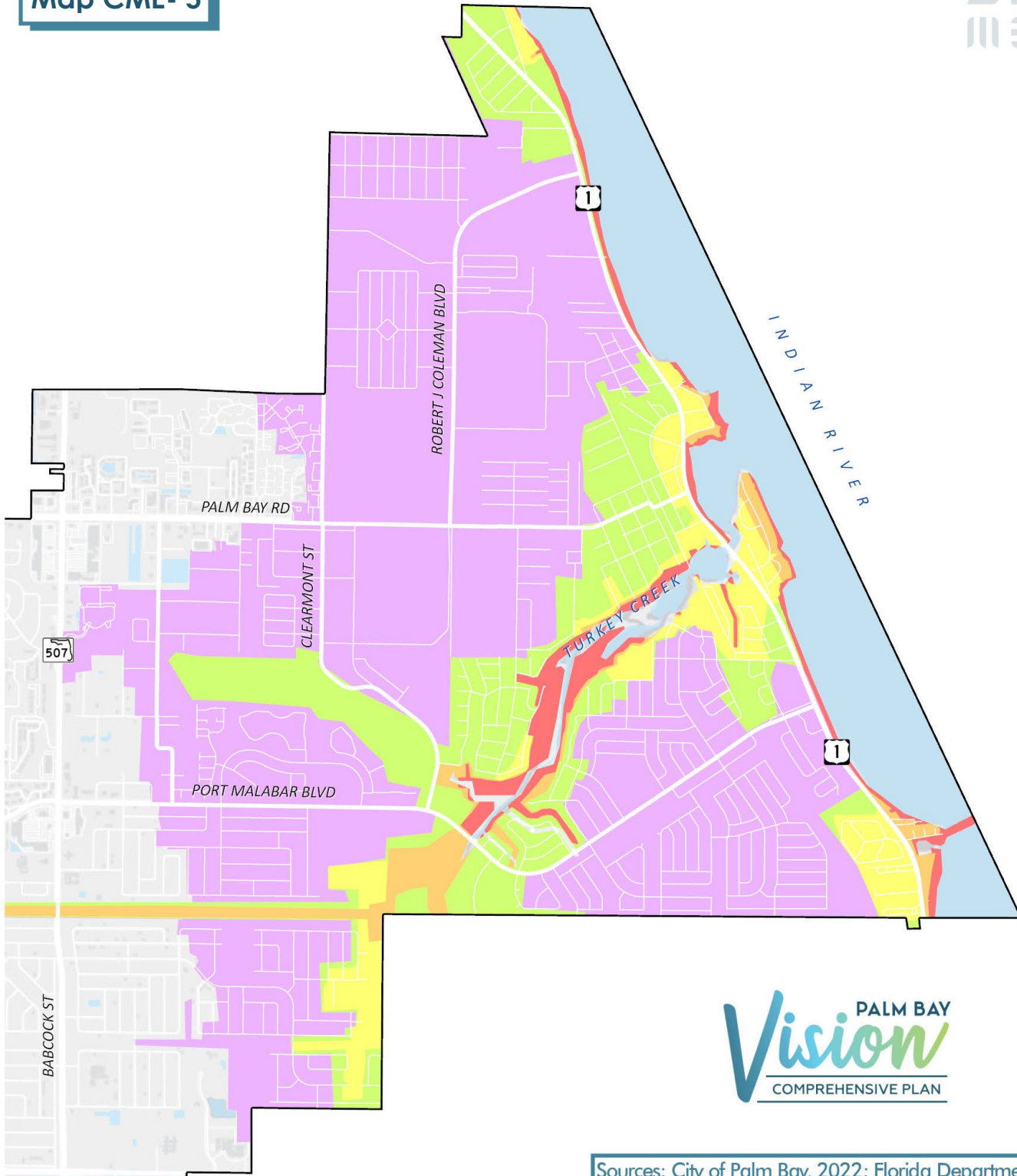
Source: City of Palm Bay, 2022.

LEGEND

- | | | |
|--------------------------|------------------------------|--------------------|
| City of Palm Bay | Moderate Density Residential | Public/Semi-Public |
| Water Feature | High Density Residential | Recreation |
| <i>Existing Land Use</i> | Commercial | Vacant |
| Low Density Residential | Office/Professional | |

ELU WITHIN THE CMA



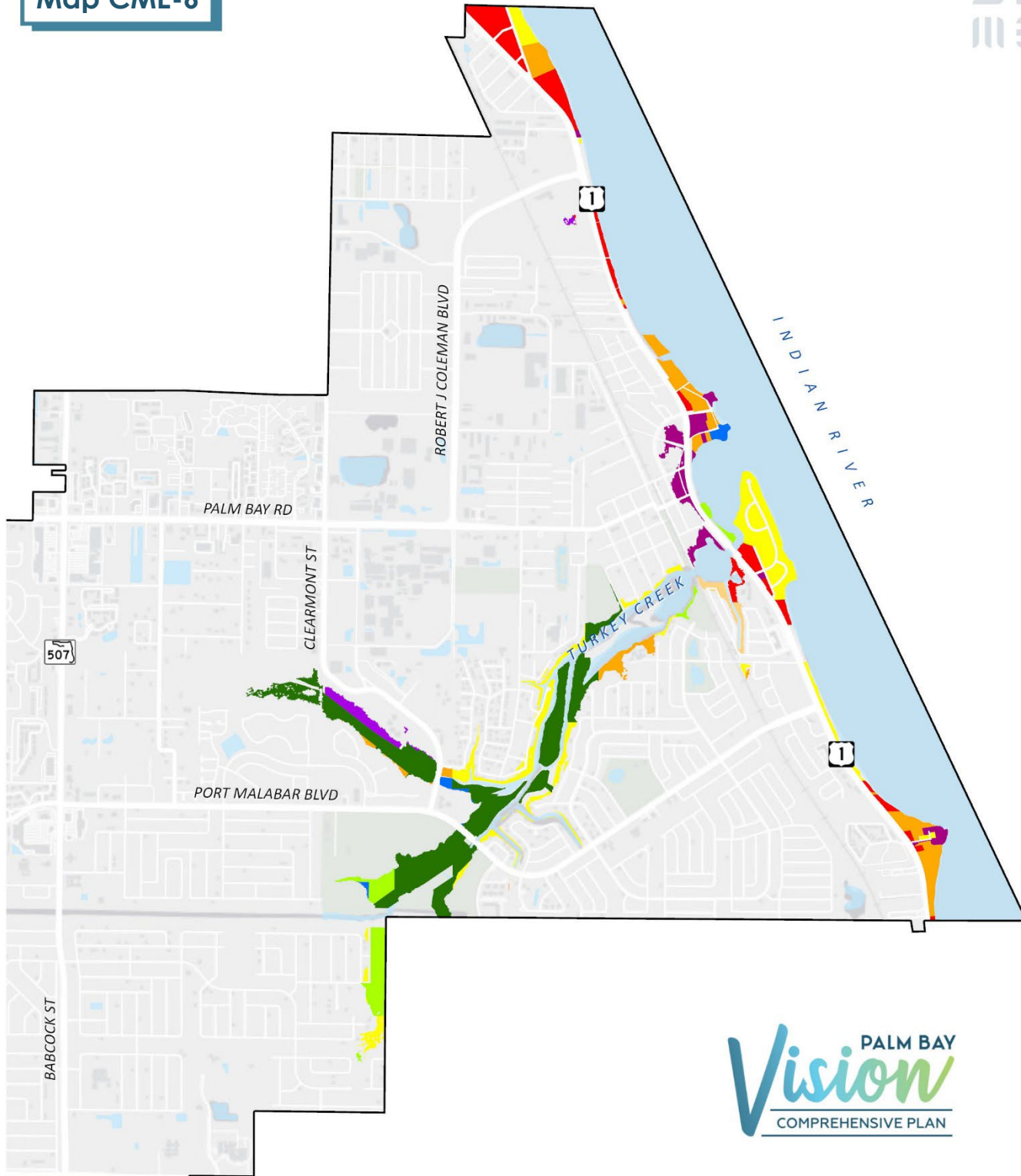


Sources: City of Palm Bay, 2022; Florida Department of Emergency Management, 2021.

LEGEND

- | | |
|------------------|--|
| City of Palm Bay | <i>Brevard County Evacuation Zones</i> |
| Water Feature | Zone A |
| | Zone B |
| | Zone C |
| | Zone D |
| | Zone E |

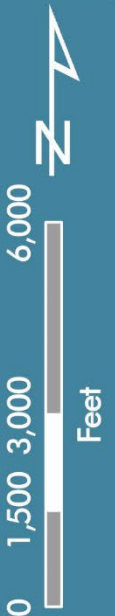




Source: City of Palm Bay, 2022.

LEGEND

- | | | |
|-----------------------------------|-------------------------|----------------|
| City of Palm Bay | MDR (10 du/ac) | IND (5.0 FAR) |
| Water Feature | HDR (20 du/ac) | PSP (2.0 FAR) |
| <i>Future Land Use within CMA</i> | UMU (40 du/ac; 2.5 FAR) | ROS (0.25 FAR) |
| LDR (5 du/ac) | COM (2.5 FAR) | CON (0.05 FAR) |





05



RECREATION & OPEN SPACE

Table of Contents

INTRODUCTION	1
1.0 INVENTORY OF RECREATION AND OPEN SPACE FACILITIES	1
1.1 Neighborhood Parks	1
1.2 Community Parks	2
1.3 Regional Parks	2
1.4 Trails	5
1.5 Open Space	6
1.6 School Recreation Facilities	7
1.7 Private Recreation Facilities	7
2.0 ANALYSIS	7
2.1 Current Level of Service	7
2.2 Projected Need	8
2.3 Considerations for Advancing Equity	9
2.3.1 Location of Neighborhood Parks	9
2.3.2 Accessibility	9
2.3.3 Private Parks	10
2.3.4 Capital Projects	10

List of Maps

Map ROSE - 1: Parks & Recreation Facilities	11
Map ROSE - 2: Conservation Lands	12
Map ROSE - 3: Park Service Area and Existing Land Use	13
Map ROSE - 4: Park Service Area and Future Land Use	14

List of Tables

Table ROSE - 1: Inventory of Public Parks & Recreation Facilities	3
Table ROSE - 2: Parks & Open Space Surplus/Deficiency (2022-2045)	9

INTRODUCTION

The purpose of the *Recreation & Open Space Element (ROSE)* is to ensure that the City of Palm Bay continues to provide high-quality public facilities in a manner which meets the needs of existing and future populations for recreation and open spaces. The data and analysis portion of this Element seeks to provide a factual basis for future decisions and policy changes made by the City regarding the successful provision of these facilities. Operations performed as part of this analysis included conducting a desktop inventory of the City’s parks facilities, performing existing level of service (LOS) calculations, determining Palm Bay’s projected needs for parks by 2045, and identifying opportunities for advancing equity in the City’s recreation and open space systems.

1.0 INVENTORY OF RECREATION AND OPEN SPACE FACILITIES

The provision of a high-quality recreation and open space can generate numerous benefits to a community, including (but certainly not limited to): preserving natural resources, contributing to the social and physical health and wellness of residents, providing enriching experiences to persons of all backgrounds, abilities, and income levels, and raising local property values. Public parks (and to a lesser degree, open spaces in general) within the City should also be designed and equipped in a manner which supports one or more recreational activities. These activities are generally split into one of two categories, *active* and *passive*—the definitions of which are provided to the right. Parks can also be classified as regional, community, or neighborhood based on the amenities they offer, their size, and the population they serve. It should be noted that only sites that are officially designated as parks have been included in this element. Thus, vacant public lands and open space typically found in medians, buffers, retention areas and similar facilities are not included as part of this inventory.

The City of Palm Bay currently owns, operates, and maintains a range of parks and recreation areas. This inventory includes 32 parks and five recreational facilities, which include four community centers and one senior center. Many of the City’s parks include facilities which support both active and passive recreational activities, as well as other amenities such as grills, pavilions, and restrooms. An inventory of the City’s parks and recreation facilities is provided in **Table ROSE-1** and their location is shown in **Map ROSE-1**.

*What is the difference between **active** and **passive** recreation?*

The Environmental Protection Agency (EPA) defines **active recreation** as a structured individual or team activity that requires the use of special facilities, courses, fields, or equipment.

Alternatively, **passive recreation** refers to recreational activities that do not require prepared facilities like sports fields or pavilions. Passive recreational activities often provide ecosystem service benefits and are highly compatible with natural resource protection.

1.1 NEIGHBORHOOD PARKS

Neighborhood parks are the smallest park classification within the City. These facilities generally serve the needs of the immediate area and thus, are often seen as ‘walk-to’ parks that are generally located within neighborhoods to provide convenient access to recreation. Recreational amenities at neighborhood parks generally include playgrounds and one or two courts or a multi-purpose field for team activities. Other amenities found at these parks typically include grills, pavilions, picnic areas, and restrooms. Examples of public neighborhood parks within the City include Liberia Park and Dade Circle Park (see **Table ROSE-1**).



1.2 COMMUNITY PARKS

Community parks vary serve multiple neighborhoods and are generally located near major roadways. They typically possess a diverse array of amenities onsite, including (but not limited to) more than one athletic court and/or multipurpose field, playgrounds, pavilions, picnic areas, and restrooms. These parks may also possess a community center, which includes meeting rooms, kitchen facilities, multipurpose rooms, and/or indoor athletic facilities. Most community parks, unless used for a very specific activity, such as mountain bike trails or paintball, also serve as neighborhood parks to the nearby residents.

Examples of public community parks within the City include Liberty Park and Fred Lee Park. Fred Poppe Regional Park was previously classified as an Urban District Park due to the fact that it is a large park that serves population outside of the City limits. However, regardless of where the users come from, it functions as a community park. Therefore, the park is now classified as a community park.



1.3 REGIONAL PARKS

This type is the largest out of the park classifications. Regional parks typically feature unique or notable natural resources, serve more than one county, and are located away from existing population centers. Palm Bay neither possesses, nor anticipates the need for, a regional park within the 2045 planning horizon. The closest regional park to the City is the Sebastian Inlet State Park which is found in Indian River County.



Table ROSE - 1: Inventory of Public Parks & Recreation Facilities

Name	Acreage	Facilities & Amenities
Park Facilities		
Neighborhood Parks		
Arc Park	14.3	Active Recreational Facilities: Playground Passive Recreational Facilities: None Other Amenities: Benches, Gazebo, Picnic Tables, Restrooms
Bill Madden Park	11.5	Active Recreational Facilities: Playground Passive Recreational Facilities: None Other Amenities: Benches, Grills, Pavilions, Picnic Tables, Restrooms
Castaways Point Park	3.3	Passive Recreational Facilities: Fishing Pier, Kayak/Canoe Launch Active Recreational Facilities: Riverwalk Other Amenities: Benches, Fish Cleaning Station, Grills, Pavilions, Picnic Tables, Restrooms
Dade Circle Park	0.2	Active Recreational Facilities: None Passive Recreational Facilities: None Other Amenities: Grill, Pavilion, Picnic Tables
Dewar Park	7.4	Active Recreation Facilities: None Passive Recreational Facilities: Trails Other Amenities: Benches, Pavilion, Picnic Tables
Goode Park	7.7	Active Recreational Facilities: Playground Passive Recreational Facilities: Boat Ramp, Dock, Fishing Pier, captains house Other Amenities: Benches, Grills, Meeting Room, Pavilions, Picnic Tables, Restrooms
Inspiration Park	4.1	Active Recreational Facilities: Playground Passive Recreational Facilities: None Other Amenities: Benches, Grills, Pavilions, Picnic Tables, Restrooms, Wi-Fi
Liberia Park	0.3	Active Recreational Facilities: Playground, Splash Pad Passive Recreational Facilities: None Other Amenities: Benches, Grills, Picnic Table, Sunshade
Oak View Park	3.1	Active Recreational Facilities: Playground Passive Recreational Facilities: Trails Other Amenities: Benches, Grills, Pavilions, Picnic Tables
Patrick Woodward Memorial Park	4.0	Active Recreational Facilities: Basketball Courts, Playground Passive Recreational Facilities: Trails Other Amenities: Grill, Pavilion, Picnic Tables, Memorial
Pollak Park	3.6	Active Recreational Facilities: None Passive Recreational Facilities: Boat Ramp, Fishing Pier Other Amenities: Boating Safety Center, Pavilions, Picnic Tables, Restrooms
Sacrifice Park	0.5	Active Recreational Facilities: None Passive Recreational Facilities: None Other Amenities: Benches, Gazebo, Memorial, Pavilions, Picnic Tables
Stearns Point Park	2.0	Active Recreational Facilities: None Passive Recreational Facilities: Riverwalk, Dock, Fishing Pier Other Amenities: Benches, Pavilions, Picnic Tables
Victoria Park	1.9	Active Recreational Facilities: Playground Passive Recreational Facilities: None Other Amenities: Benches, Grills, Pavilions, Picnic Tables
West Pines Estates Park	7.4	Active Recreational Facilities: Basketball Courts, Playground Passive Recreational Facilities: None Other Amenities: Pavilions
Total Acreage	71.3	
Community Parks		
Ais Trail Park	17.3	Active Recreational Facilities: None Passive Recreational Facilities: Fishing Pier, Kayak/Canoe Launch, Trails Other Amenities: Pavilion, Picnic Tables, Restrooms
Boundary Canal Trail	5.4	Active Recreational Facilities: None Passive Recreational Facilities: Trails Other Amenities: Benches

Name	Acreage	Facilities & Amenities
Driskell Memorial Park	2.0	Active Recreational Facilities: Basketball Courts, Playground, Tennis Court Passive Recreational Facilities: None. Other Amenities: Benches, Gazebo, Grills, Pavilion, Picnic Tables, Restrooms
Fred Lee Park	17.5	Active Recreational Facilities: Basketball Courts, Multi-purpose Field, Playground, Softball Fields, Tennis Courts Passive Recreational Facilities: None Other Amenities: Benches, Grills, Memorial, Pavilions, Picnic Tables, Concessions, Restrooms
Fred Poppe Regional Park ¹	208.5	Active Recreational Facilities: Baseball Field, Basketball Courts, Disc Golf Course, Dog Park, Gymnasium, Multi-purpose Fields, Playground, Softball Field, Soccer Field, Volleyball Courts, Cricket Field Passive Recreational Facilities: Trails Other Amenities: Grills, Pavilions, Picnic Areas, Restrooms, Showers, Meeting Rooms, Concessions, Locker Room
Grapefruit Trail	29.8	Active Recreational Facilities: Mountain Bike Trails and Obstacles. Passive Recreational Facilities: None Other Amenities: Parking Area, Restroom
Knecht Park	15.4	Active Recreational Facilities: Baseball Fields, Basketball Courts, Playgrounds, Softball Fields, T-Ball Field, Playground Passive Recreational Facilities: None Other Amenities: Benches, Grills, Pavilions, Picnic Tables, Restrooms, Wi-Fi, Concession
Liberty Park	38.8	Active Recreational Facilities: Basketball Courts, Playground, Roller Skating Rink, Softball Fields Passive Recreational Facilities: Trails Other Amenities: Benches, Grills, Pavilions, Picnic Tables, Restrooms, Wi-Fi, Concession, Meeting Room
Lynbrook Park	12.5	Active Recreational Facilities: Basketball Courts, Playground, Softball Fields Passive Recreational Facilities: Trails Other Amenities: Benches, Gazebo, Grills, Pavilions, Picnic Tables, Restrooms, Concession
Lynne Manion Nungesser Park	21.2	Active Recreational Facilities: Baseball Fields, T-Ball Field, Basketball Courts, Playground, Tennis Courts, Multi-Purpose Field Passive Recreational Facilities: Trails Other Amenities: Benches, Pavilions, Picnic Tables, Restrooms, Wi-Fi, Concession, Meeting Room
McGriff Park	18.8	Active Recreational Facilities: Playground, Skate Park Passive Recreational Facilities: Trails Other Amenities: Benches, Grills, Pavilions, Picnic Tables, Restrooms, Wi-Fi
Palm Bay Aquatic Center ²	16	Active Recreational Facilities: Diving Well, Lap Pool, Pool Slide, Swimming Pool, Water Play Features, Water Slide Passive Recreational Facilities: None Other Amenities: Locker Rooms, Picnic Tables, Restrooms, Snack Bar
Palm Bay Paintball Park	13.7	Active Recreational Facilities: Paintball Facility Passive Recreational Facilities: None Other Amenities: Concessions, Pavilions, Picnic Tables, Restrooms
Riviera Park	45.0	Active Recreational Facilities: Basketball Courts, Pickleball Court, Playground, Tennis Courts, Multi-Purpose Field Passive Recreational Facilities: None Other Amenities: Picnic Tables, Restrooms
Turkey Creek Sanctuary	131.6	Active Recreational Facilities: None Passive Recreational Facilities: Butterfly Garden, Boardwalk, Fitness Equipment, Kayak/Canoe Launch, Trails Other Amenities: Benches, Education Center, Gazebo, Memorial, Pavilions, Picnic Tables, Restrooms
Twin Lakes Park	10.0	Active Recreational Facilities: None Passive Recreational Facilities: None Other Amenities: Pavilion
Veterans Memorial Park	18.8	Active Recreational Facilities: Basketball Courts, Football Field, Playground, Tennis Courts, Multi-Purpose Field, Swimmable Lake Passive Recreational Facilities: None Other Amenities: Benches, Gazebo, Grills, Memorial, Pavilions, Picnic Tables, Restrooms, Wi-Fi, Concession, Meeting Rooms

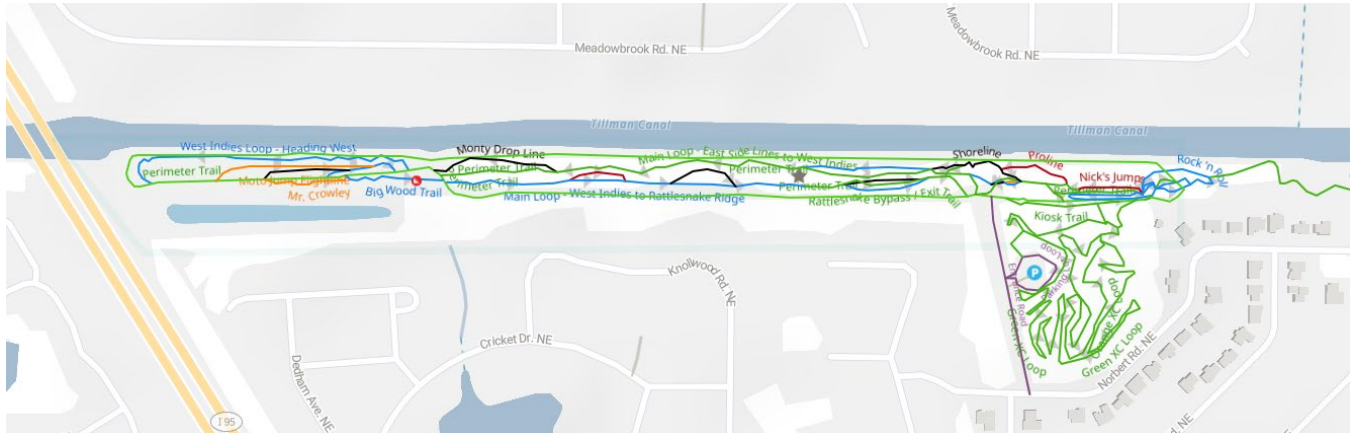
Name	Acreage	Facilities & Amenities
Total Acreage	622.3	
Recreation Facilities		
Community Centers		
Captain's House ³	N/A	Active Recreational Facilities: None Passive Recreational Facilities: Boat Ramp, Dock, Fishing Pier Other Amenities: Meeting Rooms, Picnic Areas, Restrooms
Ted Moorhead Lagoon House	N/A	Active Recreational Facilities: None Passive Recreational Facilities: Boardwalk Other Amenities: Benches, Education Center, Meeting Rooms, Restrooms, Wi-Fi
Ted Whitlock Community Center ⁴	N/A	Active Recreational Facilities: Billiards Room, Fitness Room, Gymnasium Passive Recreational Facilities: None Other Amenities: Banquet Room, Kitchen, Meeting Room, Restrooms, Wi-Fi
Tony Rosa Community Center	N/A	Active Recreational Facilities: Fitness Room, Gymnasium, Weight Room, Playground Passive Recreational Facilities: None Other Amenities: Saunas, Locker Rooms, Meeting Rooms, Restrooms, Showers, Wi-Fi, Picnic Tables
Senior Centers		
Greater Palm Bay Senior Center	N/A	Active Recreational Facilities: Bocce Ball Court Passive Recreational Facilities: None Other Amenities: Meeting Rooms, Restrooms
¹ Classified as an Urban District Park in the previous comprehensive plan. ² Owned by Eastern Florida State College but operated by the City of Palm Bay. Estimated acreage as it does not comprise an entire parcel. ³ This facility is located within Goode Park. ⁴ This facility is located within Fred Poppe Regional Park.		

Source: City of Palm Bay, 2022.

1.4 TRAILS

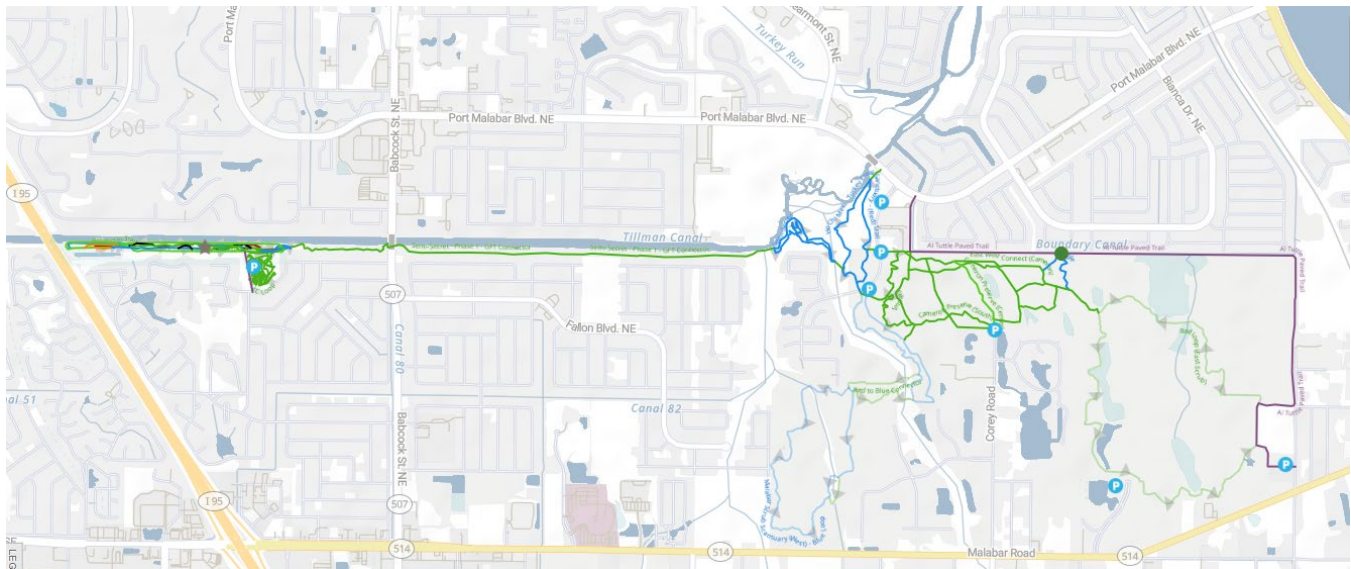
There are several recreational trails in the City. Some of the trails within City limits include The **Grapefruit Bike Trail (GFT)** is a system of mountain bike trails just south of the Tillman Canal (See **Figure ROSE-1**). The **Boundary Trail** (aka. the Al Tuttle Trail) extends south of Port Malabar Boulevard NE, turns east along the Palm Bay – Malabar city limits, and then south into the Town of Malabar for a total of 2.4 miles. It is a paved trail running along the rim of natural habitats for most of its length. The **Ais Trail** is a 0.6-mile loop trail intended for on-site recreation, and is popular for fishing, paddle sports, and road biking. The Boundary Trail offers connectivity to other areas within and outside the City. Two other trail loops not owned by the City (Ho Chi Minh and Semi-Secret, shown in blue) provide a connection between the GFT and the Boundary Trail (see **Figure ROSE-2**).

Figure ROSE-- 1. The Grapefruit Trail (GFT)



Source: Trailforks, 2023

Figure ROSE-- 2. Trail Connectivity



Source: Trailforks, 2023

1.5 OPEN SPACE

In addition to its parks and recreational facilities, the City of Palm Bay currently strives to provide for and maintain a natural open space system. The City requires the provision of common open space in conjunction with the approval of Planned Unit Developments (25 percent of gross acreage, 10 percent for Small PUDs). However, none of the other zoning districts or Future Land Use categories require a minimum amount of open space. Additionally, open space is defined in Section 185.006 of the Palm Bay Land Development Code (LDC) as any parcel or area of land or water unimproved and set aside, dedicated, designated, or reserved for public or private use or enjoyment. While water bodies serve a great purpose, they do not provide the same recreational value as land if they do not provide access to water recreational activities.

Calculating the current acreage of open space in the City is not possible as the property appraiser's office does not have a land use category that would encompass all common open space. The Florida Natural Areas Inventory (FNAI) estimated that in 2019 there were 1,668 acres of public and private lands which had been determined to have natural resource value and were managed at least partially for conservation purposes. These conservation lands are shown in **Map ROSE-2** and, even though they only represent a portion of the total open space acreage, they represent the best available data and have been used in the next section to assess the current surplus/deficiency of open space.

1.6 SCHOOL RECREATION FACILITIES

Traditional comprehensive planning in the State of Florida often recommended the colocation of parks and recreation facilities and public schools. In fact, the City has an interlocal agreement with the school board for this purpose. However, due to safety concerns throughout the country, the colocation practice was discontinued.

1.7 PRIVATE RECREATION FACILITIES

Many residential developments provide their own recreation sites for use by their residents (see **Figure ROSE-3**). These sites typically include community centers with swimming pools, playgrounds, and other amenities appropriate to the age of the residents. While they help meet the recreational needs of City residents, those acreages are not included in the LOS calculations as they are not open to the general public. However, as part of the parks master plan, the City will consider creating an inventory of these facilities and their service areas to avoid duplication of parks and recreation facilities.



Figure ROSE -



2.0 ANALYSIS

Level of service (LOS) standards are the measure used in comprehensive plans for determining the park acreage necessary to accommodate the needs of a community. The LOS criteria may define, in addition to the acreage, facility type and/or service area requirements based on population levels. While the City had been using levels of service for three categories of parks (neighborhood, community, and urban district), this plan update uses LOS for only two park categories: neighborhood and community.

2.1 CURRENT LEVEL OF SERVICE

Based on a 2022 population estimate of 127,256 and current park acreages, the LOS for neighborhood parks is now at 4.98 acres per 1,000 population (counting most community parks also as neighborhood parks), and the LOS for community parks is at 4.96. This represents an increase over previously adopted levels of service (2 acres per 1,000 for each type of park, and 1 acre per 1,000 for Urban District Parks) and should be maintained.

Similarly, dividing the acreage of open space as reported by FNAI, the City currently enjoys a level of service of 13 acres of open space per 1,000 population. This is a substantial increase in level of service compared to the previous 1 acre per 1,000 population LOS adopted in the previous Comprehensive Plan. Rather than continuing to use an acreage LOS for open space, the City will be implementing requirements for residential developments (not just Planned Unit Developments) to provide a **minimum of 20 percent** of the gross acreage of the site for common open space. The LDC may still require higher percentages based on the location and character of the area or the developments (urban versus suburban areas, single family vs. multifamily).

While the previously adopted levels of service have been exceeded, this does not necessarily mean that the current parks serve their purpose at their current location, or that the collection of parks include the preferred equipment, fields, or courts most desired by the community. Park location and service area were reviewed to determine if parks are located where needed. As shown on **Map ROSE-3**, there are some parts of the City where there is an overlap of park service areas, and other parts that are not covered by a park within a walkable distance (3/4 of a mile). The map shows that most parks are concentrated in the northeast quadrant of the City, with less coverage to the west and virtually none to the south, which coincides with the type of uses in those areas (vacant and agriculture). Considering the nature and future land use designations of the areas not currently served by parks (west and south – see **Map ROSE-4**), it is likely that future development in those areas will be providing private recreational facilities to serve their residents.

There is also a lack of diverse uses within the parks. For example, there is only one dog park in the City, only two playground are all-inclusive, and only one park has designated soccer fields. The focus of the Comprehensive Plan is to ensure all residents of the City are served by a neighborhood park within walking distance and adequate acreage is provided for community parks. The type of amenities, equipment, and facilities to be included in each park needs to be determined through a parks master plan process, which should include extensive public participation in the form of workshops, surveys, interviews, and best practices research.

2.2 PROJECTED NEED

Table ROSE-2 shows the current surplus of parks and open space based on a level of service of 4 acres per 1,000 for both neighborhood and community parks, consistent with the current LOS noted above. The table also shows the projected need for both neighborhood and community park acreage as the City population grows. Based on the adopted LOS, the City does not expect to see a deficit of park acreage until the year 2040.

If the new I-95 interchange is constructed, development pressures in that area may necessitate earlier improvements. With the development of a parks master plan, the City will have an opportunity to refine the LOS during the next update based on a more thorough review of park facilities and recreational opportunities and the community preferences for various types of amenities.

Table ROSE - 2: Parks & Open Space Surplus/Deficiency (2022-2045)

Year	Population	NEIGHBORHOOD PARKS			COMMUNITY PARKS		
		Demand (4 ac/1,000 pop)	Acreage	Surplus/ (Deficit)	Demand (4 ac/1,000 pop)	Acreage	Surplus/ (Deficit)
2022	127,256	509	629 *	120	509	622	113
2025	137,879	552		77	552		71
2030	146,795	587		42	587		35
2035	154,289	617		12	617		5
2040	160,931	644		(15)	644		(21)
2045	166,848	667		(39)	667		(45)

* Includes most community park acreage, other than the aquatic center and the paintball field.

Policies have been adopted to amend the LDC to include minimum open space requirements for all zoning districts that allow residential or mixed-use developments and to limit the inclusion of water bodies in the calculation of open space to a percentage of the open space or to require that access to the water body be provided in the form of docks or fishing piers.

2.3 CONSIDERATIONS FOR ADVANCING EQUITY

Equality involves providing the same resources and opportunities to all groups of people. Equity, however, recognizes imbalanced social systems, and provides resources and opportunities based on the unique circumstances and challenges faced by different people. Rather than focusing on equal treatment, equity focuses on achieving equal outcomes. Between 2021 and 2022, the Palm Bay community worked collaboratively to create the Palm Bay Vision Plan to help guide the direction of the forthcoming comprehensive plan update process. One of the major themes included in the Vision Plan was *Advancing Equity*. The City of Palm Bay can help advance equity within its recreation and open space system by addressing the following issues within the community.

2.3.1 Location of Neighborhood Parks

As discussed in prior sections, neighborhood parks are of critical importance to the success of the residents they serve. When a neighborhood lacks basic park facilities within walking distance from the homes, the residents have to make a greater effort to get to a park or simply do not go because they do not have reliable transportation to access the park facilities. This lack of park access can create equity disparities within the community capable of causing long-term negative impacts and loss of potential. While the comprehensive plan will continue to use a park acreage-based LOS, the city is adopting policies to consider the ¾ mile service area radius from parks for the provision of future parks. A policy has also been added to create an inventory of public sites to determine if any of them could be used for a neighborhood park.

2.3.2 Accessibility

The City is adopting policies to prepare a parks master plan in the immediate future to assess the accessibility of its public parks. Through public involvement activities, surveys, and a more thorough assessment of the city population, it will be more evident if the City needs to replace some of the equipment/amenities to facilitate safe access for all individuals.

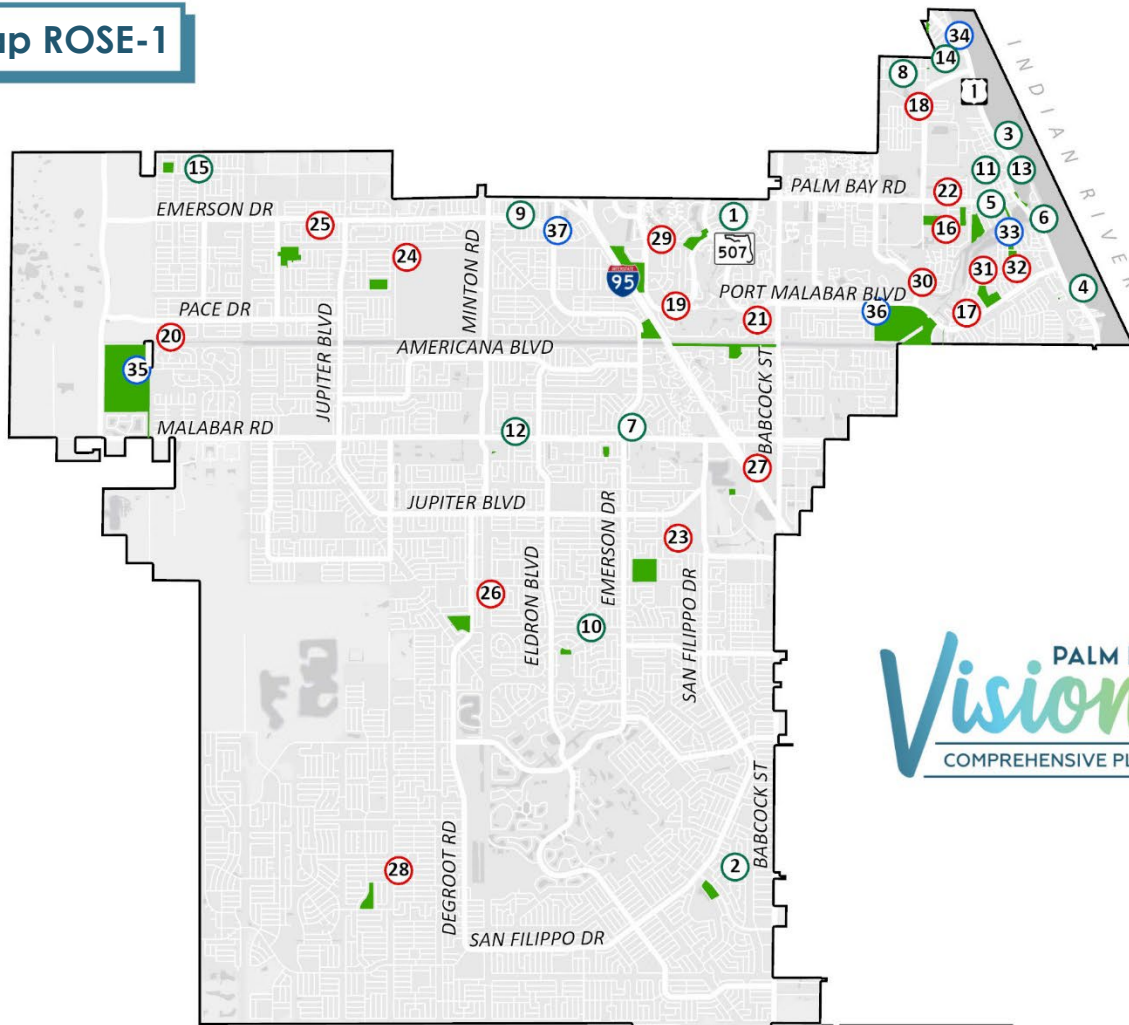
2.3.3 *Private Parks*

During the development of the parks master plan, the City will evaluate the location of private recreational facilities in existing and future communities. While these facilities are usually owned and operated by homeowner associations and have restricted access, they do serve community members within close proximity and help reduce public expenditures.

2.3.4 *Capital Projects*

The City currently enjoys an ample inventory of parks and recreation facilities. No major capital improvement needs have been identified. However, the current 5-year Capital Improvements Plan contains \$16.7 million for additional and replacement park equipment and will likely see an additional increase of \$998,000 in FY 24 for playground replacement at 7 locations.

Map ROSE-1



VISION
PALM BAY
COMPREHENSIVE PLAN

NEIGHBORHOOD PARKS		COMMUNITY PARKS		RECREATION FACILITIES	
1	Arc Park	16	Ais Trail Park	33	Captain's House
2	Bill Madden Park	17	Boundary Canal Trail	34	Ted Moorhead Lagoon House
3	Castaways Point Park	18	Driskell Memorial Park	35	Ted Whitlock Community Center
4	Dade Circle Park	19	Fred Lee Park	36	Tony Rosa Community Center
5	Dewar Park	20	Fred Poppe Regional Park	37	Greater Palm Bay Senior Center
6	Goode Park	21	Grapefruit Trail		
7	Inspiration Park	22	Knecht Park		
8	Liberia Park	23	Liberty Park		
9	Oak View Park	24	Lynbrook Park		
10	Patrick Woodward Memorial Park	25	Lynne Manion Nungesser Park		
11	Pollak Park	26	McGriff Park		
12	Sacrifice Park	27	Palm Bay Aquatic Center		
13	Stearns Point Park	28	Palm Bay Paintball Park		
14	Victoria Park	29	Riviera Park		
15	West Pines Estates Park	30	Turkey Creek Sanctuary		
		31	Twin Lakes Park		
		32	Veterans Memorial Park		

LEGEND

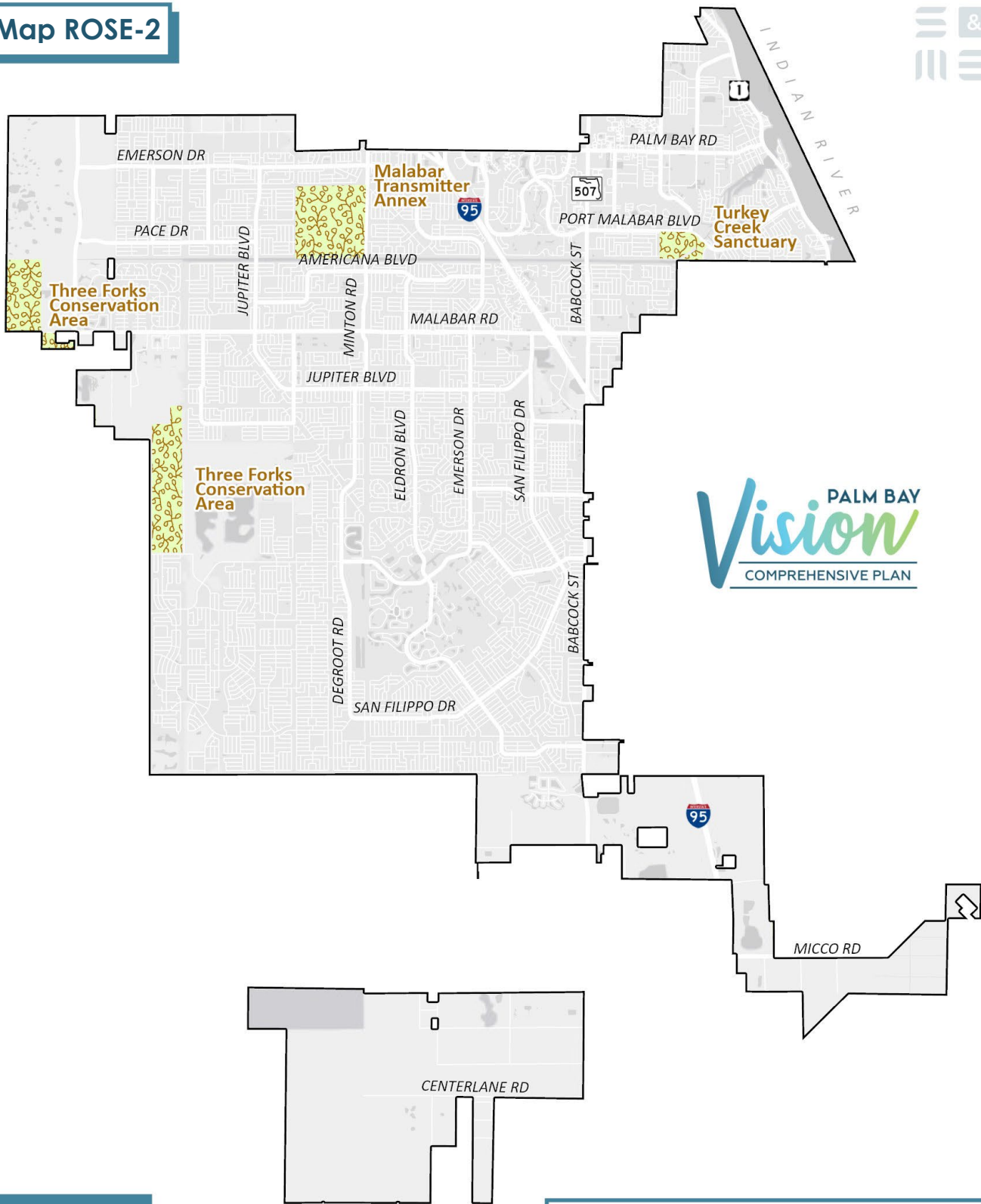
- City of Palm Bay
- Water Feature
- Neighborhood Park
- Community Park
- Recreation Facility

Source: City of Palm Bay, FGDL, 2022.

PARKS & RECREATION FACILITIES



Map ROSE-2



LEGEND

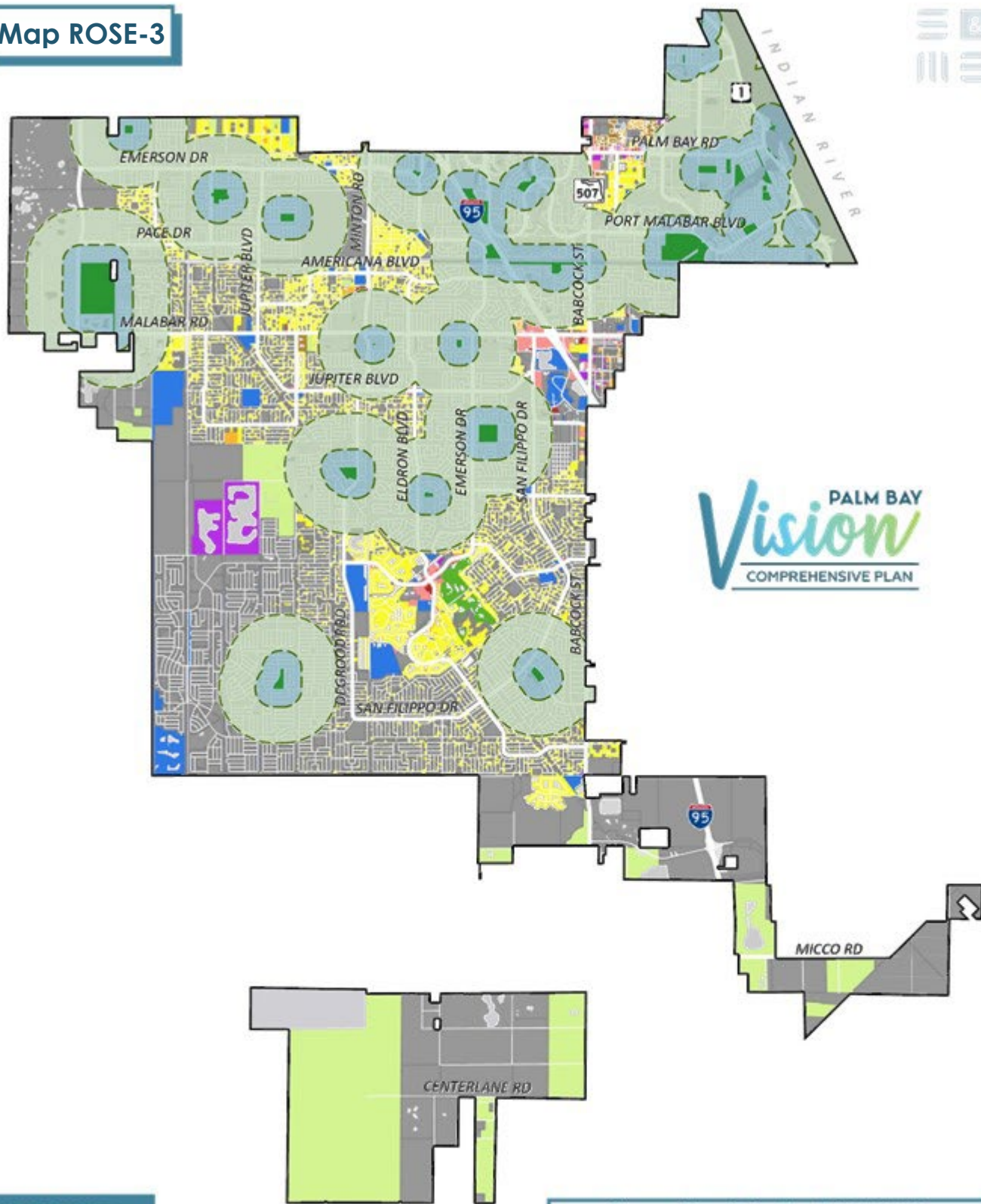
-  City of Palm Bay
-  Water Feature
-  Conservation Lands

Sources: City of Palm Bay, 2022; FNAI 2019.

CONSERVATION LANDS



Map ROSE-3



PALM BAY
Vision
COMPREHENSIVE PLAN

LEGEND

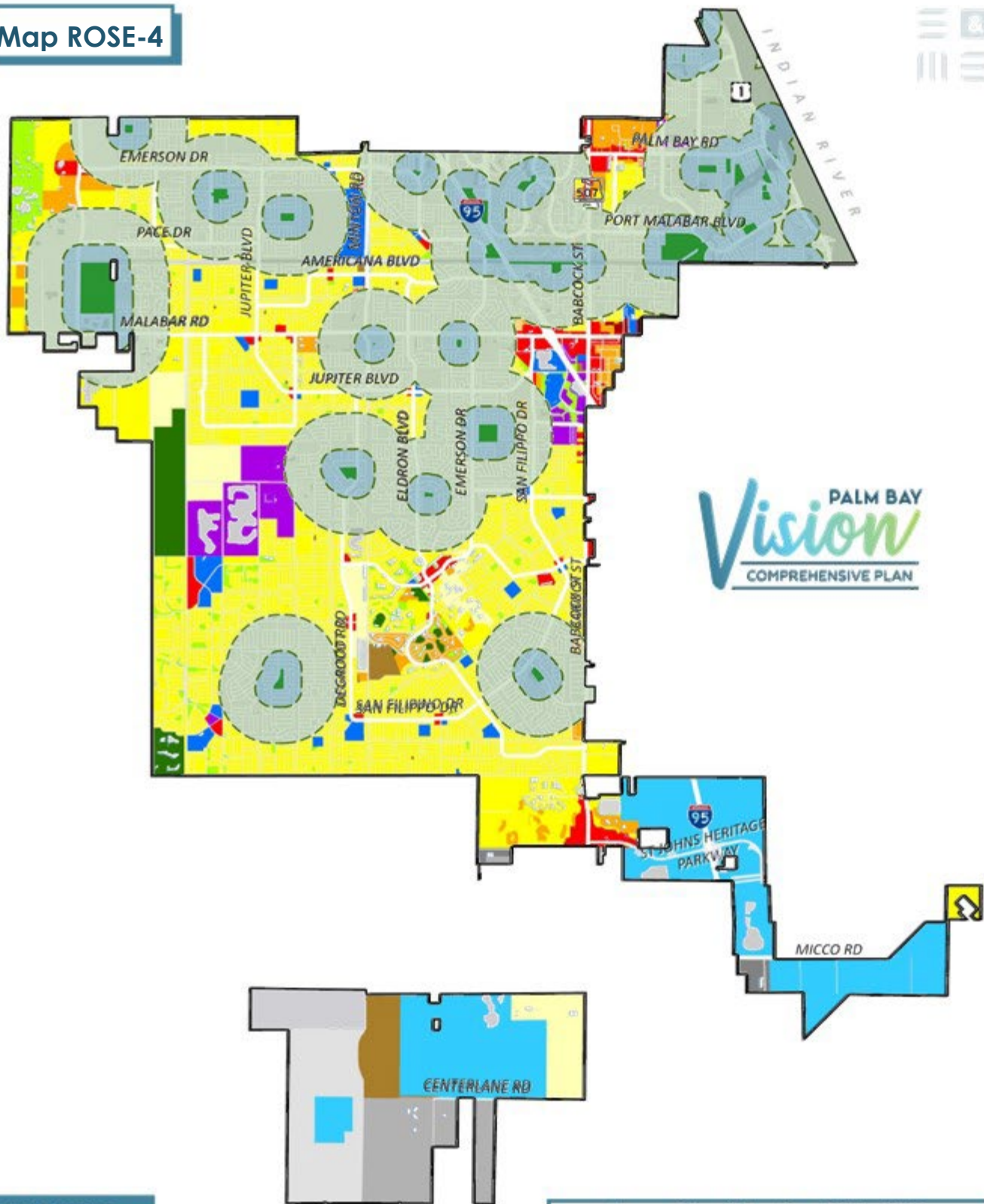
- City of Palm Bay
- Water Feature
- Park Facilities
- 1/4-Mile Park Service Area
- 3/4-Mile Park Service Area

Source: City of Palm Bay, FGDL, 2022.

PARK SERVICE AREA



Map ROSE-4



PALM BAY
Vision
COMPREHENSIVE PLAN

LEGEND

- City of Palm Bay
- Water Feature
- Park Facilities
- 1/4-Mile Park Service Area
- 3/4-Mile Park Service Area

Source: City of Palm Bay, FGDL, 2022.

PARK SERVICE AREA



GOAL CME-1

Protect Palm Bay’s coastal communities and resources.

Objective CME-1.1

Develop a Coastal Resiliency Plan for the City of Palm Bay.

Policy CME-1.1A. Seek to apply and obtain grant funding from the State of Florida and other sources to develop a Coastal Resiliency Plan for the City of Palm Bay.

Policy CME-1.1B. As part of the City’s resiliency planning effort, perform an exhaustive inventory

and vulnerability assessment of Palm Bay’s coastal population and natural and built environments.

Policy CME-1.1C. Update the provisions of Palm Bay’s Comprehensive Plan and LDC to incorporate the findings and recommendations of the Coastal Resiliency Plan.

Objective CME-1.2

Improve public access to the coastal zone.

Policy CME-1.2A. Utilize a combination of zoning controls, easements, donations, acquisitions, and development incentives to assure perpetual public access and vistas along the Indian River and Turkey Creek.

Policy CME-1.2B. Continue to seek grant funding at the federal, state, and county level to assist the City in acquiring lands which would provide greater public access and vistas to the Indian River and Turkey Creek.

Policy CME-1.2C. Prepare a waterfront master plan with the intent to cultivate a community-driven vision for the development of the City’s

coastal area and ensure the public’s perpetual access to the Indian River and Turkey Creek.

Policy CME-1.2D. Retain, in public ownership, all easements, rights-of-way, and other public access points to the shoreline.

Policy CME-1.2E. Amend the LDC to encourage the development of water-related and water-dependent uses which are designed in a manner to provide public access and vistas to shorelines without negatively impacting the natural environment.

Policy CME-1.2F. Incorporate provisions into the LDC which encourage the colocation of water-related and water-dependent uses.

Objective CME-1.3

Protect the Coastal Management Area's built environment.

Policy CME-1.3A. Continue to identify and implement regulations which would minimize the damage caused to coastal structures by hurricanes and other similar hazards.

Policy CME-1.3B. Amend the LDC to encourage natural means of shoreline stabilization rather than hardening when shoreline alteration is needed.

Policy CME-1.3C. The City shall mitigate Peril of Flood damage as follows:

- (a) Reduce the flood risk in coastal areas that result from high tide events, storm surge, flash floods, stormwater runoff, and the related impacts of sea level rise.
- (b) Encourage property owners to remove coastal real property from FEMA flood zone designations.
- (c) Be consistent with or more stringent than the flood resistant construction requirements in the Florida Building Code and federal flood plain management regulations.
- (d) Require construction seaward of the coastal construction control line to be consistent with chapter 161, F.S., should the City annex lands on the barrier island.
- (e) Continue to participate in the National Flood Insurance Program Community Rating System (CRS) and maintain a CRS rating of 7 which affords City residents

with flood insurance premium discounts of 15 percent.

Policy CME-1.3D. Preserve historical and archeological resources in the Coastal Management Area consistent with the cultural preservation provisions of the Future Land Use Element.

Policy CME-1.3E. Limit public expenditures for infrastructure within the Palm Bay Coastal Management Area.

Policy CME-1.3F. Prepare and adopt a Post-Disaster Redevelopment Plan.

Policy CME-1.3G. Develop procedures concerning post-disaster actions which distinguish between immediate repair and clean-up activities needed to protect the public health and safety, versus long-term repair and redevelopment activities.

Policy CME-1.3H. Post-disaster redevelopment activities shall be required to meet the current development provisions of the LDC.

Policy CME-1.3I. The City shall utilize the following criteria for post-disaster redevelopment of public structures/facilities:

- (a) An analysis of the cost effectiveness of relocation versus repair;
- (b) Consideration of vertical relocation of the structure out of high hazard zones; and
- (c) Consideration of the need for physical protective structures such as seawalls.

Objective CME-1.4

Protect natural resources within the Coastal Management Area.

Policy CME-1.4A. Continue to enforce the water quality provisions of the Conservation Element and LDC to prevent the degradation of water quality within the Coastal Management Area.

Policy CME-1.4B. Prohibit the installation of new septic tanks within the Coastal Management Area.

Policy CME-1.4C. Maintain regulations which require vegetated buffer zones on development projects along the Indian River and Turkey Creek in order to preserve water quality through runoff and sedimentation control.

Policy CME-1.4D. Ensure the protection of wildlife habitats and species within the Coastal Management Area by continuing to enforce the wildlife protection provisions of the Conservation Element and the LDC.

Policy CME-1.4E. Continue to protect beaches within the City by enforcing the erosion control provisions of the Conservation Element.

Policy CME-1.4F. Adopt criteria in the LDC for marina siting and performance standards for shoreline development consistent with the Countywide Marina Siting Plan.

Policy CME-1.4G. Marinas which service boats with onboard sewage facilities shall be required to provide sewage pump out and treatment facilities and to provide appropriate effluent disposal.

Policy CME-1.4H. Amend the LDC to encourage marina owners to develop dry storage facilities as an alternative to wet storage.

<p>Objective CME-1.5</p>	<p>Work with State, Regional, and County partners to ensure a timely and safe evacuation and sheltering process in the event of a major storm event.</p>
---------------------------------	--

Policy CME-1.5A. Continue to work with Brevard County and nearby jurisdictions to improve area evacuation times and the service capabilities of emergency shelters.

Policy CME-1.5B. The City will notify the County when new Future Land Use Map amendments are adopted by the City Council which increase the maximum density (and thus evacuation times) permitted within the Coastal Management Area.

Policy CME-1.5C. Explore amending the LDC to offer density bonuses and other incentives for

developers who provide onsite shelters within housing projects.

Policy CME-1.5D. As part of the Coastal Resiliency Plan, identify the needs of vulnerable populations during hurricane evacuations.

Policy CME-1.5E. Continue to coordinate with the County to ensure that designated public shelters have self-supporting or emergency power sources available.

GOAL ROS-1

An adequate recreation and open space system which offers a full range of active and passive recreation, including natural and historical resource protection

Objective ROS-1.1

The City shall maintain a park system that is adequate to serve the recreational needs of the current and future population.

Policy ROS-1.1A. The City shall maintain the neighborhood and community park levels of service stated in Policy CIE-## for the provision of adequate recreation facilities.

Policy ROS-1.1B. Level of service standards shall be applied citywide, not on a parcel-by-parcel basis.

Policy ROS-1.1C. The City will consider a neighborhood park service areas of 3/4 miles to prioritize the development of new public recreation facilities in population centers not currently served by neighborhood or community parks.

Policy ROS-1.1D. The City shall prepare a Parks and Recreation Master Plan and update it every five to seven years.

Policy ROS-1.1E. The Parks Master Plan effort shall include robust public engagement activities including but not limited to surveys, and will include a thorough assessment of the city population to facilitate safe access for all individuals.

Policy ROS-1.1F. The City will continue to utilize an impact fee system to provide funding for new parks and park facilities/equipment.

Policy ROS-1.1G. Each year, the City will examine all federal, state, and local funding programs for assistance in developing and/or acquiring recreational lands.

Policy ROS-1.1H. The City will create an inventory of public sites and determine if any of them could be used for a neighborhood parks.

Policy ROS-1.1I. The City shall consider developing existing undeveloped recreation sites consistent with the area's recreational needs, and the City's ability to operate and maintain these sites.

Policy ROS-1.1J. The city shall utilize the following criteria for its Park Development Program:

- (a) facility construction over land acquisition;
- (b) shoreline over interior sites;
- (c) multi-purpose over single purpose projects;
- (d) larger sites over smaller sites;
- (e) access over enhancement; and
- (f) projects which serve low income over high income areas, and those which serve high density over low density areas.

Policy ROS-1.1K. Land Development Regulations shall continue to be implemented which provide for the development of water-oriented recreational facilities which are environmentally sensitive, and which provide public access/use.

Policy ROS-1.1L. The Parks and Recreation Master Plan shall assess existing park deficiencies that extend beyond park acreage and identify

programs and funding sources for eliminating these deficiencies.

Objective ROS-1.2

Coordinate with developers the provision of parks and open space within residential developments.

Policy ROS-1.2A. The City shall include in the Land Development Code a minimum open space requirement for all development. The minimum shall vary by zoning district but shall be no less than 20% per site.

Policy ROS-1.2B. Continue to enforce zoning and subdivision regulations to ensure that adequate open space requirements are maintained.

Policy ROS-1.2C. Continue to enforce Land Development Regulations which require cluster type developments which provide recreation or open space.

Policy ROS-1.2D. Open space standards shall include conservation lands but shall not include land designated for neighborhood or community parks or stormwater retention areas. Lakes may be counted as open space if access to water recreation is provided (e.g., boating, swimming, fishing).

Policy ROS-1.2E. The City shall review all proposed residential developments to ensure adherence to the recreational level of service standards.

Objective ROS-1.3

Provide for the use of private resources and citizen involvement in the development of recreational sites.

Policy ROS-1.3A. The Parks and Recreation Department shall continue to provide staff support to the "Adopt a Park" program by meeting with and encouraging neighborhood groups and service clubs to provide needed neighborhood and tot lot park equipment.

Policy ROS-1.3B. The City shall utilize the Recreation Advisory Board for achieving citizen involvement in the identification of potential sites

and facilities necessary to satisfy recreational needs.

Policy ROS-1.3C. Continue efforts to obtain non-development/scenic easements along the Indian River Lagoon through donations of properties and/or purchase using state and local grants.

Policy ROS-1.3D. The Land Development Regulations shall continue to require open space and/or recreational amenities in development projects, where appropriate.

Objective ROS-1.4

Annually notify appropriate governmental, quasi-public, and private agencies of the City's plans and needs in order to ensure the coordination of efforts and resources to meet recreation demands in the City.

Policy ROS-1.4A. The City will utilize intergovernmental coordination to alert the following agencies to the City's recreational needs:

Melbourne-Tillman Water Control District: public fishing access to canals.

Brevard Community College: use of lakes on the college site for public fishing/swimming and use of planned recreational facilities by the public.

U.S. Air Force: potential use of a portion of the Malabar tracking station land for an urban district park, passive recreation use, and/or a public golf course.

Brevard County Commission: park assistance/development.

School Board: use of recreation facilities by the public.

Brevard Soil and Water Conservation District: recreation opportunities and fish stocking.

Policy ROS-1.4B. Continue to coordinate the use and development of the community center site with the abutting property of the Audubon Society and Brevard County through the Recreation Advisory Board. **[STAFF: IS THIS STILL RELEVANT?]**

(Ord. 2015-56, passed 02-04-16)



06



CONSERVATION

Table of Contents

- 1.0 INTRODUCTION 1**
- 2.0 NATURAL RESOURCE INVENTORY & ANALYSIS..... 1**
 - 2.1 Major Waterbodies, Wetlands, & Floodplains1
 - 2.1.1 Major Waterbodies1
 - 2.1.2 Wetlands.....2
 - 2.1.3 Floodplains2
 - 2.2 Vegetation & Wildlife3
 - 2.2.1 Land Use/Land Cover (Vegetative Inventory)3
 - 2.2.2 Wildlife4
 - 2.2.3 Regulation & Management.....6
 - 2.3 Other Environmental Considerations.....6
 - 2.3.1 Soils6
 - 2.3.2 Mining Facilities7
 - 2.3.3 Air Quality.....7
 - 2.3.4 Hazardous Waste7
 - 2.3.5 Water Quality8
 - 2.3.6 Water Usage8
- 3.0 CONSIDERATIONS FOR ADVANCING EQUITY 8**

1.0 INTRODUCTION

The purpose of the *Conservation Element* is to ensure the continued identification and protection of significant natural resources within Palm Bay. The data and analysis portion of this Element seeks to provide a factual basis for future conservation decisions and policy changes made as part of the Comprehensive Plan Update process. Significant natural resources inventoried and analyzed for this Element include surface waters, wetlands, floodplains, vegetation, and wildlife. Additionally, other topics related to the natural environment explored in this analysis include soils, mining facilities, air quality, hazardous waste, and water quality and usage. This discussion then concludes with a recommendation for advancing equity in the City's conservation planning process.

2.0 NATURAL RESOURCE INVENTORY & ANALYSIS

The following inventory and analysis cover three topic areas. *Section 1.1* examines the major waterbodies, wetlands, and floodplains found in Palm Bay; *Section 1.2* explores the City's wealth of significant vegetation and wildlife; and *Section 1.3* describes other environmental considerations.

2.1 MAJOR WATERBODIES, WETLANDS, & FLOODPLAINS

2.1.1 Major Waterbodies

Perhaps the most prominent waterbody associated with the City of Palm Bay is the *Indian River Lagoon*, a 156-mile-long estuary where salt water from the Atlantic Ocean mixes with freshwater from the land and tributaries. The Lagoon serves a critical role in the local ecosystem by hosting and supporting a diverse array of fisheries, wildlife, and vegetation. According to the St. Johns River Water Management District (SJRWMD), the width of the lagoon varies from one-half mile to five miles, with an average depth of four feet; the portion of the Lagoon which runs along the northeastern border of the City is approximately four miles in length.

Another major waterbody which borders the City of Palm Bay is the *St. Johns River*. Much like the Indian River Lagoon, the St. Johns River is home to an abundance of native Florida fisheries, wildlife, and vegetative species which reside within similarly marshy habitats. Although the river itself does not flow through Palm Bay, the upper basin of the river includes the southwestern portion of the City.

The last remaining major waterbody associated the City is *Turkey Creek*. Unlike the Indian River Lagoon and the St. Johns River, this waterbody runs through the City of Palm Bay instead lining its borders. In 1981, Brevard County, through its Environmentally Endangered Lands (EEL) program, created a sanctuary around the Creek to protect the rich and diverse ecosystems which continue to inhabit the creek today.

2.1.1.1 Regulations & Monitoring

Guidelines and water levels for waterbodies in Palm Bay are determined and regulated by SJRWMD. Water levels are managed by establishing flow and level minimums for priority water bodies under the District's jurisdiction as a means of protecting the region's water resources. The Minimum Flows and Levels (MFL) program allows the District to be aware when flow and water level conditions may adversely impact water resources and connected environmental assets. This monitoring program assists in water management decision-making, particularly in managing water withdrawals from the District's waterbodies.

2.1.2 Wetlands

According to the Environmental Protection Agency (EPA), wetlands occur when water is found near or covering the surface of the soil for significant portions of the year. These critical environmental features serve many purposes, including acting as natural water retention systems, regulating the flow of water, and removing excess nutrients and particulates from stormwater. Wetlands are also integral in supporting much of Florida's rich inventory of native vegetation and wildlife.

Wetlands can be classified into two generalized categories, *coastal* (tidal) and *inland* (non-tidal). Coastal wetlands, which often line oceanic bodies of water, tend to remain muddy or sandy with little vegetation. Alternatively, inland wetlands, which are often found along river floodplains and lake perimeters, tend to be marshy and highly vegetated. In fact, inland wetlands are often some of the most productive ecosystems on earth. As a result, wetland features throughout Florida are often heavily regulated and generally protected from development and other human activities.

According to the latest wetland GIS data provided by the National Wetlands Inventory (NWI), the City of Palm Bay possesses approximately *4,809 acres of wetlands* (excluding lakes, ponds, rivers, and lagoons) and are primarily found along the banks of the Indian River, lining the City's western boundary, and north of Centerlane Road. Wetlands features within the City are shown within **Map FLU-4** of this Plan.

2.1.2.1 Regulations & Permitting

Wetlands within the City are primarily regulated by SJRWMD through the Environmental Resource (ERP) and Consumptive Use Permitting (CUP) processes. ERPs help protect wetlands, water quality, and surface waters from new development or construction activities; CUPs ensure that the extraction of water does not result in the deterioration of local water sources and water-dependent ecosystems. Development activities which may impact wetland features within the City are also regulated by the Melbourne-Tillman Water Control District (a Special District for flooding, erosion, and excessive drainage prevention) and by certain provisions within the City's Land Development Code (LDC).

2.1.3 Floodplains

Floodplains are important ecological features that contribute to a region's water flow and storage, vegetative health, groundwater refreshment, and water quality protection. Whereas wetlands remain wet throughout the year, floodplain areas are next to bodies of water that experience flooding at different points in time and are therefore wet during varying periods. As shown in **Map FLU-5**, *floodplains comprise approximately 16,741 acres within the City* and are located primarily in the western- and southern-most portions of Palm Bay.

When comparing the locations of wetlands and floodplains within the community using Maps **FLU-4** and **FLU-5**, it is clear that significant portions of these critical environmental features often overlap. This is because both wetlands and floodplains are typically found within the lowest-lying areas of a community.

2.1.3.1 Regulations & Management

Managing impacts to the floodplains in a community is a critical and proactive measure to protect people and property from flood events. Palm Bay has adopted a comprehensive floodplain management ordinance, which is found in Chapter 174 of the City's Code of Ordinances. The primary intent of this Ordinance is to establish minimum requirements to safeguard the public health, safety, and general welfare and to minimize public and private losses due to flooding through regulation of development in flood hazard areas. To achieve this goal, the

Ordinance establishes clear administrative guidelines for implementation (§174.001-.008) and comprehensive flood resistant development regulations (§174.030-.039).

Another way in which Palm Bay protects the function of its floodplains is ensuring that the City qualifies for the Federal Emergency Management Association (FEMA)'s National Flood Insurance Program (NFIP), which Palm Bay officially joined in October 1993. To mitigate flooding risks and damage, the National Flood Insurance Program (NFIP) aids communities in adopting and enforcing local flood management regulations and offering property owners, particularly those within at-risk areas, the ability to purchase flood insurance. Based on the quality of a city's floodplain management program, communities may receive a rating in the NFIP's Community Rating System (CRS). The City is currently rated as a Class 7 Community, which unlocks flood insurance premium discounts for eligible residents.

2.2 VEGETATION & WILDLIFE

The City of Palm Bay recognizes the importance of protecting its rich and diverse population of local vegetation and wildlife. Vegetation provides materials for shelter, replenishes the air we breathe, regulate our ecosystems, and provides food for consumption by humans and animals. On the other hand, animals (both domestic and wild) serve a purpose in our communities as well—domesticated animals, such as livestock, provide us with food and fiber, while wildlife helps support and regulate healthy ecosystems. Considering the importance of these natural resources to the health and wellbeing of the community, the City of Palm Bay continues to work with private and public organizations to preserve significant vegetative and wildlife communities through conservation measures.

2.2.1 Land Use/Land Cover (Vegetative Inventory)

The City's vegetative inventory is both diverse and environmentally significant. One of the leading agencies responsible for its continued identification and protection is the SJRWMD, which maintains a geographic database of all the vegetative communities within its jurisdiction with its *Land Use/Land Cover* GIS shapefile. According to the District's shapefile, Palm Bay's ten largest land uses include five naturally occurring vegetative communities. Many of these communities are home to plant species unique to Central Florida and are critical to supporting the larger ecosystem. **Table CON-1** presents the *ten largest* SJRWMD's Land Use/Land Cover categories found within Palm Bay, while **Map CON-1** showcases *all* the categories assigned within the city limits.

Table CON-1: Predominant Land Use/Land Cover Categories

Land Use/Land Cover	Acreage
Residential Medium Density	18,474.7
Shrub and Brushland	4,383.2
Residential Low Density	4,336.7
Improved Pastures	3,914.1
Mixed Rangeland	2,779.4
Row Crops	2,483.5
Pine Flatwoods	2,324.4
Freshwater Marshes	1,507.7
Herbaceous	1,477.5
Citrus Groves	1,370.3

Source: SJRWMD, 2014.

Each of the natural vegetative communities listed above are described as follows by the District.

Shrub & Brushland

This category includes saw palmettos, gallberry, wax myrtle, coastal scrub and other shrubs and brush. Generally, saw palmetto is the most prevalent plant cover intermixed with a wide variety of other woody scrub plant species as well as various types of short herbs and grasses. Coastal scrub vegetation would include pioneer herbs and shrubs composed of such typical plants as sea purslane, sea grapes and sea oats without any one of these types being dominant.

Mixed Rangeland

A type of vegetative community which possesses an intermixture of grassland and/or shrub-brushland range species.

Pine Flatwoods

A category which includes forests that are quite common throughout much of Northern and Central Florida. Originally, longleaf pines were common on drier sites while slash pines, which are less fire-resistant, were confined to moister sites; wildfire being the contributing factor in this distribution. However, fire control and artificial reforestation have extended the range of slash pine into former longleaf sites. The pine flatwoods class is dominated by either slash pine, longleaf pine or both and less frequently pond pine. The common flatwoods understory species include saw palmetto, wax myrtle, gallberry and a wide variety of herbs and brush.

Freshwater Marshes

The communities included in this category are characterized by having one or more of the following species predominate: sawgrass, cattail, arrowhead, maiden cane, buttonbush, cordgrass, giant gutgrass, switchgrass, bulrush, needle rush, common reed, arrow root.

Herbaceous

This category includes upland prairie grasses which occur on non-hydric soils but may be occasionally inundated by water. These grasslands are generally treeless with a variety of vegetation types dominated by grasses, sedges, rushes and other herbs including wire grasses with some saw palmetto present.

2.2.2 Wildlife

Palm Bay is home to a wide array of wildlife communities—many of which are currently considered to be threatened or endangered species. The primary agency responsible for the continued identification and protection of these vulnerable species within the State is the Florida Fish and Wildlife Conservation Commission (FWC). The Commission classifies Florida's threatened or endangered wildlife into five (5) categories of special status, which are listed as follows:

- (1) *Federally-designated Endangered (FE)* - Species in danger of extinction if the deleterious factors affecting their population continue to operate
- (2) *Federally-designated Threatened (FT)* – Species that are likely to become endangered in the nation within the foreseeable future if current trends continue
- (3) *State-designated Threatened (ST)* – Species that are likely to become endangered in the state within the foreseeable future if current trends continue
- (4) *State-designated Endangered (SE)* – Species in danger of extinction if the deleterious factors affecting their population continue to operate
- (5) *Species of Special Concern (SSC)* - Species that do not fit into the previous categories yet warrant special attention

Table CON-2 lists the threatened or endangered species which are potentially, likely, or confirmed (documented) to be located within the City of Palm Bay, along with a description of their habitats and current FWC classification.

Table CON-2: Threatened or Endangered Species

Species	Habitat Description	FWC Class	Occurrence potential
<i>Birds</i>			
Florida Scrub-Jay (<i>Aphelocoma coerulescens</i>)	Inhabits fire-dominated, low-growing, oak scrub habitat found on well-drained sandy soils. May persist in areas with sparser oaks or scrub areas that are overgrown, but at much lower densities and with reduced survivorship.	FT	Likely
Florida Burrowing Owl (<i>Athene cunicularia floridana</i>)	High, sparsely vegetated, sandy ground. Natural habitats include dry prairie and sandhill. Makes extensive use of ruderal areas such as pastures, airports, ball fields, parks, school grounds, university campuses, road rights-of-way, and vacant spaces in residential areas.	SSC	Potential
Wood Stork (<i>Mycteria americana</i>)	Nests colonially in a variety of inundated forested wetlands, including cypress strands and domes, mixed hardwood swamps, sloughs, and mangroves. Increasingly nesting in artificial habitats (e.g., impoundments and dredged areas with native or exotic vegetation) in north and central Florida. Forages mainly in shallow water in freshwater marshes, swamps, lagoons, ponds, tidal creeks, flooded pastures and ditches, where they are attracted to falling water levels that concentrate food sources (mainly fish).	FT	Likely
Red-cockaded Woodpecker (<i>Dryobates borealis</i>)	Inhabits open, mature pine woodlands that have a diversity of grass, forb, and shrub species. Generally, occupies longleaf pine flatwoods in north and central Florida, mixed longleaf pine and slash pine in south-central Florida, and slash pine in south Florida outside the range of longleaf pine. Forage in several forested habitat types that include pines of various ages but prefer more mature pines.	FE	Potential
Snail Kite (<i>Rostrhamus sociabilis</i>)	Snail kites inhabit shallow freshwater marshes and shallow grassy shorelines of lakes.	FE	Potential
<i>Reptiles</i>			
Eastern Indigo Snake (<i>Drymarchon couperi</i>)	Broad range of habitats, from scrub and sandhill to wet prairies and mangrove swamps. In northern part of range, often winters in gopher tortoise burrows in sandy uplands but forages in more hydric habitats. Requires very large tracts to survive.	FT	Documented
Florida Manatee (<i>Trichechus manatus latirostris</i>)	Manatees inhabit rivers, bays, canals, estuaries and coastal areas moving freely between fresh, saline and brackish waters. Florida estuaries and freshwater lakes, springs and rivers provide extensive beds of seagrass and abundant freshwater aquatic vegetation that provide the manatee's primary food sources.	FT	Potential

Species	Habitat Description	FWC Class	Occurrence potential
Gopher Tortoise (<i>Gopherus polyphemus</i>)	Typically found in dry upland habitats, including sandhills, scrub, xeric oak hammock, and dry pine flatwoods; also commonly uses disturbed habitats such as pastures, oldfields, and road shoulders. Tortoises excavate deep burrows for refuge from predators, weather, and fire; more than 300 other species of animals have been recorded sharing these burrows.	ST	Documented
Hawksbill Sea Turtle (<i>Eretmochelys imbricata</i>)	Marine coastal and oceanic waters, commonly associated with coral reefs, keys, and mangroves. Nests on coastal sand beaches, often in vegetation.	FE	Potential

Source: FWC, 2022.

As shown in **Table CON-2** above, the City of Palm Bay possesses a range of threatened and endangered wildlife which necessitates protection by the FWC and the United States Fish and Wildlife Service (USFWS). In fact, many of the species listed above, such as the Florida Manatee and Gopher Tortoise, have strict *Species Conservation Plans and Programs* which have been implemented to address their continued conservation, management, or recovery.

2.2.3 Regulation & Management

As indicated in the above inventory, a range of critical vegetative and wildlife communities can be found throughout the City. To ensure their continued protection, the City's permitting process requires developers to provide additional documentation prior to development when significant vegetation and wildlife communities may be present onsite. In doing so, Palm Bay is able to assist regional, state, and federal agencies (such as the SJRWMD, FWC, and USFWS, respectively) in sufficiently protecting some of the local ecosystem's most critical and/or vulnerable assets.

2.3 OTHER ENVIRONMENTAL CONSIDERATIONS

2.3.1 Soils

According to the Natural Resources Conservation Service (NRCS), Palm Bay's soil composition is overwhelmingly comprised by sandy soil types—the most predominant series of which are Eugallie, Malabar, and Pineda. Each of these soil types drain poorly and thus remain wet for significant portions of the year. As a result, these soils are often found within areas home to significant hydrological features such as surface waters, wetlands, and floodplains.

One of the most common soil-related issues within Florida is the occurrence of erosion. Erosion is a natural process in which soil and rock material is loosened and displaced, which can cause significant damage to the surrounding community if left unaddressed. For example, eroded soil can endanger water resources, harm farmland and crops, and damage infrastructure and property. According to the latest available erosion data from the FDEP and NRCS, the City of Palm Bay does not appear to possess any significant issues with erosion. The City also continues to implement erosion control measures as needed—the most recent of which involved repairing eroded soil at Castaways Point Park in 2020.

2.3.2 Mining Facilities

According to the latest mining data provided by the FDEP as part of its Mining and Mitigation Program, there are currently three non-phosphate mines located within Palm Bay—each of which are found in the southeast portion of the City. The name of each mine, along with its current operator and approximate acreage are listed in **Table CON-3**, below.

Table CON-3: Mining Facilities

Name	Operator	Acreage
Cypress Bay Farms Mine	Cypress Bay Farms, LLC	89 acres
North Cypress Reserve Pit #37	Henry Fischer & Sons, Inc.	381 acres
Sliger BP	Sebastion Resources 400 LP	52 acres

Source: FDEP, 2022.

According to FDEP, these facilities are currently used as borrow pits. A borrow pit is a location where natural deposits, such as fill dirt, are excavated and moved to another site more suitable for development. Borrow pits generally do not involve any onsite processing except for scalping screens to remove large rocks, wood, and other debris. Mines in Florida are primarily regulated as part of the FDEP Mining and Mitigation Program, which is authorized by Florida Statutes Chapter 378. To address potential environmental hazards and damage caused by mining activities, the Mining and Mitigation program issues environmental resource permits and administers a mandatory reclamation program.

2.3.3 Air Quality

The quality of air is measured by the percentage of pollutant parts in the air within a set monitoring time window. The FDEP Office of Air Monitoring is responsible for conducting this activity throughout the State. This Office currently has two ambient monitoring locations (places that measure air quality/pollution) within Brevard County. The Cocoa Beach location (400 South 4th Street) measures ozone levels only, and the Melbourne location (Southwest Recreation Complex, 400 West Florida Avenue) measures ozone, fine particulate matter (PM_{2.5}), and particulate matter (PM₁₀). The data from the monitoring locations is filtered according to the Air Quality Index (AQI), which ranks air quality in terms of pollution levels into the following categories: good, moderate, unhealthy for sensitive groups, unhealthy, very unhealthy, and hazardous. In the past 10 years, Brevard County's AQI rankings have consistently been recorded as "moderate" or "good" with few exceptions.

2.3.4 Hazardous Waste

There is currently no known issues of inappropriate generation or disposal of hazardous waste (corrosive, toxic, flammable, or reactive substances that may harm public health and the environment) within the City—only hazardous waste commonly associated the day-to-day activities of households and private enterprises. However, it should be noted there are likely some industrial facilities within Palm Bay which utilize caustic chemicals as part of their operations, but they continue to be monitored and regulated by the EPA. For households who wish to drop off hazardous materials, Brevard County currently offers three hazardous waste collection sites. These facilities are located in the Cities of Cocoa (Central Disposal Facility), Titusville (Mockingbird Mulching Facility), and Melbourne (Sarno Landfill). The County also provides complimentary hazardous waste disposal for small businesses through its EnviroBusiness hazardous waste collection program, which occurs every 90 days.

2.3.5 Water Quality

The 2021 Source Water Assessment, performed by FDEP and summarized in the City’s 2022 Water Quality Report, revealed 16 potential sources of contamination in Palm Bay’s water system—each with low-to-moderate levels of susceptibility. These contaminants potentially included bacteria, salts, metals, pesticides, petroleum production by-product chemicals, and naturally occurring radioactive containments—none of which are typical for water systems of this size and magnitude. Source water is treated within Palm Bay’s facilities using lime-softening, reverse osmosis, chlorine disinfection, and fluoridation. According to the EPA-prescribed regulations on water contaminants, *Palm Bay’s water was found safe for drinking as the level of contamination did not reach levels requiring action.*

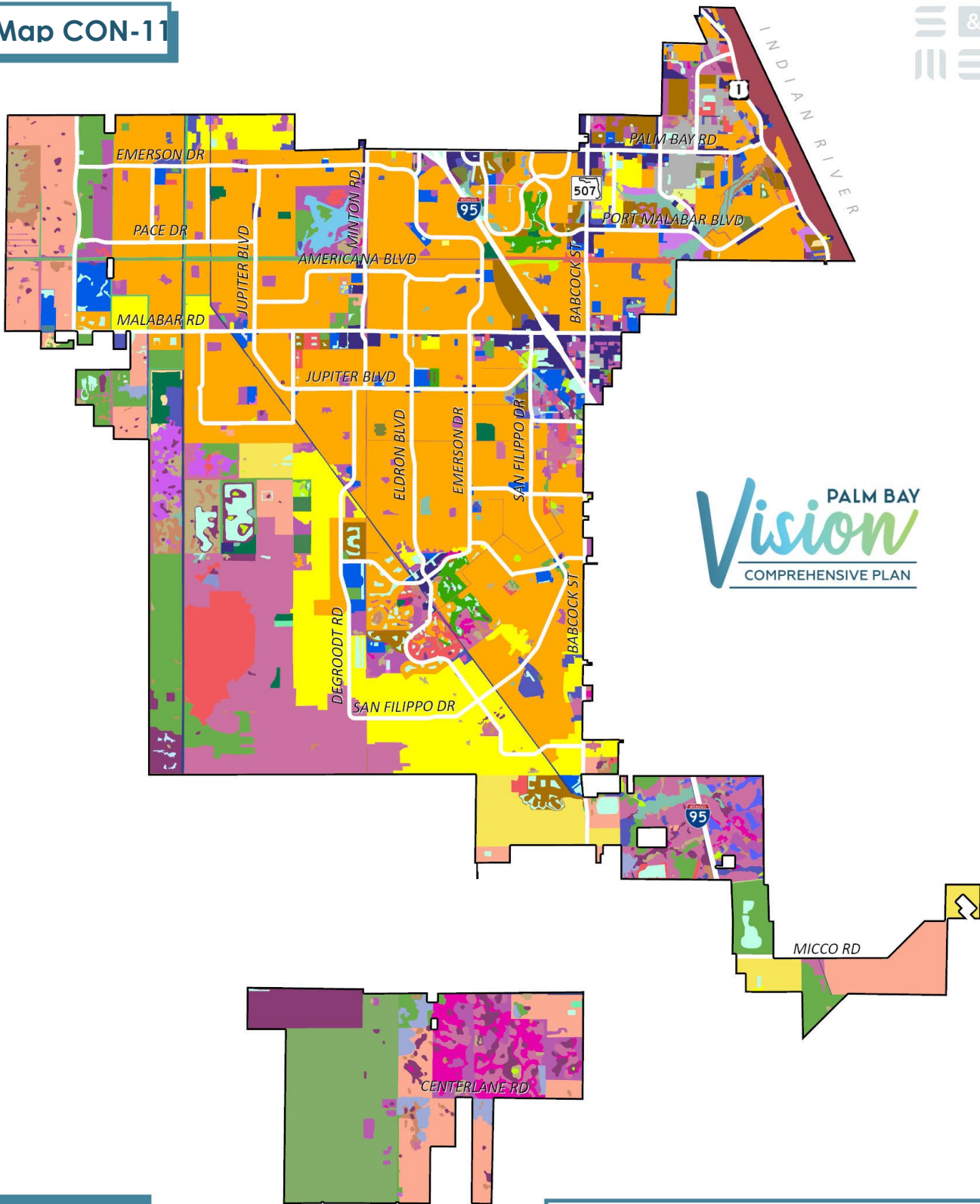
2.3.6 Water Usage

The City expects continued growth over the 23-year horizon identified within this Plan which will result in increased demands on the City’s potable water system. To meet this growing demand while providing safe, high-quality water service, the City intends to expand and modify its existing distribution, supply, treatment, pump, and storage systems. The City currently possesses two water treatment facilities, the North and South Regional Water Treatment Plants, which source their water from the surficial and Floridan aquifers. The City’s current Consumptive Use Permit (CUP) expires in 2029 and permits a total annual withdrawal volume of 6,194 gallons per year (MGY) or an average of 16.97 million gallons per day (MGD).

As detailed further within the *Infrastructure Element* and the *City’s Water Master Plan (2017)*, Palm Bay is currently estimated to possess a potable water demand of 9.21 MGD. By 2045, this demand is expected to increase to 12.61 MGD (approximately 0.54 MGD of which is projected to be used for nonresidential purposes such as agricultural and industrial uses)—well below the 16.97 MGD permitted by the current CUP, which will be requested for renewal before it expires in seven years.

3.0 CONSIDERATIONS FOR ADVANCING EQUITY

One of the most important responsibilities of any municipality is the protection and stewardship of their natural resources. Perhaps the most powerful tool a community can use to ensure the preservation of these resources is through the land acquisition process. Yet, the decision to spend public funds to effectively remove a property from the market in perpetuity for conservation purposes should be made carefully and consider a number of factors—the most important of which is the whether the property contains significant environmental features, such as wetlands, natural water bodies, or habitats for endangered or threatened species. As such, properties which have been previously cleared and utilized for development, like commercial enterprises, mining operations, golf courses, or single-family subdivisions, should generally not be prioritized for acquisition by the City for conservation purposes. Palm Bay should also ensure that the acquisition of land for conservation purposes benefits the community as a whole and, if intended to allow public use, it should be open and accessible to all members of the public. ***As part of this update, new and revised Goals, Objectives, and Policies have been included within the Palm Bay Comprehensive Plan which seek to improve the effectiveness and fairness of the City’s conservation program.***



LAND USE/LAND COVER



LEGEND

City of Palm Bay	Communication	Improved Pastures	Ornamentals	Row Crops	Transmission Lines
Water Feature	Cypress	Institutional	Other Treatment Plants	Rural Land	Tree Nurseries
Land Use/Land Cover	Disturbed	Lakes	Parks and Zoos	Rural Residential	Upland Hardwood Forest
Abandoned Groves	Electrical Power Facilities	Light Industry	Pine Flatwoods	Sand Other Than Beaches	Upland Mixed Forest
Bay Swamps	Emergent Aquatic Vegetation	Mangrove Swamp	Recreational Facility	Sand Pine	Water Supply Plants
Bays and Estuaries	Field Crops	Marinas and Fish Camps	Reservoirs	Sewage Treatment	Wet Pinelands Hydric Pine
Cabbage Palm	Freshwater Marshes	Military	Residential High Density	Shrub and Brushland	Wet Prairie
Cemeteries	Golf Course	Mixed Rangeland	Residential Low Density	Spoil Areas	Wetland Forest Mixed
Citrus Groves	Herbaceous	Mixed Wetland Hardwoods	Residential Medium Density	Streams and Waterways	Woodland Pastures
Commercial and Services	Horse Farms	Mixed scrub-shrub wetland	Roads and Highways	Surface Water Collection Basin	

Source: City of Palm Bay, 2022; SJRWMD, 2014.



07



INFRASTRUCTURE

Table of Contents

1.0 INTRODUCTION	1
2.0 POTABLE WATER SYSTEM	1
2.1 Potable Water Source	1
2.2 Treatment	2
2.2.1 North Regional Utilities Campus.....	2
2.2.2 South Regional Utilities Campus.....	2
2.3 Distribution/Transmission	2
2.4 Storage	3
2.5 Current & Projected Level Of Service	3
2.6 Future Demand	3
3.0 SANITARY SEWER SYSTEM	4
3.1 Collection	4
3.2 Treatment	4
3.2.1 North Regional Wastewater Treatment Plant.....	4
3.2.2 North Regional Water Reclamation Facility	5
3.2.3 South Regional Water Reclamation Facility.....	5
3.3 Effluent Disposal	5
3.3.1 Deep Well Injection	5
3.3.2 Reclaimed Water (Reuse)	5
3.4 Current & Projected Level Of Service	6
3.5 Future Demand	6
4.0 SOLID WASTE.....	7
4.1 Trash & Recycling Collection	7
4.2 Bulk Waste	7
4.3 Yard Waste.....	7
4.4 Hazardous Waste	7
4.5 Current & Projected Level Of Service	8
4.6 Future Demand	8
5.0 DRAINAGE & STORMWATER MANAGEMENT	8
5.1 Drainage And Stormwater Inventory.....	8
5.2 Drainage And Stormwater Needed Facilities	9
5.3 Future Demand	9

List of Tables

Table INF - 1: Projected Potable Water Demand	3
Table INF - 2: Projected Sewer Demand	6
Table INF - 3: Projected Solid Waste Demand	8

List of Maps

Map INF - 1: Water Service Area.....	10
Map INF - 2: Wellhead Protection Areas	11
Map INF - 3: Wastewater Service Area	12

1.0 INTRODUCTION

This Element provides an inventory and analysis of the City of Palm Bay's public facilities and services, including potable water, reclaimed water, wastewater treatment, solid waste collection, stormwater management, and natural groundwater aquifer recharge. The City's centralized water and sewer systems are managed by the Palm Bay Utility Department, while solid waste, stormwater, and aquifer recharge fall under the purview of the Department of Public Works. Each facility and service will be described below and include an existing and projected needs analysis for the 2045 planning horizon, if applicable.

2.0 POTABLE WATER SYSTEM

The City of Palm currently owns and operates a centralized potable water system which includes supply, treatment, transmission, and localized distribution to over 40,000 accounts within its Water Service Area (WSA) (**see Map INF-1**). Users of the City's potable water system include both residential and nonresidential customers located within portions of the City, the Towns of Malabar and Grant-Valkaria, and unincorporated Brevard County. Approximately 12,000 Palm Bay households remain unconnected from the City's potable water system and thus rely on private wells to meet their potable water needs. The 2,400+ households that are using well water in locations where the City has readily available services are encouraged to connect to the City's centralized system, as this water is vulnerable to potential chemical runoff from nearby agricultural uses and general pollutant-causing activities that would otherwise be monitored through the City's potable water system.

An inventory of the City's current potable water system is provided below:

- 41 production wells
- 1 Aquifer Storage & Recovery (ASR) well
- 13 miles of raw water transmission piping
- 2 water treatment plants split between 2 water treatment facilities (with a total rated capacity of 14.0 million gallons per day (MGD))
- 4 ground storage tanks
- 1 elevated storage tank
- 1 Repump station
- 650+ miles of distribution and transmission piping

2.1 POTABLE WATER SOURCE

The City's potable water system derives its supply from the surficial and Floridan aquifers obtained via approximately 41 raw water wells located throughout the Palm Bay WSA. Most of the wells withdraw water from the surficial aquifer ranging from 80-150 feet in depth and six of the wells withdraw water from the Floridan aquifer at a depth between 360-850 feet. The City also has an Aquifer Storage and Recovery (ASR) well with a storage capacity of 100 million gallons. Treated water is pumped into the ASR well during periods of low demand and then is recovered during periods of peak demand. A map of each well within the Palm Bay WSA is shown in **Map INF-2** as well the wellhead protection areas (200 feet and 1,000 feet).

The City's current consumptive use permit (CUP) was issued on May 18, 2010, and is scheduled to expire on April 30, 2029. The CUP (202-11) limits the City's water withdrawal to a total annual volume of approximately 6,194 million gallons per year (GPY), or an average daily withdrawal of 16.97 MGD. Approximately 1,715.5 million gallons per year, or an annual average daily withdrawal of 4.70 MGD, is permitted from the surficial aquifer. The permitted annual

withdrawal from the Floridan aquifer increases incrementally each year through year 2029 when the annual permitted withdrawal is 4,478 million gallons per year, or approximately 12.27 MGD.

2.2 TREATMENT

Palm Bay possesses and operates two water treatment facilities within the City which feature a combined rated capacity of 14 MGD. One treatment facility is located in the northern portion of the City (1105 Clermont Street NE) and is known as the North Regional Utilities Campus. The other treatment facility is located on the south end of the City is known as the South Regional Utility Campus, which is found at 250 Osmosis Drive SE. The potable water treatment capabilities of these facilities are described below.

2.2.1 North Regional Utilities Campus

At one time, there were originally two water plants located within this facility. The first plant, which still remains, is a lime softening treatment plant that was constructed in the 60s and upgraded in 1975 to a capacity of 3.0 MGD. A decade later, the plant was expanded which resulted in capacity expansion to 6.0 MGD. In 1990, the plant was expanded to its current capacity of 10 MGD.

The second plant was constructed in 2001 and utilized reverse osmosis processes and technology with a total capacity of 1.5 MGD. Due to the desire of the City to save energy and money, this plant was placed out of service in January 2009. Over time the plant fell into a state of disrepair and in 2022 the remnants of the abandoned plant were removed from the campus. The City is currently designing a replacement reverse osmosis facility to be located at the North Regional Utilities Campus.

2.2.2 South Regional Utilities Campus

Unlike the North Regional Utilities Campus, its southern counterpart was designed and constructed to only contain one water treatment plant. This plant was placed into service in 2006 and utilizes a reverse osmosis process to achieve a capacity of 4 MGD. The plant is expandable 20 MGD and is currently under construction to increase the capacity to 6 MGD. The expansion to 6 MGD will be completed in 2023.

2.3 DISTRIBUTION/TRANSMISSION

The City's potable water distribution system is pressurized by several high services pumps located in both the North and South Regional Utilities Campus and the Nash Repump Station. This Station is used to maintain normal operating pressures and boost pressure in both the north and northwest areas of the potable water system during periods of peak demand. Pressure in this network generally ranges between 50 and 70 pounds per square inch(psi). Seven pumps are located at the North Campus and four pumps are located at both the South Campus and Nash Repump Station. The pumping combined high-service pumping rate at each facility is listed below.

- The North Regional Utilities Campus possesses a total combined pumping rate of 9,100 gallons per minute (GPM) with a firm capacity (i.e., adequate pumping and/or treatment capacity to meet peak daily demand when the largest pumping station or treatment is out of service) of 7,400 GPM.
- The South Regional Utilities Campus achieves a total combined pumping of 6,600 GPM with a firm capacity at 4,400 GPM.
- The Nash Repump Station maintains a total combined high-service pumping rate of 3,750 GPM and a firm capacity of 2,500 GPM.

These pumps distribute water throughout the City's 673-mile pipe network, which ranges in size from 2 to 36 inches and are made from the following materials: asbestos cement, ductile iron, polyethylene, and polyvinyl chloride (PVC).

2.4 STORAGE

The City's potable water system currently includes four ground storage tanks and one elevated tank. Of the four ground storage tanks, two are stationed at the North Regional Utility Campus, one is found at the South Regional Utilities Campus, and the remaining tank is located at the Nash Repump Station located in the northern portion of the City. Palm Bay's sole elevated storage tank services the North Campus. When combined, the potable water system has an overall storage tank capacity of 5.50 million gallons.

2.5 CURRENT & PROJECTED LEVEL OF SERVICE

The current level of service for potable water demand is calculated by dividing the volume of water treated and pumped by equivalent residential connections (ERCs). The current adopted LOS is 225 gallons per day per residential equivalent for water. Based on the current population the residential water demand is 9.21 MGD; however, the observed average in 2022 was 7.21 MGD.

In 2016 and as part of the City's Water Master Plan, the average daily demand was 6.31 MGD of potable water. Based on historical usage and the estimated the level of service (LOS) was determined to be 185 gallons per capita per day. This amount is for residential and non-residential combined. The existing and projected potable water demand based on a LOS of 185 gallons per capita for existing customers and 225 gpd, using estimates and projections for the City's population. The current demand is far less than the existing LOS due to a sizeable portion of the City that is not served by the centralize water services; those home utilize private wells for potable water. There are no recommendations to change the adopted level of service standard.

Table INF - 1: Projected Potable Water Demand

	2020	2025	2030	2035	2040	2045
Projected Population	125,924	137,879	146,795	154,289	160,931	166,848
Projected Residential Units (Pop/PPH)	40,490	44,334	47,201	49,610	51,746	53,649
Residential Demand Based on LOS (MGD)	9.11	9.98	10.62	11.16	11.64	12.07
Non-Residential Demand per 2017 Master Plan	0.41	0.97	0.99	1.00	1.00	1.00
Total	9.52	10.95	11.62	12.16	12.64	13.07

*PPH - Persons per Household: 3.11

*LOS - Level of Service: 225 gallons per day per residential unit

*MGD - Million Gallons per Day

2.6 FUTURE DEMAND

There are no immediate plans to expand the water system into underserved areas due to the expense of extending services in developed locations, the overall lack of funding for mainline extensions and the Department's focus on rehabilitating the aged system while performing treatment plant upgrades to accommodate developer-driven expansion. Without a mandatory connection ordinance in place to require existing developments throughout the City to connect to services when made available, there is no feasible way for the Utilities Department to fund expansions and achieve a return on investment through the payment of mainline extension (MLE) fees. Expansion of the system will be dependent on the ability to acquire City Council approval for Mandatory Connection.

Expansion of the potable water system is critical for the success of the City. Expansion will provide fire protection to all neighborhoods and will provide clean drinking water to residents that rely on well water. To accommodate these residents, additional trunk water lines will need to be extended and plant capacities will likely need to be upgraded in the future.

3.0 SANITARY SEWER SYSTEM

The City owns, operates, and maintains a wastewater system which facilitates collection, treatment, and disposal services within the Palm Bay Wastewater Service Area (WWSA) (**see Map INF-3**). Users of the centralized sewer system include both residential and nonresidential customers located within certain portions of the City and the Town of Malabar. Approximately 73% of the City does not have access to the sewer system with over 32,000 Palm Bay households relying on permitted septic tanks and drain fields to meet their wastewater needs.

With over 12,000 private water wells and 32,000 septic systems located throughout the City, there is increased risk for groundwater contamination from the individual septic systems. While septic tanks can benefit groundwater recharge and help remove pollutants if properly maintained, system failures are a common occurrence due to improperly maintained tanks and drain fields. In most municipalities, including the City of Palm Bay, there is no local-level regulation and oversight of these small, out-of-sight, independent septic systems. There is the potential that as septic tanks fail across the City, untreated sewage may leak into the land and water supply – posing a significant local health risk.

An inventory of the City's current sanitary sewer system is listed below:

- Two treatment facilities with a total permitted capacity of 5.2 MGD
- 1 deep injection well for secondary effluent (treated wastewater) disposal with a permitted capacity of 12.73 MGD
- 110 public lift stations
- 236 miles of gravity sewer main piping
- 104 miles of force main piping

3.1 COLLECTION

The City uses a combination of gravity mains, force mains, and lift stations to collect wastewater from its customers and transfer it to one of the City's treatment plants. The piping which comprises the City's gravity sewer network is made from a combination of PVC and vitrified clay pipe and ranges in size from 4 to 18 inches in diameter.

Wastewater from gravity mains flows to lift stations where it is pumped to the City's North Regional Utilities Campus. There are currently 110 public lift stations and 86 privately-owned lift stations within the City of Palm Bay. The City's force main network is comprised of approximately 104-miles of piping made from PVC, Ductile iron, and polyethylene. The size of these pipes range between 2 and 20 inches in diameter.

3.2 TREATMENT

The City currently owns, operates, and maintains two wastewater treatment plants—the North Regional Wastewater Treatment Plant (NRWWTP) and the North Regional Water Reclamation Facility (NRWRF). Both are located at the North Regional Campus and have a combined permitted capacity of 5.2 MGD. They are regulated by the Florida Department of Environmental Protection (FDEP) and are covered under permit number FLA648744. A more detailed description of each facility is provided below.

3.2.1 North Regional Wastewater Treatment Plant

Constructed in 1962 and originally owned by General Development Utilities (GDU), the NRWWTP is located on the east side of Clearmont Street at the North Regional Utilities Campus. The plant is a conventional activated sludge process which has been improved and expanded since it was originally constructed. The NRWWTP currently maintains a permitted capacity (as measured by Average Annual Daily Flow (AADF) of 4 MGD and a hydraulic capacity (peak flow) of 8 MGD. In 1992, the City acquired the NRWWTP from GDU.

3.2.2 North Regional Water Reclamation Facility

30 years after the construction of the NRWTP, the City constructed the NRWRF, which is located on the west side of Clearmont Street at the North Regional Utilities Campus. This plant is an extended aeration, activated sludge facility which discharges tertiary treated effluent to a nonrestricted public access reuse system. The plant has a permitted capacity of 1.2 MGD (AADF) and a hydraulic capacity (peak flow) of 3.69 MGD. The permitted capacity of the tertiary treatment process is 2.3 MGD, which allows for flows from both plants to be treated and provide as reclaimed water (reuse).

3.2.3 South Regional Water Reclamation Facility

In anticipation of the growing wastewater treatment needs, the City has designed and is currently constructing a new wastewater treatment plant to be located at the South Regional Utilities Campus. The South Regional Water Reclamation Facility (SRWRF), which will initially be a 1 MGD Membrane Bioreactor wastewater treatment plant with tertiary treatment processes necessary to generate reclaimed water, has received full funding from the Florida Department of Environmental Protection’s State Revolving Fund. The construction contract was awarded in October 2020, construction started in January 2021, and the contractual completion date is May 2023. The Contractor for the SRWRF project has noted there are significant delays in the acquisition of parts and equipment and has provided documentation noting a delayed completion date of August 2024.

Reclaimed water projects related to the SRWRF are under evaluation and in the early stages of planning and design. In preparation for the design, the City has completed a corridor study to determine the most feasible routes for reuse infrastructure to support the SRWRF.

3.3 EFFLUENT DISPOSAL

Secondary Effluent (treated wastewater) from Palm Bay’s wastewater treatment plants is disposed of using one of two methods within the City: deep well injection or application of reclaimed water for permitted, non-potable uses. These methods are described in further detail as follows.

3.3.1 Deep Well Injection

The primary disposal method of secondary effluent is the system’s deep injection well (DIW) which is classified as a Class I municipal well with a maximum permitted flow capacity of 12.73 MGD. The system is comprised of three vertical turbine pumps, each with a rated capacity of 5 MGD designed to pump treated secondary effluent into the DIW. The DIW extends to a depth of 3,000 feet below land surface (BLS). To ensure there are no failures or integrity issues in the casing of the DIW, a well is used to sample water and monitor quality of the aquifer.

3.3.2 Reclaimed Water (Reuse)

The secondary disposal method for secondary effluent is through the City’s reclaimed water (also referred to as reuse) land application system, which currently maintains a permitted capacity of 2.3 MGD. Secondary effluent is sent through the NRWRF’s tertiary treatment process where it is filtered, disinfected, and provided to specific customers for median irrigation, landscape irrigation and cooling tower applications. Reclaimed Water is not authorized for potable uses (i.e. drinking, washing, etc).

What is a Class I Deep Injection Well?

According to the Florida Department of Environmental Protection (FDEP), **deep injection wells** are used to dispose of appropriately treated fluids by placing them underground. The injection control program regulates the usage of this and prevents degradation of drinking water.

Class I wells are installed well below the surface and are used for disposal of domestic and industrial wastewater below protected aquifers.

Operators of these wells are required to submit a monthly report to FDEP which provides data of their monitoring regarding physical and chemical characteristics.

As a water conservation measure and a means to efficiently dispose of secondary effluent, the City provides on a limited basis reclaimed water to specific users throughout the City. At this time reclaimed water is supplied by the North Regional Water Reclamation Facility (NRWRF). Reclaimed water is distributed to four sites for irrigation and two sites for industrial cooling. The permitted effluent disposal capacity via nonrestricted public access reuse is 2.3 mgd.

Current reclaimed water customers include Harris Corporation, Intersil, Knecht Park, Palm Bay WWTP and WRF, Sandy Pines Preserves Subdivision, and Country Club Lakes Subdivision. Excess reclaimed water generated by the NRWRF is disposed of in the deep injection well (DIW) system.

3.4 CURRENT & PROJECTED LEVEL OF SERVICE

The current adopted LOS is 210 gallons per day per residential equivalent for sewer. Based on the current population the residential sewer demand is 8.59 million gallons per day; however, the observed average in 2022 was 3.32 MGD.

In 2016 and as part of the City's Wastewater Master Plan, the average daily demand was 3.631 MGD of wastewater. Based on historical usage and the estimated the level of service (LOS) was determined to be 176 gallons per capita per day. This amount is for residential and non-residential combined. The existing and projected wastewater demand based on a LOS of 176 gallons per capita, using estimates and projections for the City's population. The current demand is less than the existing LOS due to a sizeable portion of the City that is not served by the centralize water services; those home utilize private wells for potable water and septic systems. There are no recommendations to change the adopted level of service standard.

Table INF - 2: Projected Sewer Demand

	2020	2025	2030	2035	2040	2045
Projected Population	125,924	137,879	146,795	154,289	160,931	166,848
Projected Residential Units (Pop/PPH)	40,490	44,334	47,201	49,610	51,746	53,649
Residential Demand Based on LOS (MGD)	8.50	9.31	9.91	10.42	10.87	11.27
Non-Residential Demand per 2017 Master Plan	0.38	0.91	0.99	0.99	0.99	0.99
Total Demand	8.83	10.22	10.90	11.41	11.86	12.26

*PPH - Persons per Household: 3.11

*LOS - Level of Service: 210 gallons per day per residential unit

*MGD - Million Gallons per Day

3.5 FUTURE DEMAND

The City desires to connect residential and nonresidential developments which currently utilize septic tanks; however, the Utilities Department focus remains primarily on rehabilitating the existing sewer system and accommodating the expansion needs of developers. There are no immediate plans to expand the sewer system into underserved areas due to the expense of extending services in developed locations, the overall lack of funding for mainline extensions and the Department's focus on rehabilitating the aged system while performing treatment plant upgrades to accommodate developer-driven expansion. Without a mandatory connection ordinance in place to require existing developments throughout the City to connect to services when made available, there is no feasible way for the Utilities Department to fund expansions and achieve a return on investment through the payment of mainline extension (MLE) fees. Expansion of the system will be dependent on the ability to acquire City Council approval for Mandatory Connection.

Installation of centralized sewer systems in platted/developed/paved areas is extremely cost prohibitive (more than \$30,000 per lot). Expansion of the system will be dependent on the ability to acquire City Council approval for Mandatory Connection. Once Mandatory Connection is approved and codified, the Utilities Department would be eligible for certain grants/programs to assist in the installation of sewer systems. To accommodate underserved residents, additional sewer mains will need to be extended or enhanced and plant capacities will likely need to be upgraded in the future. Connecting more homes to the sewer system will reduce the environmental impacts septic systems have on the ecosystem (i.e., Indian River Lagoon and the St John's Preserve) and provide a more reliable means of wastewater disposal.

4.0 SOLID WASTE

Solid waste services within the City are primarily facilitated by Republic Services of Florida and Brevard County. Republic Services provides garbage, recycling, bulk waste, and yard waste collection services to both residential and nonresidential customers within Palm Bay. Solid waste collected throughout the City is then delivered to the Sarno Road Transfer Station and Landfill in Melbourne, which is owned and operated by the Brevard County Solid Waste Management Department. Residents within the County also have the ability to drop off household hazardous waste to one of the County's three hazardous waste collection centers for disposal at no additional cost. These services are discussed in greater detail below.

4.1 TRASH & RECYCLING COLLECTION

Republic Services provides twice-a-week garbage collection and once-a-week recycling collection to households throughout the City. Collection schedules for residents are publicly available for review on the City's website. Solid waste pickup for commercial operations are generally provided once per week. Extra carts for garbage collection upon request and monthly payment to Republic Services. Palm Bay currently does not operate any landfill sites and no future landfill facilities are planned. As such, garbage collected by Republic Services is delivered to Sarno Road Transfer Station, which is located at 3379 Sarno Road in Melbourne, while recyclables are sent to a licensed recycling center.

4.2 BULK WASTE

Bulk waste products are generally considered to be discarded household items such as furniture, mattresses, and other goods that are typically too large to fit in bins or containers. As part of their franchise agreement with the City, Republic Services of Florida provides bulk waste collection services to participating residential and nonresidential customers throughout Palm Bay once per week. Bulky waste collected by Republic Services is then delivered to the Sarno Road Landfill in Melbourne (3379 Sarno Road).

4.3 YARD WASTE

Similar to bulk waste, the City contracts with the Republic Services of Florida for the collection and disposal of yard waste. Yard waste pickup occurs weekly for participating customers and is delivered to the Sarno Road Landfill in Melbourne (3379 Sarno Road).

4.4 HAZARDOUS WASTE

Three permanent household hazardous waste collection centers are located within Brevard County: the Central Disposal Facility in Cocoa (2250 Adamson Road), the Mockingbird Mulching Facility in Titusville (3600 South Street), and the Sarno Landfill in Melbourne (3379 Sarno Road). Each of these facilities are owned and operated by the Brevard County Solid Waste Management Department. Each center accepts household hazardous waste from non-business activities for safe disposal at no cost for County residents.

4.5 CURRENT & PROJECTED LEVEL OF SERVICE

The current adopted LOS is 7.51 pounds per capita per day for solid waste. Based on the current population the residential solid waste demand is 0.96 million pounds per capita per day. There are no recommendations to change the adopted level of service standard.

Table INF - 3: Projected Solid Waste Demand

	2020	2025	2030	2035	2040	2045
Projected Population	125,924	137,879	146,795	154,289	160,931	166,848
Demand Based on LOS MPCD	0.95	1.04	1.10	1.16	1.21	1.25
Non-residential Demand	N/A	N/A	N/A	N/A	N/A	N/A
Total Demand	0.95	1.04	1.10	1.16	1.21	1.25

*LOS - Level of Service: 7.51 pounds per capita per day

*MPCD - Million Pounds per Capita per Day

4.6 FUTURE DEMAND

The City will continue to coordinate with Brevard County and the rest of the municipalities in the county to determine the when and where new landfill facilities will be developed. With the Sarno Road Landfill nearing the end of its lifecycle, the County has identified a new location near the county line off US 192. This landfill is planned to be operational in 2026. In the interim, all local solid waste will be routed to Cocoa Landfill.

5.0 DRAINAGE & STORMWATER MANAGEMENT

The City of Palm Bay currently utilizes two primary methods of managing stormwater run-off, detention and retention of rainfall, and ensuring water quality through treatment. The enforcement of stormwater management regulations within the City falls under the jurisdiction of four (4) government agencies: Melbourne Tillman Water Control District (Water Control District), St. Johns River Water Management District (SJRWMD), Florida Department of Environmental Protection, and Army Corp of Engineers when new development requires dredging or filling of jurisdictional surface waters and wetlands the Florida Department of Transportation (FDOT), Brevard County, and the City of Palm Bay. Depending on the location of a project, it is conceivable that permits could be required from three (3) of the four (4) agencies.

Established in 1922 by the Florida Legislature, the Water Control District was created to manage and prevent damage from flooding, erosion, and excessive drainage. The Water Control District is a dependent water control district of Brevard County authorized by the Florida Legislature under Ch.2001-336, Laws of Florida as amended by Ch. 2003-334, Laws of Florida and Ch. 2010-1053, Laws of Florida, and Ch. 2019-175, Laws of Florida. The Water Control District spans 64,500 acres in southern Brevard County, which includes portions of the unincorporated area, the cities of Palm Bay and West Melbourne. Within the boundary, the Water Control District owns and operates over 163 miles of canals. User fees collected on an annual basis provide the funding source for the Water Control District, which is based on property size and use. There are three distinct user fee use categories that consist of Agricultural, Residential, and Commercial and are applied to each property.

5.1 DRAINAGE AND STORMWATER INVENTORY

Developed land within the City relies on existing stormwater management systems. In areas of the City developed in the distant past (prior to 1982), stormwater run-off is most often directed via overland flow to one of the many canals, to isolated wetlands located throughout the City. In areas of the City more recently developed, stormwater

run-off is conveyed via underground pipes (storm sewer) or via wetlands to the MTWCD C-1 Canal and C-82 canal, which both drain to Indian River Lagoon. The C1 also drains westerly to the St. Johns River, and south of the MTWCD C-38 to the San Sebastian River or graded to allow sheet flow to either detention or retention ponds. The City operates and maintains a stormwater system of nearly 12,000 stormwater pipes and culverts, over 2000 miles of swales, culverts and canals.

The City of Palm Bay, the Melbourne Tillman Water Control District, the SJRWMD and the FDOT have developed design criteria for the management of runoff. The Mean- Annual/ 24-hour design storm post-development attenuation is required for development that is less than 40 acres in size and greater than fifty percent impervious. The 10-yr/ 24 -hour design storm is required for all development within the city of Palm Bay by the City. The 25-year/24-hour design storm is required for commercial development that is greater than 40 acres in size and all roadway projects. The 25- year/ 96- hour design storm is required for projects which are land-locked, that is, without existing outfall to a surface water or wetland. The FDOT has numerous design storms which are required for roadway projects or development within their jurisdiction. The MTWCD does not require design storms and has separate design criteria. The attenuation criteria which is the most stringent of all agencies having jurisdiction at a specific location will govern design. The applicant must demonstrate this through the stormwater management calculations submitted to the city during site plan review.

5.2 DRAINAGE AND STORMWATER NEEDED FACILITIES

Any new land development or redevelopment within the City of Palm Bay must meet the stormwater quantity and quality standards and requirements of the SJRWMD through the Environmental Resource Permitting process. The City requires evidence from the MTWCD and/ or FDOT design standards and specifications, where those agencies have overlapping jurisdiction, that all agency permits have been granted prior to issuing any construction permits.

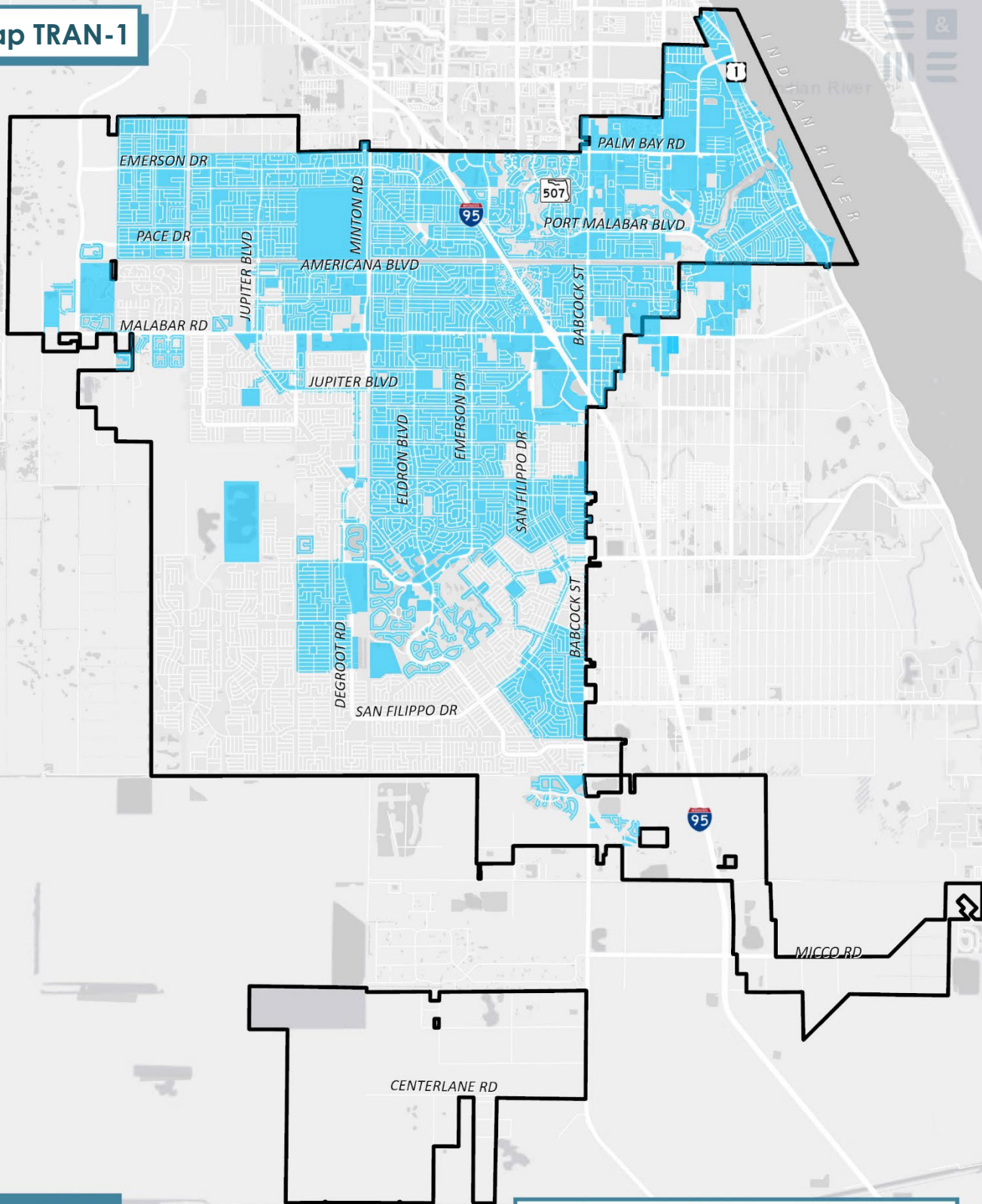
The City of Palm Bay Land Development Code regulates the stormwater management capacity of various infrastructure components that will be publicly or privately maintained, such as streets, bridges, culverts, ditches, and storm sewer pipes. In addition, the Land Development Code prohibits new discharges new discharges are not allowed by the City or the State. Any work in, across, or over wetlands and surface waters is prohibited, unless authorized.

5.3 FUTURE DEMAND

During the next update of the City's Stormwater Management Master Plan, particular attention needs to be paid to the lack of stormwater facilities along many of the substandard roads constructed by the General Development Corporation. In some cases, stormwater management may be addressed by providing swales and culverts along the existing roadway facilities to alleviate flooding issues and provide a means to treat run-off. Additionally, the updated Stormwater Management Master Plan should address sea level rise, coastal resiliency, and sustainability as methods for adapting to changing future conditions. There are two Stormwater Master Plans completed in 2000 for the TC Basin and the rest of Palm Bay to MT C-38 in 2002. New Stormwater Master Plans are underway for the northwest and southeast portions of the City.

In addition to requiring new development to comply with local, state and federal stormwater regulations, the City will continue to address localized flooding through the Capital Improvements Plan as funding becomes available. The fees collected by the Melbourne-Tillman Water Control District are utilized by the Water Control District to maintain and operate its stormwater facilities. Stormwater utility fees are assessed to City residents and are utilized to maintain and operate city-owned facilities. There are no recommendations to change the adopted level of service standards.

Map TRAN-1

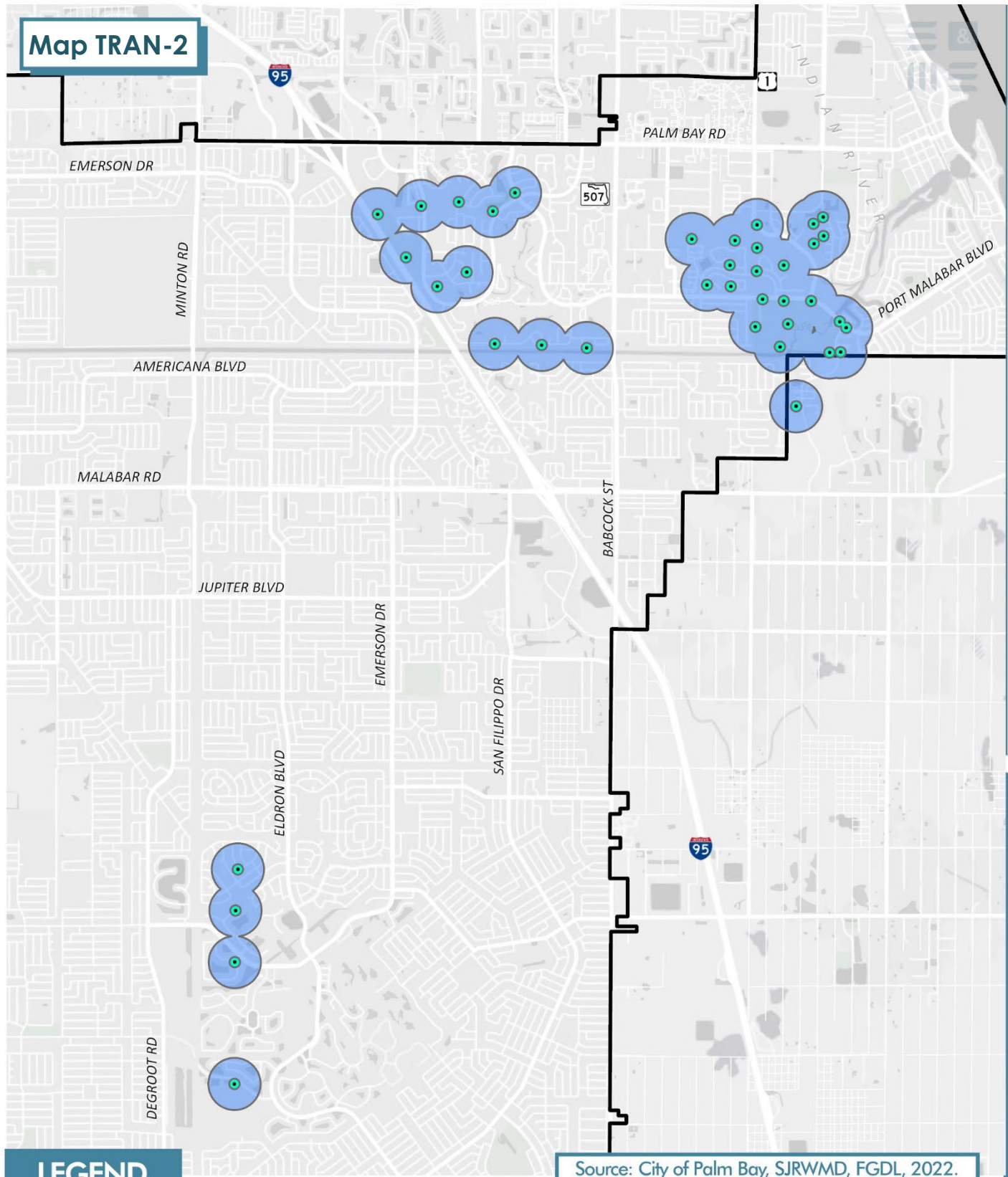


LEGEND

-  City of Palm Bay
-  Water Feature
-  Water Service Area

Source: City of Palm Bay, FGDL, 2022.

Map TRAN-2



Source: City of Palm Bay, SJRWMD, FGDL, 2022.

LEGEND

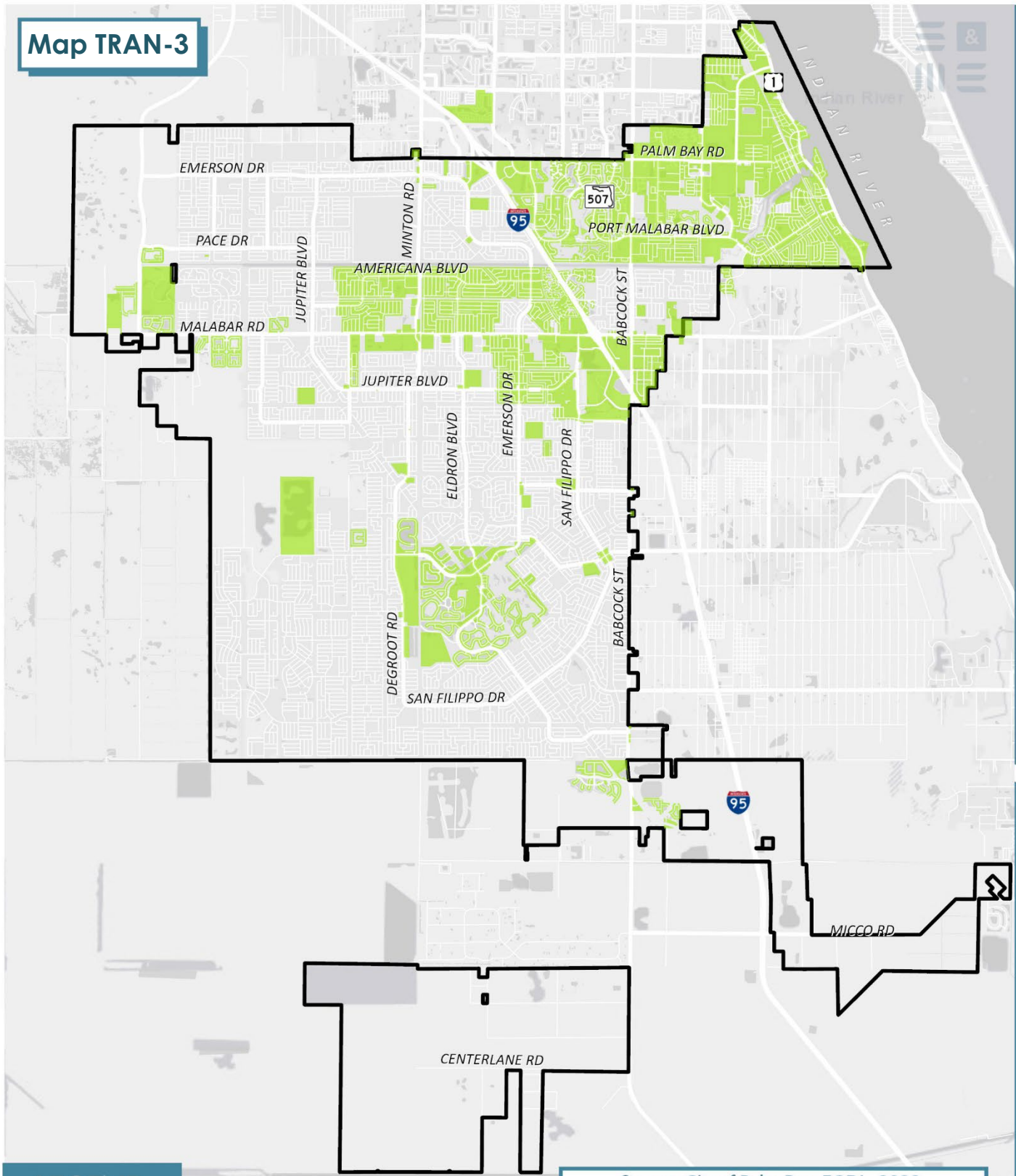
-  City of Palm Bay
-  Water Feature
-  Well
-  200-Ft Wellhead Protection Area
-  1000-Ft Wellhead Protection Area

VISION PALM BAY
COMPREHENSIVE PLAN

WELLHEAD PROTECTION AREA



Map TRAN-3



LEGEND

- City of Palm Bay
- Water Feature
- Wastewater Service Area

Source: City of Palm Bay, FGDL, 2022.

Vision PALM BAY
COMPREHENSIVE PLAN

WASTEWATER SERVICE AREA



GOAL CON-1

Maintain the environmental character of Palm Bay through the conservation, appropriate use, and protection of the natural resources of the City.

Objective CON-1.1

Maintain existing **air quality** which meets and exceeds the minimum air quality levels established by the Florida Department of Environmental Protection.

Policy CON-1.1A. Promote alternative transportation modes such as carpooling, public transit, bicycling, and pedestrian paths through public information programs in brochures and newsletters.

Policy CON-1.1B. The City shall promote public awareness about mass transit, car-pooling,

bikeways, park-and-ride lots, and other alternative transportation modes as a means to reduce automobile emission pollution.

Policy CON-1.1C. The City shall maintain tree protection regulations to sustain natural vegetative filters for air pollution.

Objective CON-1.2

Protect the surface **water quality** of the canals, Turkey Creek, the Indian River, and other surface water bodies to meet or exceed state and federal water quality standards.

Policy CON-1.2A. Support the Melbourne Tillman Water Control District western diversion plan.

Policy CON-1.2B. Request that the Melbourne Tillman Water Control District find long-term solutions to canal bank erosion.

Policy CON-1.2C. Protect the remaining natural retention areas in the City.

Policy CON-1.2D. Strictly enforce the provisions of the Stormwater Management Ordinance.

Policy CON-1.2E. Strictly enforce the provisions of the Driveway/Swale Ordinance.

Policy CON-1.2F. Design, manage and operate the City's public facilities, including stormwater systems, to avoid detrimental impacts on, and where possible to improve, surface water quality.

Policy CON-1.2G. The City shall coordinate with the Department of Environmental Protection and the St. Johns River Water Management District on prohibiting the removal of native vegetation in the littoral zone of surface water bodies except when necessary to provide "reasonable access" (as defined in the Regional Plan) or in a government sanctioned aquatic plant control program.

Policy CON-1.2H. The City shall give technical advice to developers and landowners on the best ways to manage stormwater.

Policy CON-1.2I. The City shall develop land use criteria and performance standards to keep hazardous industrial materials out of ground and surface waters.

Policy CON-1.2J. Establish an overlay zone for areas prone to erosion and sedimentation.

Policy CON-1.2K. Explore all reasonable means of increasing stormwater storage capacity within the City to reduce untreated discharge into Turkey Creek and the Indian River.

Policy CON-1.2L. Continue to work with the Town of Malabar to control stormwater discharge into Turkey Creek.

Policy CON-1.2M. Continue to work with the Florida Department of Transportation to control the runoff from U.S. 1 that is causing erosion on the Indian River Bluff.

Objective CON-1.3

Maintain **groundwater quality** which meets or exceeds all state and federal water quality standards.

Policy CON-1.3A. The City shall monitor groundwater quality in cooperation with Brevard County, the St. Johns River Water Management District and the Florida Department of Environmental Protection.

Policy CON-1.3B. Support the East Central Florida Regional Planning Council's program of developing a regional network of local hazardous waste collection stations by providing information to the public in newsletters and brochures.

Policy CON-1.3C. Continue the strict enforcement of the location of and the construction standards of gasoline/fuel tanks as listed in the Code of Ordinances.

Policy CON-1.3D. Require new development to connect to the central sanitary sewer system when it becomes available in conformance with City ordinance and state law.

Policy CON-1.3E. Continue to strictly enforce the provisions of the City's Wellhead Protection Ordinance.

Objective CON-1.4

Maintain the **quantity of groundwater** available.

Policy CON-1.4A. Support efforts to cap and plug free-flowing artesian wells.

Policy CON-1.4B. Adopt Land Development Regulations which limit the percentage of impervious surfaces in aquifer recharge areas.

Policy CON-1.4C. Continue to implement the water conservation programs of the City of Palm Bay Utility Department.

Policy CON-1.4D. The City will assist and support the St. Johns River Water Management District Water Conservation Plan through continued enforcement of the Water Shortage Emergency Ordinance.

Policy CON-1.4E. Promote cluster development away from the primary recharge areas.

Policy CON-1.4F. The City shall continue to implement a landscape ordinance that promotes conservation practices and the use of "Florida Friendly" landscaping.

Policy CON-1.4G. The City shall consider converting City properties from potable water irrigation to reuse irrigation, where feasible.

Policy CON-1.4H. The City shall consider establishing a public education program to inform the public on water conservation techniques.

Objective CON-1.5

The City shall protect its **natural resources** from the adverse impacts of development.

Policy CON-1.5A. The City shall continue to enforce land development regulations that require the preservation of existing vegetation over the provision of new plantings.

Policy CON-1.5B. The City shall emphasize the use of native vegetation in all development projects.

Policy CON-1.5C. The City shall consider enlisting knowledgeable groups (Native Plant Society, Audubon, Sierra Club, etc.) to identify areas/species of special concern and make the information available to the public.

Policy CON-1.5D. The City shall provide information to landowners and developers regarding the availability of volunteer groups to remove and replant native plants which would otherwise be destroyed by development.

Policy CON-1.5E. The City shall preserve and protect the natural open space areas identified in the Recreation and Open Space Element.

Policy CON-1.5F. The City shall continue enforcing its ordinance prohibiting land clearing without a permit from the City.

Policy CON-1.5G. The City shall protect the rare or endangered vegetative communities identified in this element by:

- (a) encouraging the clustering of dwelling units away from sensitive parts of each ecological community;
- (b) discouraging the fragmentation of large ecological community associations; and
- (c) requiring buffering of sensitive ecological areas.

Policy CON-1.5H. The City shall require developers to preserve habitats essential to endangered, threatened, or rare plants.

Policy CON-1.5I. The City shall continue to enforce the Tree Preservation Ordinance which prohibits the planting of Beefwood, Scaly-barked Beefwood, Australian Pine, Punk (Cajeput, Malaluca), Brazilian Pepper, Castor Bean, and Eucalyptus. Removal of these plants is encouraged since they displace native species.

Policy CON-1.5J. The City shall require that all developments locate the required open space in areas of native habitat, with a special emphasis on wetland and sand-pine communities.

Policy CON-1.5K. The City shall support programs that identify and protect critical habitat for endangered and threatened species by providing data and staff assistance.

Policy CON-1.5L. The City shall require private landowners to use good management practices to protect the most desirable habitats of endangered and threatened species.

Policy CON-1.5M. The City shall use conservation easements, transfer of development rights, fee simple acquisition, zoning, or a combination of techniques, to protect environmentally sensitive lands.

Policy CON-1.5N. Seek joint funding for the acquisition of natural areas for conservation.

Policy CON-1.5O. The City shall not allow City-owned conservation areas to be developed except with passive recreational facilities such as boardwalks, interpretive trails, and similar development.

Policy CON-1.5P. The City will cooperate with adjacent local governments, i.e., Brevard County, the Town of Malabar, and the City of Melbourne, to conserve, appropriately use, and protect environmentally sensitive areas that are located in more than one jurisdiction.

Objective CON-1.6

Protect and enhance populations of endangered and threatened species of **wildlife** and their critical habitat so there is no loss of such wildlife species in Palm Bay.

Policy CON-1.6A. The City shall continue requiring the conservation of habitats essential to endangered, threatened and rare species.

Policy CON-1.6B. The City shall use of conservation easements, transfer of development rights, fee simple acquisition, land development

regulations, or a combination of techniques to protect endangered, threatened or rare wildlife.

Policy CON-1.6C. The City will cooperate with adjacent local governments to protected critical wildlife habitat located in more than one jurisdiction.

Objective CON-1.7

Conserve **wetlands** in the City and protect them from physical and hydrologic alterations consistent with the regulations of the St. Johns River Water Management District.

Policy CON-1.7A. Request dedication or apply for grants to purchase wetland areas identified through the St. Johns River Water Management District Land Use Mapping Project. Priority shall be given to Turkey Creek and the Indian River and to other relatively undisturbed wetlands and wetlands facing development pressures.

Policy CON-1.7B. The City shall continue to require review and approval by the St. Johns River Water Management District for all wetlands.

Policy CON-1.7C. Review by the St. Johns River Water Management District shall continue to include analysis of types, values, functions, sizes,

condition and locations of wetlands consistent with the guidelines outlined in their Management and Storage of Surface Waters rules.

Policy CON-1.7D. The administrative site plan review process will continue to direct land uses which are incompatible with the protection of wetlands and wetland functions away from such wetland areas.

Policy CON-1.7E. Where wetland impact does occur, mitigation shall be required consistent with the requirements of the St. Johns River Water Management District.

Objective CON-1.8

Objective CON-1.9 Continue to enforce the **Mining** Ordinance to protect the City's air quality, groundwater and surface water quality, and quality of life.

Policy CON-1.8A. Buffers shall be required between mining activities and adjacent existing and future land uses to minimize the impact of the mining to the surrounding land uses.

Policy CON-1.8B. A reclamation plan shall be approved by the City before mining activities are permitted.

Policy CON-1.8C. Mining activities shall only be permitted through conditional use approval.

Objective CON-1.9

Reduce the rate of **soil erosion** in the City.

Policy CON-1.9A. The City shall assist the U.S. Soil Conservation Service in those activities directed at minimizing soil erosion by distributing information to the public in brochures and newsletters.

Policy CON-1.9B. The City shall continue enforcing standards to prevent soil erosion, and to require onsite stabilization for exposed soils.

Objective CON-1.10

Protect the 100-year **floodplain** so that flood carrying and flood storage capacities are maintained.

Policy CON-1.10A. The City shall continue to enforce the Floodplain Management Ordinance.

Policy CON-1.10B. The City shall continue to control development in the 100-year floodplain utilizing the following criteria:

- (a) Prohibit encroachment by new construction, including fill, within any designated floodway.
- (b) Protection of human life and health shall be maximized.
- (c) Prevent the construction of flood barriers which will unnaturally divert flood waters or which may increase flood hazards to other lands.

(d) Determine the availability of alternative locations, not subject to flooding, for any proposed use and the necessity and importance of the facility.

(e) The safety and access to the property in times of flood for emergency vehicles.

(f) The expected heights, velocity, duration, rate of rise and sediment transport of the flood waters.

Policy CON-1.1A. Policy CON-1.12A Building in the floodplain must be consistent with the requirements of the Federal Flood Insurance Program.

Objective CON-1.11

Adopt programs which will reduce the per capita consumption of **energy resources** within the City.

Policy CON-1.11A. The City will promote the use of energy efficient building practices by:

- (a) Adopting and making available to all City residents and developers technical assistance, training and marketing

documents about energy efficient building practices,

- (b) Adopting a Green Building Incentive Program to establish standards and guidelines for energy efficient building practices, including from the Energy

Efficiency chapter of the Florida Building Code,

- (c) Implementing the residential rehabilitation energy retrofit standard for the City's housing rehabilitation programs, and
- (d) Providing an expedited permitting program for energy efficient construction projects consistent with the Green Building Incentive Program adopted by the City.

Policy CON-1.11B. The City will continue to implement standards and policies to preserve conservation areas, open spaces, parks, forested

areas, treed roadways and similar areas that promote the natural sequestering of carbon dioxide and reduce the heat island effects within the City as identified in the Green Development Incentive Program adopted by the City.

Policy CON-1.11C. Maintain the Green Local Government Standard (Silver Level) certification through the Florida Green Building Coalition.

Policy CON-1.11D. Maintain the ISO 14001 certification for both the water and wastewater treatment facilities Environmental Management System standard known locally as the Greenway program designation.

Objective CON-1.12

Maintain an environmental **information** program.

Policy CON-1.12A. Expand the educational use of the Turkey Creek Sanctuary through informational brochures, articles in local newspapers, and similar methods.

Policy CON-1.12B. Produce and distribute an educational pamphlet (print and online) describing the City's natural resources and the means whereby each resident can contribute towards preserving these natural resources.

Policy CON-1.12C. The City shall assist in coordinating local environmental education efforts between the Marine Resources Council, the Melbourne Tillman Water Control District, and the Brevard County Soil and Water Conservation District/U.S. Soil Conservation Service by providing meeting facilities and data to these groups when requested.

Policy CON-1.12D. Develop educational kiosks in conservation areas.

GOAL INF-1

To provide for an adequate potable water supply and needed public facilities and services which meet current and future needs, maximizes existing facilities, protects the environment, and promotes orderly, compact urban growth.

Objective INF-1.1

To provide the economic, efficient provision of necessary water supply and distribution system, and other needed public facilities and services to meet current and projected future needs of the Palm Bay Water Service Area.

Policy INF-1.1A. The City shall examine water supply alternatives in order to determine if the water service agreement with the City of Melbourne to ensure future water supply needs to be updated.

Policy INF-1.1B. Continue to implement the goals and improvements program delineated in the Water Master Plan to improve hydraulics and fire flow.

Policy INF-1.1C. Prepare an updated Water Master Plan which establishes priorities for correcting any existing facility deficiencies,

projects water demand and supply, analyses, alternatives for meeting needs, including distribution and fire flow needs, and schedules 5-year capital improvement program.

Policy INF-1.1D. The City shall amend its water supply plan within 18 months of the amended regional water supply to incorporate alternative water supply projects, traditional water supply projects and conservation measures and reuse necessary to meet the water needs identified in Section 373.709(2)(a), F.S.

Objective INF-1.2

To implement procedures and a timetable to ensure that, at the time a development permit is issued, adequate facilities and facility capacity are available, or will be available when needed, to serve development.

Policy INF-1.2A. The City shall maintain the level of service standard stated in Policy CIE-1.5A for the provision of adequate potable water facilities.

Policy INF-1.2B. All changes or improvements to water facilities in the City shall be reviewed for compatibility with the adopted level of service standards.

Policy INF-1.2C. Development orders or permits shall not be issued until the potable water

facilities are ready to meet the adopted level of service standards for the projected demand, including the proposed project.

Policy INF-1.2D. The City of Palm Bay shall develop methodologies and procedures for updating facility demand and capacity information as development orders or permits are issued and shall prepare annual summaries of capacity and demand information.

Objective INF-1.3

To conserve and protect potable water resources, groundwater recharge areas, natural drainage features and environmentally sensitive lands.

Policy INF-1.3A. Develop methodologies, performance standards and procedures for reviewing all development plans prior to issuance of a development order or permits for compliance in protection and conservation of potable water resources, groundwater recharge areas, and environmentally sensitive lands.

Policy INF-1.3B. Identify and develop Land Development Regulations to protect local prime recharge areas as well as any groundwater and surface water resources.

Policy INF-1.3C. Support the well-plugging program of the SJRWMD to protect the surface and Floridan aquifer water resources from potential pollution by reporting free-flowing well sites to the district by public education through newsletters and/or brochures.

Policy INF-1.3D. The City shall continue to promote and develop public education programs to establish an awareness of the need for water conservation and to affect a reduction in home water use. Topical information should include lawn irrigation, planting and landscaping with native flora, water saving devices, and commercial/industrial recycling programs.

Policy INF-1.3E. The City shall develop and adopt Land Development Regulations which encourage

each large water user to use the lowest acceptable water quality.

Policy INF-1.3F. The City shall develop and adopt Land Development Regulations which do not encourage irrigation but encourage the most efficient irrigation methods and use of greywater or highly treated wastewater for large irrigation uses, rather than groundwater, surface water, or potable water.

Policy INF-1.3G. Coordinate with the St. Johns River Water Management District and the Melbourne-Tillman Water Control District to develop programs and methodologies to maintain water tables needed by private and public wells.

Policy INF-1.3H. The City shall update its Wellhead Protection Ordinance to be consistent with Chapter 62-521, F.A.C.

Policy INF-1.3I. The City shall encourage water conservation measures that promote and encourage the use of low impact development techniques such as those that use the Florida Water Star Program.

Policy INF-1.3J. Utilize conservation measures such as the utilization of reclaimed water, leak detection and repair programs, fixture exchanges, and public education.

Objective INF-1.4

Funding priority shall be given to new potable water facilities located within the adopted urban service areas.

Policy INF-1.4A. The City shall include provisions in the CIP process for giving priority to potable water capital improvements located in the urban service areas.

Policy INF-1.4B. Ensure that any extension of the distribution system does not contribute to urban sprawl.

GOAL INF-2

To provide for adequate sanitary sewer services and needed public facilities and services which meet current and future needs, maximize existing facilities, protect the environment, and promote orderly, compact urban growth.

Objective INF-2.1

Correct existing sanitary sewer facility deficiencies.

Policy INF-2.1A. The City shall fund all improvements needed to correct existing deficiencies in the 5-Year Capital Improvements Program.

Policy INF-2.1B. Continue intergovernmental coordination with the City of Melbourne.

Policy INF-2.1C. Improvements shall be in accordance with the recommendations of the Sanitary Sewer Master Plan and the 5-Year Capital Improvement Program.

Objective INF-2.2

At the time a development permit is issued, facilities and facility capacity, meeting all adopted LOS standards shall be available to serve the development.

Policy INF-2.2A. The City shall maintain the level of service standard stated in Policy CIE-1.5A for the provision of adequate sanitary sewer facilities.

Policy INF-2.2B. Any changes or improvements in sanitary sewer facilities in the City shall be compatible with the adopted level of service standards.

Policy INF-2.2C. The City of Palm Bay shall develop methodologies and procedures for

updating facility demand and capacity information as development orders or permits are issued, and shall prepare annual summaries of capacity and demand information.

Policy INF-2.2D. Development orders or permits shall not be issued until the sanitary sewer facilities are ready to meet the adopted level of service standards for the projected demand, including the proposed development.

Objective INF-2.3

To conserve and protect potable water resources, groundwater recharge areas, natural drainage features, and environmentally sensitive lands that might be affected by sanitary sewer systems.

Policy INF-2.3A. The City of Palm Bay shall develop and incorporate into the Land Development Regulations methodologies,

performance standards and procedures for reviewing all development plans, prior to issuance of development orders or permits, for compliance

in protection and conservation of water resources, groundwater recharge areas, and environmentally sensitive lands.

Policy INF-2.3B. Prohibit uses that would be detrimental to aquifer recharge areas. Prohibited uses that include disposal of hazardous substances, underground storage of hazardous substances, automotive and marine repair facilities, automotive impounding yards, automotive and marine paint and body shops, solid waste disposal activities, new sanitary sewage treatment plants, including privately owned package plants and septic systems.

Policy INF-2.3C. When adopted, the City shall coordinate with the Florida Department of Environmental Protection (FDEP) to implement the Basin Management Action Plan (BMAP) for the Indian River Lagoon Basin. The BMAP is the "blueprint" for restoring the impaired waters of the Indian River Lagoon by reducing pollutant loadings to meet allowable loadings established in a Total Maximum Daily Load (TMDL). The City will continue to coordinate with the Florida Department of Environmental Protection and St Johns River Water Management District to implement the (TMDL) program.

Objective INF-2.4

Funding priority shall be given to new sanitary sewer facilities located within the adopted urban service area.

Policy INF-2.4A. The City shall include provisions in the CIP process for giving priority to sanitary

sewer capital improvements located in the urban service area.

GOAL INF-3

Minimize the amount of solid waste generated by the City of Palm Bay and protect the citizens and natural resources of the City from the results of improper handling of hazardous wastes.

Objective INF-3.1

To reduce the amount of solid waste generated per capita by the City of Palm Bay.

Policy INF-3.1A. Work closely with the City's hauler and Brevard County to understand the amounts of solid waste generated by the City of Palm Bay.

Policy INF-3.1B. Based upon more specific knowledge of wastes generated, determine what additional local recycling, recovery or decomposing programs would be appropriate and develop such programs.

Policy INF-3.1C. Enlist support of local environmental groups in the development and implementation of recycling programs.

Policy INF-3.1D. Promote the benefits of the selected solid waste reduction programs by various public informational mechanisms.

Policy INF-3.1E. Encourage safe disposal of hazardous waste.

Policy INF-3.1F. The City shall maintain the level of service standard stated in Policy CIE-1.5A for the provision of adequate solid waste facilities.

Objective INF-3.2

Programs, policies, and enforcement be undertaken by the City to reduce littering and illegal dumping.

Policy INF-3.2A. Increase public awareness of problems and cost to taxpayers resulting from littering and illegal dumping.

Policy INF-3.2B. Increase enforcement of anti-littering laws to more effectively reduce littering.

Objective INF-3.3

Build public awareness of hazardous waste programs available to the community.

Policy INF-3.3A. Continue to participate in the development and implementation of the Brevard Prepares Local Mitigation Strategy.

Policy INF-3.3C. If determined appropriate, pursue federal and/or state grants to finance solutions.

Policy INF-3.3B. Policy INF-2.3B Meet with Brevard County and other governmental agencies to identify potential or existing hazardous waste problems in the City and gain awareness of mechanisms available to provide solutions.

Policy INF-3.3D. Provide a centralized location for disbursement of general public informational pamphlets and appropriate contact personnel information.

Objective INF-3.4

To protect the functions of natural drainage features, aquifer recharge areas, and affected land uses from any future landfills that might be located in the City.

Policy INF-3.4A. The City shall coordinate with Brevard County and any other Governmental agencies in the siting of any landfills to ensure

that natural drainage features, aquifer recharge areas, and land uses are buffered and protected from such facilities.

Objective INF-3.5

Objective Funding priority shall be given to new solid waste services within the adopted urban service area.

Policy INF-3.5A. The City shall request Brevard County to give funding priority for new solid waste services within the City's urban service area.

GOAL INF-4

To provide adequate drainage facilities and services which meet current and future needs, affords reasonable protection from flooding, prevents and reduces degradation of surface and groundwater quality, maintains the functions of natural systems, protects the environment, and promotes orderly, compact urban growth.

Objective INF-4.1

Provide for protection and conservation of the environment and natural drainage features, protection and reduction in the degradation of surface and groundwater quality, the prohibition of higher intensity development within flood prone areas, and to ensure the compatibility of future development.

Policy INF-4.1A. The City of Palm Bay shall establish water quality characteristics and non-point source control techniques for surface water runoff and drainage facility discharge, in conformance with the recommendation of the Brevard County Stormwater Program and the St. Johns River Water Management District criteria.

Policy INF-4.1B. The City of Palm Bay shall require that all new development be compatible with, and developed in conformance with, the Stormwater Management and Conservation Ordinance.

Policy INF-4.1C. The City shall request the Melbourne-Tillman Water Control District to

model a 50-year and a 100-year storm event to determine the extent the system will be able to carry away water and the effect of the downstream discharge of water into the Turkey Creek and into the Indian River.

Policy INF-4.1D. The City shall develop, in conjunction with appropriate agencies, a monitoring program for urban stormwater runoff to identify specific areas with high pollutant loads, and to assess implementation/performance of water control techniques and requirements designed to protect, restore and maintain the chemical, physical and biological integrity of the areas surface and groundwater resources.

Objective INF-4.2

To ensure the economic, efficient provision of drainage and stormwater management facilities to meet current and future needs of the non- Melbourne-Tillman Water Control District area of the City..

Policy INF-4.2A. The City of Palm Bay shall continue to operate the drainage system facilities, increase its level of maintenance of drainage facilities, and continue to acquire property or

easements to ensure maintenance of facilities systemwide.

Policy INF-4.2B. The City shall continue to implement the recommendations for

improvements contained within the Stormwater Management Master Plan, especially as they relate to: (1) upgrading the system, to accommodate at least the 10-year, 24-hour design storm; (2) implementing regular updates of facilities mapping as improvements are accomplished; (3) accounting for sea level rise; (4) preparing an updated schedule for providing improvements; and, (5) encouraging new developments to effect recommended area drainage system improvements.

Policy INF-4.2C. The City shall prepare an updated Stormwater Management Master Plan which establishes priorities for correcting existing drainage system facility problems or deficiencies, projects needed improvements, analyzes alternatives for providing needed improvements, and schedules 5-year capital improvement program.

Policy INF-4.2D. The City shall expand the "Old Palm Bay" Stormwater Management Master Plan

study area and mapping to include all drainage facilities and systems within (1) the coastal zone; (2) all the land area south of Turkey Creek to the City limits; and, (3) that portion of the land area between Port Malabar Boulevard and the C-1 Canal, which discharges to the east directly into Turkey Creek, and the Indian River. In addition, the off-site area and impacts of stormwater flowing into the district from the north (Melbourne) and the south (Malabar) shall be quantified. [STAFF: IS THIS STILL NECESSARY?]

Policy INF-4.2E. The City shall continue to provide the City of Melbourne, Brevard County and the Town of Malabar with City stormwater management plans, and regulations for shared watersheds/basins and shall request reciprocal actions.

Policy INF-4.2F. The City shall maintain the level of service standard stated in Policy CIE-1.5A for the provision of adequate stormwater management facilities..

--	--

Policy INF-4.2G. The City shall maintain the level of service standard stated in Policy CIE-1.5A for the provision of adequate stormwater management facilities.

Objective INF-4.3	Funding priority shall be given to new drainage facilities located within the adopted urban service area.
--------------------------	---

Policy INF-4.3A. The City shall include provisions in the CIP process for giving priority to drainage capital improvements located in the urban service area.

(Ord. 2015-56, passed 02-04-16)



INTERGOVERNMENTAL COORDINATION

Table of Contents

1.0	INVENTORY OF EXISTING INTERGOVERNMENTAL COORDINATION EFFORTS	1
1.1	Countywide Agencies and Adjacent Municipalities	1
1.2	Regional Coordination	3
1.2.1	East Central Florida Regional Planning Council	3
1.2.2	St. Johns River Water Management District	3
1.2.3	Marine Resources Council	3
1.3	State Coordination	3
1.4	Federal Coordination	4
2.0	CONSIDERATIONS FOR ADVANCING EQUITY IN INTERGOVERNMENTAL COORDINATION EFFORTS	6

INTRODUCTION

The purpose of the *Intergovernmental Coordination Element* is to ensure the appropriate level of coordination between the City of Palm Bay and regional, state and federal agencies, special districts, and adjacent jurisdictions. The data and analysis portion of this Element provides direction for the future implementation of federal, state, and regional programs, grants, and assistance. Numerous programs exist which the City utilizes to implement its Comprehensive Plan and address the increasing demands of population growth on the City's services and public infrastructure. Coordination between Palm Bay and surrounding jurisdictions is crucial to ensure growth is managed in an orderly fashion, and future and current residents are provided with the necessary services. This Element also includes a discussion on advancing equity within the City through strategic intergovernmental coordination efforts.

1.0 INVENTORY OF EXISTING INTERGOVERNMENTAL COORDINATION EFFORTS

In order to ensure the adequate provision of services within the City proper, Palm Bay is charged with coordinating with multiple agencies, such as adjacent municipalities, Brevard County, and regional and state agencies. This section identifies the mechanisms that are in place for coordination with private entities and governmental agencies at various levels of government. A listing of each formal agreement and their expiration dates (if applicable) are included in **Table ICE-1**, organized by expiration date:

1.1 *Countywide Agencies and Adjacent Municipalities*

As shown in **Table ICE-1**, the City of Palm Bay has utilized multiple intergovernmental cooperation mechanisms, such as interlocal and franchise agreements, to further its ability to serve its citizens. These mechanisms are described below in alphabetical order.

Community Redevelopment District

The Bayfront Community Redevelopment Agency (CRA) was established in 1999 to remove and reduce blight in the district, facilitate economic renewal and attract new capital investment. To establish the CRA, Palm Bay leaders engaged Brevard County in discussions to implement the tax increment finance (TIF) district with the County's participation. As a home rule charter county, Brevard County holds the authority to grant CRAs through the delegation of authority process. The CRA is a separate public entity created by local municipality to be able to implement redevelopment activities in Florida Statutes Chapter 163. The CRA was originally created to sunset after 30 years and may be extended if goals have not been completed by the original time frame. The CRA's priorities include the redevelopment of blighted areas, address affordable housing issues, encourage private investment and jobs, building renovations, gateway signage and placemaking efforts, streetscaping, infrastructure improvement projects, development or redevelopment of neighborhood parks, and land acquisition.

Emergency Dispatch

The City of Palm Bay currently provides police and fire services within City limits. However, the City has an interlocal agreement with the Brevard County Sheriff's Office and Brevard County for county-wide dispatch services and mutual aid.

Fuel Tax

The City and Brevard County, pursuant to Section 336.025(3)(a)(1), Florida Statutes, have entered into an interlocal agreement to provide for the division and distribution of proceeds stemming from a six-cent local option fuel tax.

Joint Planning Agreement

Joint Planning Agreements (JPAs) are interlocal agreements between public agencies that promote cooperation between governments for planning purposes. A city may enter into agreements with counties for benefits such as coordinated planning activities, joint review of development plans, or the management of service provision (fire,

police, utilities, etc.). The City of Palm Bay had a JPA with Brevard County but that agreement expired on July 26, 2021, and a new agreement was not pursued.

Public Schools

Palm Bay has an interlocal agreement with Brevard Public schools, along with 16 other municipalities, for school location and planning to address future population growth and school enrollment. Brevard County, the municipalities and the school board are required to have this agreement pursuant to Florida Statutes Section 163.01, Section 163.31777(1), and Section 1013.33. Benefits from this agreement include better coordination of new schools in time and place with land development, greater efficiency by placing schools to take advantage of existing and planned roads, utilities, and parks, improved student access and safety, better defined urban form by locating and designing schools to serve as community focal points, greater efficiency and convenience by co-locating schools with other community facilities, reduction of pressures contributing to urban sprawl, and support of existing neighborhoods by appropriately locating new schools and expanding exiting schools.

Purchasing Cooperative

On August 9, 2011, the Brevard County Board of County Commissioners approved an interlocal agreement to allow participation in a purchasing arrangement to be known as the Brevard County Public Entity Purchasing Cooperative. Its purpose is to work toward soliciting annual bids that all agencies can obtain the benefits and efficiencies. Membership is open to all public entities within Brevard County. The mandate to procurement offices is to ensure that the public entity is upholding its fiduciary responsibility in the use of public funds and tangible assets, and the cooperative helps attain that goal.

Soil & Water Conservation

The Brevard Soil and Water Conservation District (Brevard SWCD) was established in 1950 under Florida Statutes Chapter 582 to promote and encourage the conservation of soil, water, and related natural resources. The Brevard SWCD's mission is to provide the administration of programs to conserve soil and improve water quality and quantity on private lands in Brevard County. Brevard SWCD works closely with the US Department of Agriculture Natural Resource Conservation Service to establish ways to conserve water, prevent soil erosion, convert irrigation systems, and inform the public about conservation problems.

Solid Waste

The City of Palm Bay has an agreement with Republic Services of Florida for the collection of solid waste, recycling, yard and bulk waste from residential and non-residential customers. Additionally, residents can drop off household waste to the Sarno Landfill Drop-off Center located in Melbourne.

Transportation

The Space Coast Transportation Planning Organization reviews and administers all policies and procedures for state and federal transportation funding. It was established on October 19, 1977 to provide transportation planning services for Brevard County. The SCTPO responsibility is to manage a continuing, cooperative, and comprehensive planning process that results in the development of transportation plans and programs. The plans created by the SCTPO serve as a framework to make transportation decisions throughout all of Brevard County including Palm Bay.

Water

The Melbourne-Tillman Water Control District is a Special District established in 1922 by the Florida Legislature under Ch.2001-336 for the purpose of providing a water management system to prevent damage from flooding, erosion, and excessive drainage. The district covers approximately 100 square miles and includes portions of unincorporated Brevard County, the City of Palm Bay, and the City of West Melbourne. The district owns and maintains over 2300 acres of canal right-of-way in 163 miles of canals.

1.2 REGIONAL COORDINATION

The primary regional agencies that the City coordinates with include the East Central Florida Regional Planning Council (ECFRPC), the St. Johns River Water Management District (SJRWMD), and the Marine Resource Council (MRC).

1.2.1 East Central Florida Regional Planning Council

The ECFRPC, created in 1962, covers Brevard, Lake, Marion, Orange, Osceola, Seminole, Sumter and Volusia counties and their 78 municipalities. The Planning Council maintains a strategic regional policy plan intended to guide and inform local decision makers in a manner that leads towards the implementation of the Central Florida Regional Vision to promote sustainable growth. The plan looks at natural resources, economic development, transportation, emergency preparedness, affordable housing, energy and climate change, water, community design, and agriculture.

1.2.2 St. Johns River Water Management District

The Water Management Districts were created in 1972 when the state legislature passed the Water Resources Act. The St. Johns River Water Management District (SJRWMD) covers 18 counties in northeast and east-central Florida. Its purpose is to ensure a long-term supply of drinking water; to protect and restore the health of the water bodies in the district; to educate the public about water conservation; and to control and set the rules for water use. The district is responsible for developing and maintaining a regional water supply plan (RWSP) to identify needs and recommend strategies for meeting future water demands of urban and agricultural uses, as well as the environment. The plan highlights areas where current sources of water will not meet future demands and evaluates alternative water source options, including water conservation, to meet those demands. The District has prepared individual plans for 3 planning regions (Central Florida, Central Springs/East Coast, and North Florida). The City of Palm Bay is covered by the Central Springs/East Coast (CSEC) regional water supply plan. This plan provides the water supply planning information utilized in the City of Palm Bay's water supply work plan.

1.2.3 Marine Resources Council

In 1983, a group of Florida Tech professors created a non-profit organization to find ways to reverse the damage being done to the Indian River Lagoon. Today, the mission of the Marine Resource Council (MRC) is to improve water quality and to protect and restore the fish and wildlife resources of the Indian River Lagoon, coastal waters, inshore reefs, and the watershed by advocating and using sound science, education, and public involvement. The City of Palm Bay is one of the MRC partners. The MRC maintains a comprehensive water quality monitoring program and collects and analyzes weekly water quality data. It also purchases buffer lands along the Indian River lagoon and grows and plants native shoreline and wetland plants. The MRC informs the community and advocates behavior that will have a positive impact on the lagoon.

1.3 STATE COORDINATION

The City of Palm Bay also coordinates with a multitude of state agencies. These agencies focus on areas such as community development, transportation, and natural resources, and many of them set standards and regulations that the City needs to follow. The City coordinates with the following agencies regarding state resources and programs.

- Florida Fish and Wildlife Conservation Commission (FWCC)
- Florida Department of Environmental Protection (FDEP)
- Florida Division of Archives

- Department of Economic Opportunity (DEO)
- The Department of Children & Families (DCF)
- Florida Department of State (FDOS)
- Florida Department of Transportation (FDOT)
- Department of State, Division of Historical Resources (DHR)
- Florida Department of Agriculture and Consumer Services (FDACS)

1.4 *FEDERAL COORDINATION*

In addition to required coordination with state agencies, Palm Bay is also required to coordinate with Federal agencies that enforce federal regulations, particularly in the areas of emergency management and environmental protection. Many federal offices set standards and regulations that the City needs to follow. The federal agencies the City regularly coordinates with are as follows:

- Federal Emergency Management Administration (FEMA)
- Environmental Protection Agency (EPA)
- United States Army Corps of Engineers (ACOE)
- United States Fish and Wildlife Service (FWC)
- Federal Office of Coastal Zone Management
- US Department of Housing and Urban Development
- Federal Aviation Administration (FAA)

Table ICE-1: Formal Agreement Inventory

Type & Purpose of Agreement	Parties Involved in Agreement	Expiration Date (if provided)
Franchise agreement for solid waste and recycling collection services	<i>The City of Palm Bay &</i> Republic Services of Florida, L.P.	June 1, 2030¹
Interlocal agreement for public school facility planning and school concurrency	<i>The City of Palm Bay &</i> <ul style="list-style-type: none"> Brevard County School Board of Brevard County Cities of Cape Canaveral, Cocoa, Cocoa Beach, Indian Harbour Beach, Melbourne, Rockledge, Satellite Beach, Titusville, West Melbourne Towns of Grant-Valkaria, Indialantic, Malabar, Melbourne Beach 	None (Ongoing until Terminated)
Interlocal agreement for emergency dispatch and communication	<i>The City of Palm Bay &</i> <ul style="list-style-type: none"> Brevard County Brevard County Sheriff's Office Cities of Cocoa, Cocoa Beach, Indian Harbour Beach, Melbourne, Rockledge, Satellite Beach, Titusville Town of Indialantic 	None (Ongoing until Terminated)
Cooperative Purchasing Interlocal Agreement to cooperate with other municipalities in the procurement of certain goods and services to avoid duplicative efforts and obtain the benefits of volume purchasing.	<i>The City of Palm Bay &</i> <ul style="list-style-type: none"> Brevard County School Board of Brevard County Canaveral Port Authority Eastern Florida State College Cities of Cape Canaveral, Cocoa, Cocoa Beach, Melbourne, Rockledge, Titusville Town of Melbourne Beach 	None (Ongoing until Terminated by any party)
Interlocal agreement for community redevelopment	<i>The City of Palm Bay &</i> <ul style="list-style-type: none"> Bayfront Community Redevelopment Agency Brevard County 	2024 (may be extended in five-year increments)
Interlocal agreement for regional transportation planning	<i>The City of Palm Bay &</i> <ul style="list-style-type: none"> Brevard County Cities of Cape Canaveral, Cocoa, Cocoa Beach, Indian Harbour Beach, Melbourne, Rockledge, Satellite Beach, Titusville, West Melbourne Towns of Indialantic, Melbourne Beach Space Coast Transportation Planning Organization Canaveral Port Authority FDOT 	None
Highway Maintenance Memorandum of Agreement (ASJ36) for the City to maintain the right of way of FDOT-owned roads defined in the agreement	<i>The City of Palm Bay &</i> FDOT	None

Type & Purpose of Agreement	Parties Involved in Agreement	Expiration Date (if provided)
and FDOT to compensate the City		
State Highway Lighting Maintenance and Compensation Agreement (AM154) for the City to maintain the State Highway Lighting Systems and FDOT to compensate the City	<i>The City of Palm Bay & FDOT</i>	None
Traffic Signal Maintenance and Compensation Agreement (ARZ43) for the City to maintain Traffic Signals and Devices owned by FDOT and FDOT to compensate the City.	<i>The City of Palm Bay & FDOT</i>	None
¹ 10 years after commencement date (May 29, 2020); can be renewed for additional 2-year periods, renewal periods cannot exceed 4 years		

Source: City of Palm Bay, 2022

2.0 ADVANCING EQUITY IN INTERGOVERNMENTAL COORDINATION EFFORTS

As the City of Palm Bay continues to grow with higher densities and intensities of development, it intends to explore the idea of expanding its boundaries and would benefit from a joint planning agreement (JPA) with Brevard County. It will also explore the idea of establishing a JPA or Interlocal Service Boundary Agreement (ISBA) with the Town of Grant-Valkaria and the Town of Malabar to facilitate the provision of services within the designated area. This would also help establish specific roles and responsibilities for each jurisdiction within their given JPA/ISBA area. Generally, an JPA/ISBA sets guidelines for coordinating annexations, fire protection, utility services, development applications, land development regulations, comprehensive plan amendments, solid waste, and economic development, and provides a predictable framework for cooperation and growth within the jurisdictions.

No additional agreements or coordination efforts are anticipated or needed in the near future. However, as current agreements begin to expire or are up for renewal, each agreement's terms and conditions will be analyzed based on current and future conditions of the City.

GOAL ICE-1

Effective coordination with federal, state, regional, and local jurisdictions and agencies to maximize efficiency in providing services and facilities.

Objective ICE -1.1

Coordinate growth and development with neighboring jurisdictions and agencies.

Policy ICE-1.1A. The Growth Management Department shall coordinate requests for development approval with appropriate adjacent jurisdictions, special districts, the East Central Florida Regional Planning Council, state agencies and federal agencies through written notification to affected jurisdictions soliciting comments/ input. Request that this policy be reciprocated.

Policy ICE-1.1B. The City shall utilize the ECFRPC informal mediation process to resolve land use conflicts between adjacent RPC member governments and Palm Bay when such conflicts cannot be resolved locally.

Policy ICE-1.1C. The City shall request comments and recommendations from the Brevard County Planning Department on all proposed annexations. Comments and recommendations received shall be included as a part of the staff reports presented to the City Council.

Policy ICE-1.1D. The City shall continue to utilize its membership on the Facilities Planning Committee of the School Board to coordinate

population projections and facility needs and siting.

Policy ICE-1.1E. The City shall continue to coordinate the expansion of public infrastructure necessary to support school locations with the Facilities Planning Committee.

Policy ICE-1.1F. The City shall continue to be represented on committees or advisory groups for Brevard County which advise the County Commission on the location of facilities of countywide significance.

Policy ICE-1.1G. All special districts located within the City of Palm Bay shall submit public facilities reports to the City as required by Section 189.08, Florida Statutes.

Policy ICE-1.1H. Although not listed as a military base requiring land use compatibility cooperation in Section 163.3175, F.S., the City will continue to collaborate with the Malabar Air Force Base Annex to ensure the economic vitality of the community and the base's operations are protected.

Objective ICE -1.2

Coordinate with the appropriate agencies to implement the policies from other elements of this Plan.

Policy ICE-1.2A. Coordinate with the Chamber of Commerce, interested developers, and other

groups to attract clean, light industry that will employ the local labor force.

Policy ICE-1.2B. The City of Palm Bay shall continue to coordinate with the Melbourne-Tillman Water Control District regarding implementation of the established drainage LOS standards.

Policy ICE-1.2C. The City will work with FDOT to:

- (a) Jointly develop the “Master Plan” for public use and access to the shoreline;
- (b) Provide scenic overlooks to the Indian River;
- (c) Assure that future U.S. 1 improvements include the provision for a bicycle facility to allow City residents safe and convenient access to the shoreline; and
- (d) Restore and enhance the scenic quality of the Coastal Zone area.

Policy ICE-1.2D. Advise Brevard County of the need for a Countywide and Comprehensive Environmental Education Program which would organize an environmental education network between public agencies, local sources and schools.

Policy ICE-1.2E. The City will help coordinate environmental education efforts between the

Marine Resources Council, the Melbourne-Tillman Water Control District, the Brevard County Soil and Water Conservation District and other applicable entities through the Parks and Recreation Department’s support of the Sanctuary’s Nature Interpretation Center.

Policy ICE-1.2F. The City will coordinate planning and implementation activities with the Melbourne Tillman Water Control District through appointment of City representatives on the Melbourne Tillman Water Control District governing board.

Policy ICE-1.2G. The City shall continue to work with local, state, and federal agencies to provide housing meeting the needs of all citizens of Palm Bay.

Objective ICE -1.3

The City shall continue to coordinate with the Brevard County School Board to ensure that the City Comprehensive Plan and School Board plans and programs are consistent, reflect City and School Board needs, provide for adequate educational facilities and implement school concurrency pursuant to state law and interlocal agreements.

Policy ICE-1.3A. The City shall coordinate with the Brevard County School Board to ensure school sites are available to accommodate projected increases in enrollment.

Policy ICE-1.3B. The City shall continue to participate as members of School Board committees established in the Interlocal Agreement to assist with the coordination of

school placement, review of School Board data, development of student enrollment projections, identification of development trends, and similar common concerns.

Policy ICE-1.3C. The City shall provide the School Board with applications for new residential development for concurrency

review/determinations in accordance with the provisions of the Interlocal Agreement.

Policy ICE-1.3D. An applicant may proceed with development, notwithstanding a failure to satisfy school concurrency, if the development is:

- (a) consistent with the comprehensive plan.
- (b) the CIE and the School Board of Brevard County's educational facilities plan provide for facilities adequate to serve the development, or
- (c) the applicant demonstrates that the facilities needed as a result of the project can be reasonably provided; and the city and school board accept proportionate share payments.

Policy ICE-1.3E. Update the Capital Improvement Program annually to be consistent with the School Board's capital improvement program.

Policy ICE-1.3F. In conjunction with the School Board, the City will continue to implement the Interlocal Agreement including procedures for:

- (a) Coordinating and sharing information
- (b) Placement of schools and ancillary facilities
- (c) Amendment and review of the Comprehensive Plan
- (d) Site design and development plan review
- (e) Implementation of school concurrency
- (f) Interlocal Agreement amendments
- (g) Resolution of disputes



CAPITAL IMPROVEMENTS

Table of Contents

1.0	INTRODUCTION	1
2.0	INVENTORY AND ANALYSIS OF NEEDED FACILITIES	1
2.1	Public Education Facilities	1
2.2	Transportation	2
2.3	Potable Water	2
2.4	Sanitary Sewer	2
2.5	Solid Waste	3
2.6	Drainage	3
2.7	Recreation/Open Space	3

1.0 INTRODUCTION

The purpose of the Capital Improvements Element (CIE) is to compile a list of potential improvements to public facilities identified in all of the other elements and their potential funding sources. According to state statutes, projects that impact the level of service standard are only required to be addressed. However, many of the projects and improvements mentioned in this element do not provide relief or mitigate adopted LOS for a particular facility. Additionally, the CIE includes a schedule for such improvements to ensure that adequate public facilities are provided in a timely manner.

The City relies on multiple funding sources to implement their capital improvements schedule (CIS), including the general fund, public private partnerships, local sales tax, grants, bonds, and state and federal funds. Most recently, the City launched their largest capital project in the history of the City – a \$150 million general obligation bond to resurface all local streets in the City, which was approved by referendum. This was necessary, in part, due to the three percent cap on the City's annual budget, year over year. With limited funds to facilitate maintenance and operations, the City has operated without a capital improvements program for nearly ten years.

For purposes of this element, capital improvement projects are those that impact capacity or the level of service for a particular facility. Although necessary and important to the quality of life in Palm Bay, the \$150 million to resurface local roadways is not considered a capacity enhancing project and thus not included in the CIS.

2.0 INVENTORY AND ANALYSIS OF NEEDED FACILITIES

Needed capital improvements are those that are necessary to meet the adopted level of service standards identified in other elements of this plan. The public facilities necessary to accommodate the adopted level of service for each facility are as follows:

2.1 PUBLIC EDUCATION FACILITIES

The City of Palm Bay continues to participate in the school concurrency in accordance with the interlocal agreement that was originally adopted in 2008 and recently revised in 2014. As residential amendments are considered by the City, capacity determination requests are processed with the School Board in advance of the amendments being adopted.

Policy 7130 and Administrative Procedures 7130.01 and 7130.02 of the School District's operating policy provide the implementation and management guidance for school concurrency in the county. The School Concurrency process is also outlined in the 2014 Interlocal Agreement for Public School Facility Planning and School Concurrency. There are 81 School Concurrency Service Areas in Brevard County, which also function as the school attendance boundaries.

Within the next five years, the School District has two planned elementary school improvements that will increase student stations in the south area of the county. One project includes classroom additions to West Melbourne School for Science and the other is a new elementary school in the south area of the county – no location has been identified. Both improvements may provide additional capacity for residents in Palm Bay depending on the location of the attendance boundaries of the schools. The City will continue to coordinate with school district on planning efforts and will assist the district on siting new schools to accommodate population growth in the City.

2.2 TRANSPORTATION

The future of the City's transportation network will be predicated on the enhancement of alternative modes of travel for residents and visitors alike. As discussed in the Transportation Element, the City's current network is dominated by the automobile. Ensuring that roadway network improvements are designed to be context sensitive and address multiple modes will begin to ease the reliance on automobile travel.

Due to the current state of the built environment in and surrounding the City, traditional transportation concurrency should be utilized until the City establishes a mobility plan and prioritizes advancements in non-motorized modes and public transportation. Until such time, LOS standards should be changed to allow greater capacity on City roads. Currently, local roads have an adopted LOS of C. Not only is this not advisable from a practical perspective, this standard is essentially unachievable in a City laid out like Palm Bay. To avoid having to build more road lanes to accommodate future traffic, the adopted LOS should be changed to D. During the next evaluation period of the plan, a mobility plan and mobility priorities should be explored.

As illustrated in the Transportation Element, if the City continues to grow at a typical rate, several roadways will exceed the adopted level of service standard in the near and long terms. It would be impractical and cost prohibitive to widen these facilities in most cases. That makes it extremely important for the City focus on mobility improvements in the future rather than adding more travel lanes. Existing facilities can achieve greater capacity by implementing a few technology improvements that make the system more efficient. For example, many congested corridors in the region are equipped with Intelligent Transportation Systems (ITS) that increase the efficiency of roads through communication and data collection.

The City has a number of roadway improvements on its Capital Improvements Program. Many of these improvements are part of the \$150 million road repaving bond that the City has been implementing for the last four years. Although these improvements are necessary due to the deteriorated road conditions, these projects do not increase capacity on existing facilities and therefore are not eligible for inclusion in the CIS in the comprehensive plan.

2.3 POTABLE WATER

The City's potable water facilities consist of three water treatment plants a central potable water distribution system. The City's water treatment facilities have a 15.5 million galls per day (mgd) rated capacity which will accommodate the projected population well beyond 2045. There are no known deficiencies within the service area, nor are there any anticipated in the near term. There are no capacity improvements planned at this time. There are discussions of potentially extending distribution lines toward the southeast of the City to accommodate new development. [STAFF: PLEASE CONFIRM.]

2.4 SANITARY SEWER

Palm Bay has an existing wastewater system that includes two wastewater treatment facility (WWTF) permitted to treat 15.5 million of gallons per day (mgd). Currently, there are no sanitary sewer deficiencies within the footprint of the service area. However, 32,000 households are not being served by the existing system. If all households in the City were to connect to the sanitary sewer system today, it would not have the capacity to accommodate the current population let alone the projected population growth. However, there are no capacity improvements planned at this time. There are discussions of potentially extending distribution lines toward the southeast of the City to accommodate new development. [STAFF: PLEASE CONFIRM.]

2.5 SOLID WASTE

Solid waste from the City is hauled by Republic Services to the Sarno Road Landfill in Melbourne, which has approximately one month of capacity left (end of February 2023). Solid waste will be sent to the Central Disposal Facility in Cocoa until the new landfill on US 192 is built in 2026.

2.6 DRAINAGE

There are no current or projected deficiencies in the City's stormwater management system. The City is in the process of updating its stormwater master plan. The City will continue to participate in the water management district's stormwater capacity and water quality regulations and coordinate with the Melbourne-Tillman Water Control District.

During the next update of the City's Stormwater Master Plan, particular attention needs to be paid to the lack of stormwater facilities along many of the substandard roads constructed by the General Development Corporation. In some cases, stormwater management may be addressed by providing swales and culverts along the existing facilities to alleviate flooding issues and provide a means to treat run-off. Additionally, the updated Stormwater Master Plan should address sea level rise, coastal resiliency, and sustainability as methods for adapting to changing future conditions.

2.7 RECREATION/OPEN SPACE

The parks and recreation system in the Palm Bay currently has no deficiencies based on the adopted LOS and is projected to remain that way until 2040. Although not a comprehensive planning issue, the City is adopting policies to prepare a parks master plan in the immediate future to assess the accessibility of its public parks. While the comprehensive plan will continue to use a park acreage-based LOS, the city is adopting policies to consider the $\frac{3}{4}$ mile service area radius from parks for the provision of future parks. A policy has also been added to create an inventory of public sites to determine if any of them could be used for a neighborhood park.

The City will evaluate the location of private recreational facilities in existing and future communities as part of the development of the parks master plan. While these facilities are usually owned and operated by homeowner associations and have restricted access, they do serve community members within close proximity and help reduce public expenditures.

The City currently enjoys an ample inventory of parks and recreation facilities. No major capital improvement needs have been identified. However, the parks master plan exercise will be used to assess the current shape of the park amenities and equipment and set a plan for repairs or replacement. To date, parks and recreation improvements outlaid in the Capital Improvements Program provide for maintenance and rehabilitation of existing facilities but do not address the LOS of parks and recreation.

GOAL CIE-1

The City shall provide adequate services and facilities in a timely and efficient manner.

Objective CIE-1.1

Provide all needed facilities, including those related to growth, existing deficiencies and replacement, as identified in the Five-Year Capital Improvements Schedule.

Policy CIE-1.1A The City shall continue to adopt a Five-Year Capital Improvements Schedule as part of its annual budgeting process.

Policy CIE-1.1B The Five-Year Capital Improvements Program adopted as part of the City's annual budget shall be consistent with the Five-Year Capital Improvements Schedule contained in this element.

Policy CIE-1.1C Annually update the Capital Improvements Schedule to reflect a change in conditions, completed projects and to extend the Schedule out for a new five-year period and annually submit the Capital Improvement Schedule to the Florida Department of Economic Opportunity, which does not get reviewed as an amendment to the plan.

Policy CIE-1.1D The City shall include in the Capital Improvements Schedule all capital improvements identified in the Comprehensive Plan as needed within the 5-year time frame of the Schedule.

Policy CIE-1.1E The City shall establish an evaluation system for determining capital improvement priorities which considers the following:

1. Elimination of public hazards;
2. Impact to the annual budget;
3. Elimination of capacity deficits identified in the Plan;
4. Projected growth patterns and the needs for future development and redevelopment; and
5. Plans of county, state and regional agencies which provide public facilities within the City.

This system shall be used to evaluate proposed capital improvement projects and shall relate to the Comprehensive Plan's elements.

Objective CIE-1.2

Limit public expenditures that subsidize development in identified coastal high hazard area of the City to those identified in the Coastal Management Element.

Policy CIE-1.2A The City shall strive to maintain the existing capacity of public facilities and services in the coastal high hazard area through replacement and maintenance only. New public facilities are to be avoided.

Policy CIE-1.2B Public expenditures for meeting other goals, objectives and policies of the Coastal Management Element such as public access and

recreation/conservation objectives shall be permitted.

Policy CIE-1.2C The City will investigate funding sources for the urban waterfront study from the Florida Department of Environmental Protection, the Federal Office for Coastal Management, the Florida Department of Transportation and other applicable entities.

Objective CIE-1.3

Impact fees shall be utilized to ensure that all new development bear a fair share of the cost of improvements necessary to maintain adopted level of service standards.

Policy CIE-1.3A The City shall continue to assess impact fees for water, sanitary sewer, recreation and roads.

Policy CIE-1.3B The City, through its development ordinances, shall not exact from new development more than its fair share of improvement costs.

Objective CIE-1.4

The City shall manage its finances to ensure the provision of capital improvements for existing and future development by annually adopting a Five-Year Capital Improvements Program as part of the annual budget adoption.

Policy CIE-1.4A The City shall continue to seek a reasonable method by which to promote sewer and water hookups in vested subdivisions.

Policy CIE-1.4B The City shall continue to maximize the use of grants and other forms of funding.

Policy CIE-1.4C The annual capital budget shall be consistent with the adopted Capital Improvements Schedule adopted in the Capital

Improvements Element of the Comprehensive Plan.

Policy CIE-1.4D The City shall continue to manage its finances to conform to the requirements of the Florida Constitution, State Statutes, including F.S. 200.181, and the Charter of the City of Palm Bay.

Policy CIE-1.4E The City hereby adopts by reference Resolution No. 2022-45, as amended, as the Five-Year Capital Improvements Schedule.

Objective CIE-1.5

The City shall adopt level of service standards as part of its concurrency management system to ensure adequate public facilities are available at time of development or within a reasonable timeframe.

Policy CIE-1.5A The City shall utilize the following Level of Service Standards (LOS) in assessing the ability of the infrastructure to support development:

Wastewater Treatment:

City of Palm Bay Service Area

Capacity: The City of Palm Bay allocates and reserves 210 gallons per day (GPD) per equivalent residential connection for the Palm Bay Service Area sanitary sewer system.

Collection and Transmission System: The City of Palm Bay's collection and transmission system will provide for safe and dependable conveyance of wastewater from customers to the master meter and then on to the treatment and disposal facilities. The future level of service for Palm Bay provided wastewater treatment and effluent disposal shall include secondary wastewater treatment through filtration adequate for public reuse through golf course irrigation and other public area irrigation within the City.

Compliance with Standards: The City's wastewater system generally complies with the standards for wastewater and the Florida Administrative Code, Chapters 62.

Potable Water:

City of Palm Bay Service Area

Capacity: The City of Palm Bay allocates 225 GPD per equivalent residential connection for the Palm Bay Service Area.

Pressure: The City of Palm Bay Service Area water system shall maintain a minimum fire flow pressure of 20 psi, a minimum domestic flow pressure during a peak hourly event of 35 psi, and a maximum system pressure of 75 psi.

Water Quality: To meet the primary and secondary drinking water standards and to provide aesthetic, clear and enjoyable water supplies.

Drainage:

Capacity: Level of service shall be the 10-year return frequency, 24-hour duration storm event for all areas of the City.

Treatment: Stormwater shall be treated pursuant to the requirements of the Stormwater Management and Conservation Ordinance including but not limited to, detention of the first inch of runoff from impervious surfaces for a period of not less than seventy-two (72) hours.

Solid Waste:

The City hereby adopts a LOS of 7.51 pounds per capita per day for solid waste.

Recreation:

Neighborhood Parks:	4 acres/1000 population
Community Parks:	4 acres/1000 population

Transportation:

The LOS standards for all roadway segments shall be:

1. LOS D for all State freeway and principal arterial segments:
 - a. U. S. Highway #1;
2. LOS E for all State minor arterial segments;
 - a. Babcock Street from North City Limits to Malabar Road;
 - b. Malabar Road from I-95 to the east City Limits;
3. LOS E for all County roadway segments;
 - a. Palm Bay Road from Minton Road to Robert J. Conlan Boulevard;
 - b. Minton Road from North City Limits to Malabar Road; and
 - c. Babcock Street from Malabar Road to South City Limits.
4. LOS D for all City roadway segments.

These LOS standards shall be based on the "urban area" peak hour service volume tables contained in "2013 Quality/Level of Service Handbook" as adopted by the Florida Department of Transportation. Detailed analysis based on the "2010 Highway Capacity Manual" is also acceptable.

Policy CIE-1.5B [THERE IS NO EVIDENCE OF THIS AREA IN THE PLAN.] The cost for provision and expansion of facilities and services shall be the responsibility of those benefitting. Dedications, construction of improvements, impact fees, or other funding alternatives may be required.

Policy CIE-1.5C The City shall not approve extension of urban growth beyond areas that can be adequately served by public services and facilities.

Policy CIE-1.5D Develop and incorporate into the land development regulations criteria that provide development orders and permits for new development and redevelopment shall only be granted if all public facilities (which meet level of

service standards of this Comprehensive Plan) will be available concurrent with the impacts of the development.

Policy CIE-1.5E The provision and extension of public services and infrastructure shall be based upon the Capital Improvements Element, and development orders and permits specifically conditioned on the availability of facilities and services necessary to serve the proposed development.

Policy CIE-1.5F The City shall continue to provide funding in the CIP to correct existing deficiencies and to provide public facilities to developments for which development orders have been issued.

Policy CIE-1.5G The City shall continue to implement a Concurrency Management System and Proportionate Fair Share Ordinance as adopted in the Land Development Regulations to ensure that development permits are not issued until it is determined that all LOS criteria established by this Plan are maintained. The Concurrency Management System must be consistent with the requirements of Chapter 163, F.S. and shall utilize the following minimum criteria.

- a. For sanitary sewer, solid waste, drainage, and potable water facilities, at a minimum, a local government shall meet the following standards to satisfy the concurrency requirements:
 1. A development order or permit is issued subject to the condition that, at the time of the issuance of a certificate of occupancy or its functional equivalent, the necessary facilities and services are in place and available to serve the new development; or
 2. At the time the development order or permit is issued, the necessary facilities and services are guaranteed in an enforceable development agreement, pursuant to Section 163.3220, Florida Statutes, or an agreement or development order issued pursuant to Chapter 380,

Florida Statutes, to be in place and available to serve new development at the time of the issuance of a certificate of occupancy or its functional equivalent.

b. For parks and recreation facilities, at a minimum, a local government shall meet the following standards to satisfy the concurrency requirement:

1. At the time the development order or permit is issued, the necessary facilities and services are in place or under actual construction; or
2. A development order or permit is issued subject to the condition that, at the time of the issuance of a certificate of occupancy or its functional equivalent, the acreage for the necessary facilities and services to serve the new development is dedicated or acquired by the local government, or funds in the amount of the developer's fair share are committed; and
 - a. A development order or permit is issued subject to the conditions that the necessary facilities and services needed to serve the new development are scheduled to be in place or under actual construction not more than one year after issuance of a certificate of occupancy or its functional equivalent as provided in the adopted local government 5-year schedule of capital improvements; or
 - b. At the time the development order or permit is issued, the necessary facilities and services are the subject of a binding executed agreement which requires the necessary facilities and services to serve the new development to be in place or under actual construction not more than one year after issuance of a certificate of occupancy or its functional equivalent; or

c. At the time the development order or permit is issued, the necessary facilities and services are guaranteed in an enforceable development agreement, pursuant to Section 163.3220, Florida Statutes, or an agreement or development order issued pursuant to Chapter 380, Florida Statutes, to be in place or under actual construction not more than one year after issuance of a certificate of occupancy or its functional equivalent.

c. For transportation facilities (roads and mass transit designated in the adopted local government comprehensive plan), at a minimum, a local government shall meet the following standards to satisfy the concurrency requirement.

1. At the time a development order or permit is issued, the necessary facilities and services are in place or under construction; or
2. A development order or permit is issued subject to the conditions that the necessary facilities and services needed to serve the new development are scheduled to be in place or under actual construction not more than three years after issuance of a certificate of occupancy or its functional equivalent as provided in the adopted local government five-year schedule of capital improvements. The schedule of capital improvements may recognize and include transportation projects included in the first three years of the applicable, adopted Florida Department of Transportation five-year work program. The Capital Improvements Element must include the following policies:
 - a. The estimated date of commencement of actual construction and the estimated date of project completion.
 - b. A provision that a plan amendment is required to eliminate, defer, or delay

- construction of any road or mass transit facility or service which is needed to maintain the adopted level of service standard and which is listed in the five-year schedule of capital improvements; or
3. At the time a development order or permit is issued, the necessary facilities and services are the subject of a binding executed agreement which requires the necessary facilities and services to serve the new development to be in place or under actual construction no more than three years after the issuance of a certificate of occupancy or its functional equivalent; or
 4. At the time a development order or permit is issued, the necessary facilities and services are guaranteed in an enforceable development agreement, pursuant to Section 163.3220, Florida Statutes, or an agreement or development order issued pursuant to Chapter 380 Florida Statutes, to be in place or under actual construction not more than three years after issuance of a certificate of occupancy or its functional equivalent.
 5. The City may accept contributions from multiple applicants for a planned improvement if it maintains contributions in a separate account designated for that purpose.

(Ord. 2015-56, passed 02-04-16)



PRIVATE PROPERTY RIGHTS

GOAL PPR-1

In accordance with the legislative intent expressed in ss. 163.3161(10) and 187.101(3), that governmental entities respect judicially acknowledged and constitutionally protected private property rights, each local government shall include in its comprehensive plan a property rights element to ensure that private property rights are considered in local decision-making.

Objective PPR-1.1

The city will respect judicially acknowledged and constitutionally protected private property rights. To ensure these rights are protected, the following policies are established:

Policy PPR-1.A The right of a property to physically possess and control his or her interests in the property, easements, leases, or mineral rights.

Policy PPR-1.B The right of a property owner to use, maintain, develop, and improve his or her property for personal use or for the use of any

other person, subject to state law and local ordinance.

Policy PPR-1.C The right of the property owner to privacy and to exclude others from the property to protect the owner's possessions and property.

Policy PPR-1.D The right of a property owner to dispose of his or her property through sale or gift.



LAND DEVELOPMENT DIVISION

120 Malabar Road SE • Palm Bay, FL 32907 • Telephone: (321) 733-3042

Landdevelopmentweb@palmbayflorida.org

**COMPREHENSIVE PLAN OR FUTURE LAND USE MAP AMENDMENT
APPLICATION**

This application must be deemed complete and legible, and the original application with original signature(s) must be returned by the first day of the month during division office hours, with all enclosures referred to herein, to the Land Development Division, Palm Bay, Florida, to be processed for consideration the following month at the earliest by the Planning and Zoning Board. **Large Scale Amendments will require 60 days of review prior to a scheduled Planning and Zoning Board meeting.** The application will then be referred by the Planning and Zoning Board for study and recommendation to the City Council. You or your representative are required to attend the meeting(s) and will be notified by mail of the date and time of the meeting(s). The Planning and Zoning Board holds their regular meeting the first Wednesday of every month at 6:00 p.m. in the City Hall Council Chambers, 120 Malabar Road SE, Palm Bay, Florida, unless otherwise stated.

APPLICATION AMENDMENT TYPE:

☐

Small Scale (50 acres or Less)

☒

Text Amendment (Comp. Plan)

☐

Large Scale (More than 50 acres)

PARCEL ID(S):

N/A

TAX ACCOUNT NUMBER(S):

N/A

LEGAL DESCRIPTION OF THE PROPERTY COVERED BY THIS APPLICATION: (attach additional sheets if necessary):

N/A

SIZE OF AREA COVERED BY THIS APPLICATION (calculate acreage):

N/A

CITY OF PALM BAY, FLORIDA
COMPREHENSIVE PLAN OR FUTURE LAND USE MAP AMENDMENT APPLICATION
PAGE 2 OF 3

LAND USE CLASSIFICATION AT PRESENT OR PLAN SECTION AFFECTED (ex.: Commercial, Single Family, Policy CIE-1.1B, etc.):

Transportation, Recreation and Open Space, Housing, Conservation, Intergovernmental Coordination, Coastal Management, Capital Improvements, Infrastructure, and Private Property Rights Elements

LAND USE CLASSIFICATION DESIRED OR PROPOSED TEXT CHANGE (attach additional sheets if necessary):

See Attached

PRESENT USE OF PROPERTY:

N/A

STRUCTURES LOCATED ON THE PROPERTY: N/A

REZONING FILED IN CONJUNCTION WITH THIS APPLICATION: N/A

JUSTIFICATION FOR CHANGE (attach additional sheets containing supporting documents and evidence if necessary):

In compliance with Chapter 163, Florida Statutes

SPECIFIC USE INTENDED FOR PROPERTY:

N/A

THE FOLLOWING PROCEDURES AND ENCLOSURES ARE REQUIRED TO COMPLETE THIS APPLICATION:

☐

*Application Fee. Make Check payable to "City of Palm Bay."

☐

\$1,200.00 - Small Scale (50 acres or Less)

☐

\$2,000.00 - Large Scale (More than 50 acres)

☐

\$2,000.00 - Text Amendment (Comp. Plan)

CITY OF PALM BAY, FLORIDA

COMPREHENSIVE PLAN OR FUTURE LAND USE MAP AMENDMENT APPLICATION

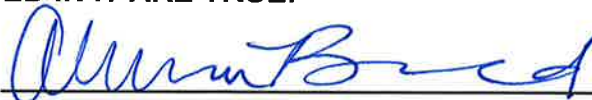
PAGE 3 OF 3

- ☐ Legal description of the subject property with a sketch of the legal. Also provide the site sketch on Memory Drive or Dropbox Link.
- ☐ List of legal descriptions of all properties within a 500-foot radius of the boundaries of the property covered by this application, together with the names and mailing addresses (including zip codes) of all respective property owners within the above referenced area. (This should be obtained for a fee from the Brevard County Planning and Zoning Department at (321) 633-2060.)
- ☐ Citizen Participation Plan. Refer to Section 169.005 of the Land Development Code for guidelines.
- ☐ School Board of Brevard County School Impact Analysis Application (if applicable). The application is obtained from the Planning and Project Management Department of the School Board of Brevard County at (321) 633-1000, extension 11418.
- ☐ Sign(s) posted on the subject property. Refer to Section 51.07(C) of the Legislative Code for guideline. Staff will provide a sign template.
- ☐ Where the property owner is not the representative for the request, a LETTER must be attached giving the notarized consent of the property owner(s) to a representative.

Name of Representative _____

I, THE UNDERSIGNED UNDERSTAND THAT THIS APPLICATION MUST BE COMPLETE AND ACCURATE BEFORE CONSIDERATION BY THE PLANNING AND ZONING BOARD/LOCAL PLANNING AGENCY AND CERTIFY THAT ALL THE ANSWERS TO THE QUESTIONS IN SAID APPLICATION, AND ALL DATA AND MATTER ATTACHED TO AND MADE A PART OF SAID APPLICATION ARE HONEST AND TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING COMPREHENSIVE PLAN OR FUTURE LAND USE MAP AMENDMENT APPLICATION AND THAT THE FACTS STATED IN IT ARE TRUE.

Owner Signature  **Date** 2/17/23
Printed Name Alexandra Bernard, Growth Management Director
Full Address 120 Malabar Road SE, Palm Bay, FL 32907
Telephone (321) 733-3042 **Email** alexandra.bernard@palmbayflorida.org

***NOTE: APPLICATION FEE IS NON-REFUNDABLE UPON PAYMENT TO THE CITY**



Please contact us with changes or cancellations as soon as possible, otherwise no further action needed.

PUBLICATION	TOLL-FREE	Local #	Email
Florida Today	888-516-9220	321-242-3632	BRELegals@gannett.com
Eagle	888-516-9220	321-242-3632	BREEagle@gannett.com
Reporter	888-516-9220	321-242-3632	BREReporter@gannett.com

Customer: CITY OF PALM BAY

Ad No.: 0005596550

Address: SUITE 201
PALM BAY FL 32907
USA

Run Times: 1

No. of Affidavits: 1

Run Dates: 02/16/23

Text of Ad:

Ad#5596550, 02/16/2023
CITY OF PALM BAY, FLORIDA
NOTICE OF PUBLIC HEARING
Notice is hereby given that a public hearing will be held by the Planning and Zoning Board/Local Planning Agency on March 1, 2023, and by the City Council on March 16, 2023, both to be held at 6:00 p.m., in the City Hall Council Chambers, 120 Malabar Road SE, Palm Bay, Florida, for the purpose of considering the following case(s):
1. CP-6-2023 - City of Palm Bay (Growth Management Department)
Adoption of updates to the City of Palm Bay Comprehensive Plan Transportation, Recreation and Open Space, Housing, Conservation, Intergovernmental Coordination, Coastal Management, Capital Improvements, Infrastructure, and Private Property Rights Elements.
If an individual decides to appeal any decision made by the Planning and Zoning Board/Local Planning Agency or the City Council with respect to any matter considered at this meeting, a record of the proceedings will be required and the individual will need to ensure that a verbatim transcript of the proceedings is made, which record includes the testimony and evidence upon which the appeal is based (FS 286.0105). Such person must provide a method for recording the proceedings verbatim.
Please contact the Palm Bay Land Development Division at (321) 733-3041 should you have any questions regarding the referenced cases.
Chandra Powell
Planning Specialist

ORDINANCE 2023-13

AN ORDINANCE OF THE CITY OF PALM BAY, BREVARD COUNTY, FLORIDA, AMENDING THE TRANSPORTATION, HOUSING, RECREATION AND OPEN SPACE, CONSERVATION, INTERGOVERNMENTAL COORDINATION, COASTAL MANAGEMENT, CAPITAL IMPROVEMENTS, INFRASTRUCTURE AND PRIVATE PROPERTY RIGHTS ELEMENTS OF THE COMPREHENSIVE PLAN OF THE CITY OF PALM BAY; PROVIDING FOR THE REPEAL OF ORDINANCES OR PARTS OF ORDINANCES IN CONFLICT HEREWITH; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City of Palm Bay has designated the Planning and Zoning Board as its Local Planning Agency and said Local Planning Agency held a public hearing on an amendment to the Comprehensive Plan on March 1, 2023, after public notice, and

WHEREAS, the City Council of the City of Palm Bay, pursuant to Chapter 163, Florida Statutes, held a public hearing on an amendment to the Comprehensive Plan on March 16, 2023, after public notice, and

WHEREAS, the City Council of the City of Palm Bay, pursuant to Chapter 163, Florida Statutes, submitted the amendment to the Florida Department of Economic Opportunity for review and comment, and

WHEREAS, the Florida Department of Economic Opportunity submitted a Comment Report regarding the amendment, and

WHEREAS, the City Council of the City of Palm Bay has considered the Comments provided and has addressed all items, and

WHEREAS, the City Council of the City of Palm Bay, pursuant to Chapter 163, Florida Statutes, held an adoption public hearing on the amendment to the Comprehensive Plan on **[DATE OF HEARING]**, after public notice, and

WHEREAS, the City Council of the City of Palm Bay desires to adopt said amendment to the Future Land Use Element of the Comprehensive Plan of the City of Palm Bay.

NOW, THEREFORE, BE IT ENACTED BY THE CITY COUNCIL OF THE CITY OF PALM BAY, BREVARD COUNTY, FLORIDA, as follows:

SECTION 1. The Comprehensive Plan of the City of Palm Bay, Brevard County, Florida, is hereby amended to provide for the changes to the Transportation, Housing, Recreation and Open Space, Conservation, Intergovernmental Coordination, Coastal Management, Capital Improvements, Infrastructure and Private Property Rights Elements as identified in Exhibit 'A', attached hereto and made an integral part hereof.

SECTION 2. All ordinances or parts of ordinances in conflict herewith are hereby repealed and all ordinances or parts of ordinances not in conflict herewith are hereby continued in full force and effect.

SECTION 3. This ordinance shall become effective thirty-one (31) days after the state land planning agency notifies the local government that the plan amendment package is complete. If timely challenged, an amendment does not become effective until the state land planning agency or the Administration Commission enters a final order determining the adopted amendment to be in compliance pursuant to Section 163.3184(3)(c)4, Florida Statutes. The Department only issues a final order for Expedited State Review amendments if they are challenged by an affected party.

Read in title only at Meeting 2023- , held on , 2023; and read in title only and duly enacted at Meeting 2023- , held on , 2023.

Rob Medina, MAYOR

ATTEST:

Terese M. Jones, CITY CLERK

City of Palm Bay, Florida
Ordinance 2023-13

Reviewed by CAO: _____

Applicant: City of Palm Bay
Case: CP-6-2023

cc: (date) Brevard County Property Appraiser
Applicant
Case File



PALM BAY
Vision
COMPREHENSIVE PLAN



CITY COUNCIL

Thursday, March 16, 2023

AGENDA

PROJECT BACKGROUND

PLANNING TEAM

EAR - BASED AMENDMENTS

VISION PLAN

COMP PLAN UPDATE

SCOPE

ELEMENTS

PUBLIC INPUT OVERVIEW

WORKSHOPS

PROJECT WEBSITE

BY THE NUMBERS

PROPOSED AMENDMENTS

ANTICIPATED HEARING SCHEDULE



PROJECT BACKGROUND

PLANNING TEAM



Chris
Dougherty
Project
Manager



Eric
Raasch
Principle
In Charge



Pat Tyjeski



Nick Hill



Katie Martin



Principal Planner

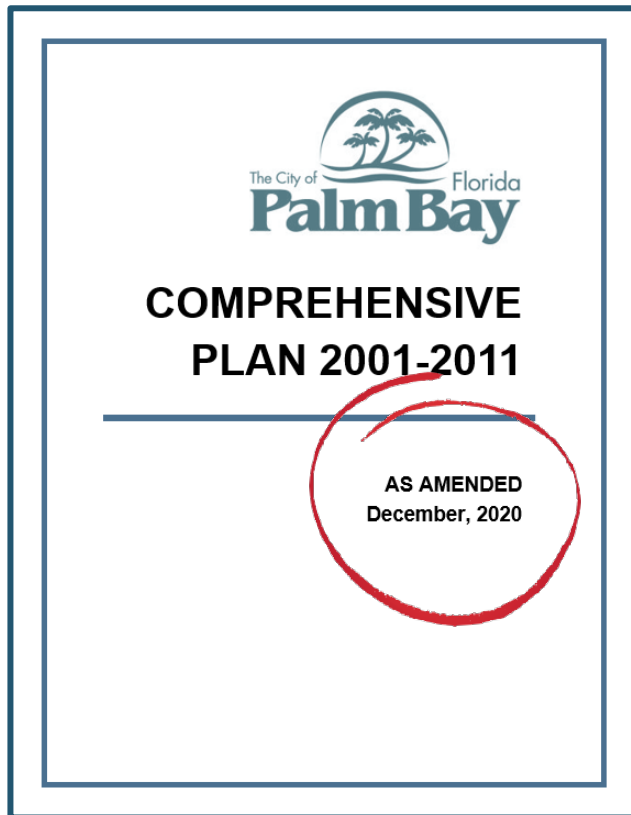
Project

Planners



PROJECT BACKGROUND

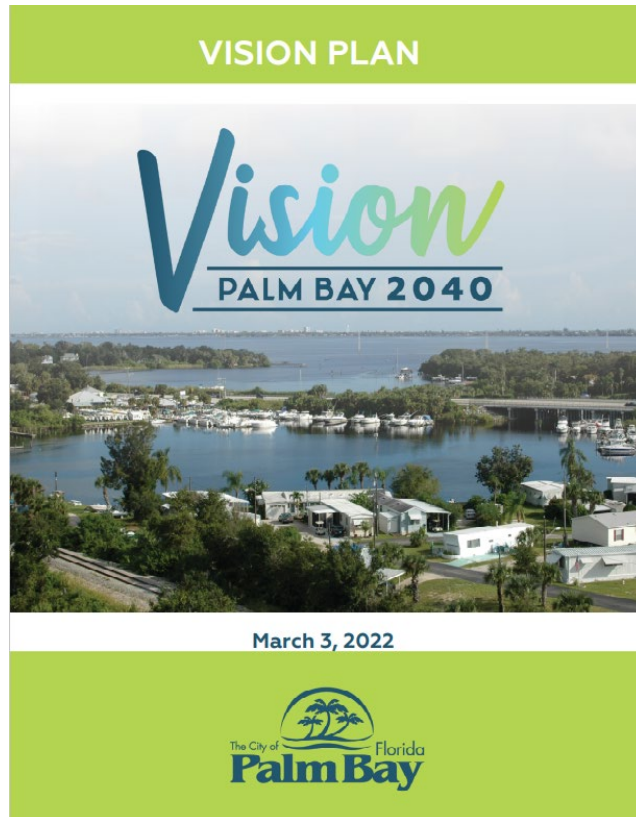
EAR - BASED AMENDMENTS



City of Palm Bay				
Florida Statutes Changed Since 2010				
Years	Source	Title	Description	Recommended Action
General Comments	NA	Change of agency name	Change 'Department of Community Affairs' to 'Department of Economic Opportunity'	There are no references to DCA.
	NA	Statute References	Update statute sections that have changed	Removed or updated specific statute sections throughout. Please note that not all statute changes are shown in this table. Most of the information in this table refers to Chapters 163 or 380 and old FAC rules.
	NA	Obsolete Timeframes and References	There are several outdated entities, projects, and reports that are discussed in the plan.	These should be removed or updated following the visioning process.
	NA	EAR Process	The current EAR process should be mentioned in the introduction	Update the plan to reference the current EAR process
	NA	Remove rule reference	FAC Rules 9J-5 and 9J-11 were folded into the statutes and need be updated throughout the plan.	References to 9J-5 throughout the plan were deleted
	NA	Miscellaneous Sections	Current Plan includes 11 elements and the following sections: - Acknowledgements - Introduction - Monitoring and Evaluation Procedures	Acknowledgements need to be updated to reflect the current board and staff members. Introduction was revised to incorporate the statute changes and other pertinent information. We may want to remove monitoring and evaluation procedures from the plan after the visioning process. It's not needed.
	NA	Numbering system	Each element starts the GOPs with Goal 1, making it difficult to cross-reference the GOPs.	We may want to address numbering during the full rewrite after the visioning process. The FLU, Housing, Conservation & Trans elements numbering is strange. What's the significance of 697?
2016 - 2018	Section 163.3177(6)(a)11	Amendments to Future Land Use Element to Address Military Base Compatibility (Chapter 2016-10, section 13, Laws of Florida)	Deletes this obsolete subsection which required local governments to transmit comprehensive plan updates or amendments to address compatibility of lands adjacent or closely proximate to existing military installations or lands adjacent to an airport to the state land planning agency by June 30, 2012.	There is an Air Force base annex, but it's not listed in 163.3175 and does not require compatibility cooperation.
	Section 163.3175(7)	Financial Reporting for Ex Officio Military Representatives on Local Boards (Chapter 2016-148, section 2, Laws of Florida)	Modifies this section to state that a representative of a military installation is not required to file a statement of financial interest pursuant to section 112.3145, F.S., solely due to his or her service on the local government's land planning or zoning board.	NA
	Section 163.3184	Process for Adoption of Comprehensive Plans or Plan Amendments (Chapter 2016-148, section 3, Laws of Florida)	Amends section 163.3184(2)(c) to modify the language pursuant to changes in section 380.06, F.S., to require state coordinated review of plan amendments that approve DRI-sized proposed developments; no substantive change *** Adds subsection 163.3184(5)(e)3 to provide that when an administrative law judge issues an order recommending that a plan amendment be found in compliance, the recommended order becomes the final order 90 days after	Updated FLU-7.1A to remove DRI from policy.

PROJECT BACKGROUND

VISION PLAN



Placemaking

ISSUES	STRATEGIC ACTION ITEMS
Missing Downtown/City Center(s)	Seek a developer for the City's New Downtown
Little to no Entertainment Venues	Establish an outdoor event/entertainment space to allow for signature City events
Perceived Negative City Identity	Capitalize on positive messaging and public relations
Land Development Regulations Lack Modern Approach (Suburban development pattern)	Establish in the comprehensive plan a 5-year evaluation cycle
Limited Redevelopment Opportunities within the Compound	Establish strategies to capitalize on the vacant land in the Compound
Does Not Feel Like a Destination	Explore the creation of a Downtown Palm Bay Vision and Master Plan
Accountability for Implementation of the Plan	Create a Comprehensive Plan Scorecard

Housing

ISSUES	STRATEGIC ACTION ITEMS
Lack of Affordability	Establish incentives for encouraging affordable housing
Not Enough 'Middle' Housing	Evaluate future land use densities and future land use map in the comprehensive plan
Missing High-End Housing	Encourage larger development projects to provide a broader range of housing products
Predominantly Single Family Housing Stock	Update the housing element to address workforce and affordable housing, homelessness, and diversity of housing types
Accessory Dwelling Units (ADU)	Promote newly created ADU ordinance
Missing Mixed-Use Residential/Live-Work Units	Evaluate infill opportunities for mixed use/ live-work opportunities
Homelessness	Address homelessness in Housing Element of Comprehensive Plan

City Investments

ISSUES	STRATEGIC ACTION ITEMS
Minority of Residents Connected to City-managed Water/Sewer	Increase connections to the potable water and wastewater collection systems
Drainage Concerns	Conduct a land use study surrounding potential interchanges along the new Heritage Parkway
Need for Youth & Senior Recreation Enhancement	Prepare a trails master plan to understand priorities for trail connections in the City
Aging Population	Enhance parks and rec system for all from youths to seniors by preparing a Parks & Rec Master Plan
Traffic Congestion – Limited East – West Connections	Study opportunities for new east-west routes in the City or adding capacity on existing corridors
Limited Pedestrian Connectivity	Prepare a bike/pedestrian connectivity master plan

Advancing Equity

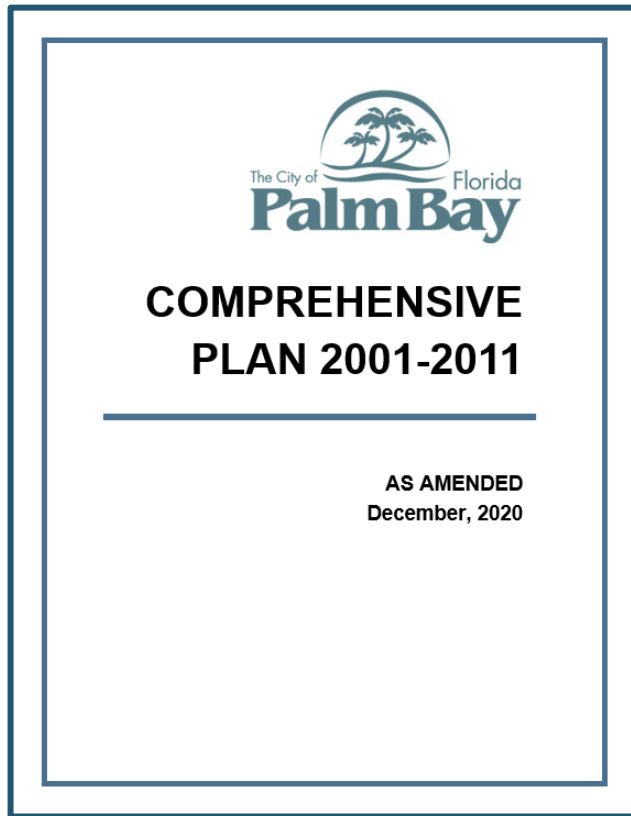
ISSUES	STRATEGIC ACTION ITEMS
Incompatible Land Uses in Residential Neighborhoods	Establish criteria for evaluating equity in the decision making process
Need for City Plans to Reflect City's Diversity	Establish an engagement program that focuses on generating more public participation from low-income and disadvantaged residents
Need to Address Economic Disparities	Conduct a needs assessment to understand barriers to accessing fresh foods, health care, transportation, and personal services
Synergy between Sustainability & Equity	Incorporate the sustainability action plan and advance equity throughout the comprehensive plan
Incorporate Sustainability Action Plan	Incorporate equity in the purpose of the community development board

Economic Sustainability

ISSUES	STRATEGIC ACTION ITEMS
Lack of Employment Diversity & Higher Wage Jobs	Cultivate and capitalize on the regional industry cluster unique to South Brevard
Underutilized & Blighted Land	Establish a strategic plan for revitalizing the Compound
Failure to Realize Tourism Potential (Eco-Tourism)	Make the City an eco-tourism destination
Predominantly Residential Land Uses on the Future Land Use Map	Develop an Economic Development Strategic Plan that outlines strategies for targeting industries, incentives, and enhancing quality of life
Lack of Employment Land Uses on the Future Land Use Map	Establish more job supportive future land uses (commercial, office, mixed use, and industrial) on the City's future land use map
Promote Economic Development	Create an Economic Development Strategic Plan to attract high-wage jobs, headquarters, and elevate the quality of life
Workforce Pipeline	Establish a clear connection between employment opportunities, training, and the labor force

COMPREHENSIVE PLAN UPDATE

SCOPE

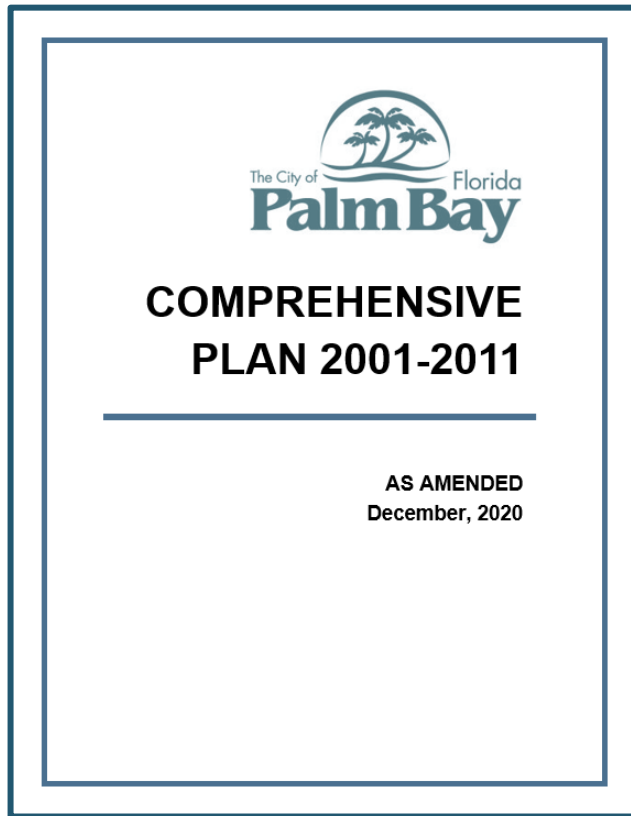


1. Update the Data & Analysis
2. Revise the Goals, Objectives, and Policies to:
 - Plan for future population growth
 - Implement the Palm Bay Vision
 - Ensure consistency with Florida Statutes
 - Improve quality of life
 - Provide foundation for the forthcoming LDC update

COMPREHENSIVE PLAN UPDATE

ELEMENTS

*Recommended for
Approval on 2/1!*



Land Use



Transportation



Housing



Coastal Management



Infrastructure



Recreation & Open Space



Conservation



Intergovernmental Coordination



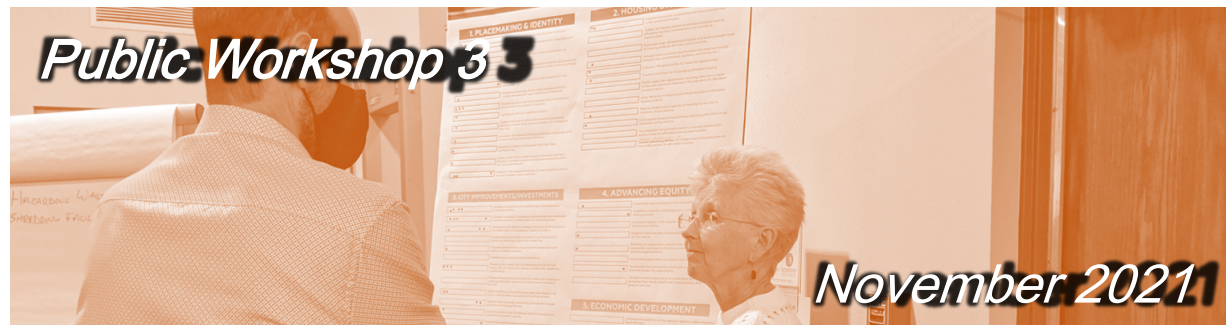
Capital Improvements



Private Property Rights

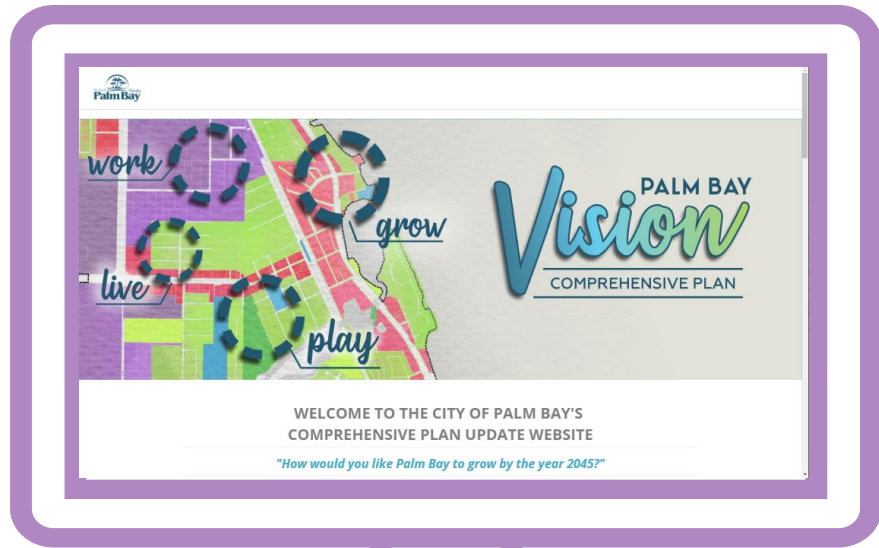
PUBLIC INPUT OVERVIEW

WORKSHOPS

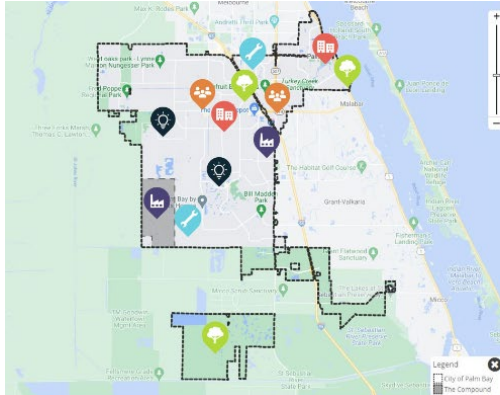


PUBLIC INPUT SUMMARY

PROJECT WEBSITE



Tinyurl. com /PalmBayPlanUpdate



Plan for the Future of Palm Bay using the Interactive Map

The City is seeking your input regarding how the Palm Bay community should grow over the course of the next two decades. Share your thoughts and perspectives on a wide variety of topics using our Interactive Map tool!

START 26 May 2022 END 24 Feb 2023

[Start](#)



Help the City Prioritize its Future Advancements in Equity

In the Palm Bay Vision Plan, the community expressed a clear desire to address potential inequities within the City. Yet, equity is an expansive topic which covers many facets of everyday life. To help the City determine which equity topics should take priority in future planning efforts, please take part in this interactive prioritization exercise.

START 26 May 2022 END 24 Feb 2023

[Start](#)

PUBLIC INPUT SUMMARY

BY THE NUMBERS

8,979 WEBSITE
VISITS

118 SURVEY
RESPONSES

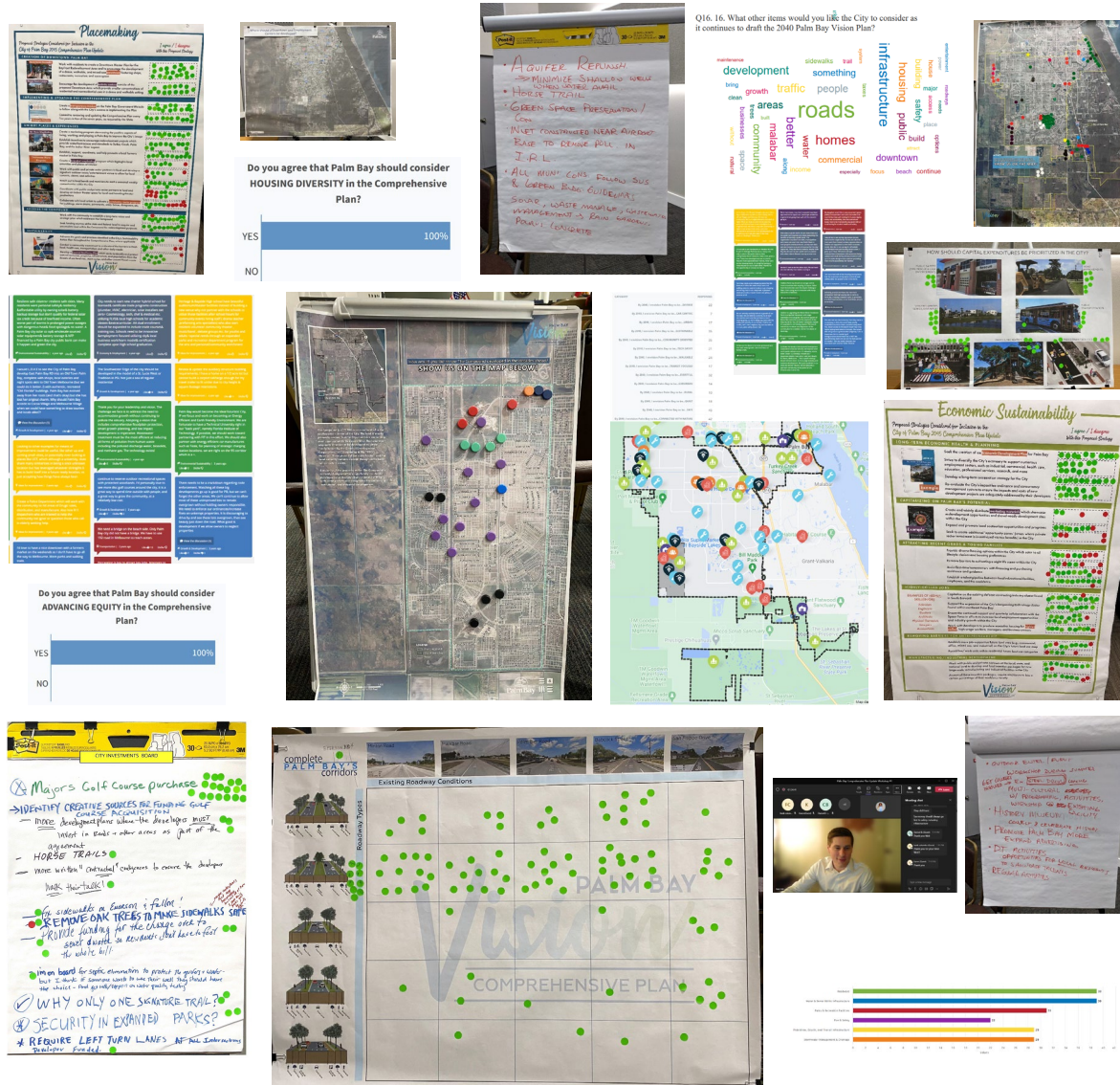
167 DOCUMENTS
DOWNLOADS

314 WORKSHOP
ATTENDEES

193 WEBSITE
COMMENTS

164 ACTIVITY
RESPONSES

PUBLIC INPUT SUMMARY



Development Impacts

The Compound

Sustainability

Mixed - Use Opportunities

Compatibility

Equity

Annexations

Entrepreneurship

Character

Densities/Intensities

Walkability

Missing - Middle Housing

Centers of Activity

Schools

Minority Owned Businesses

Fresh Foods

Preservation

Public Engagement

Employment

Ecotourism

Public Facilities & Services

Bayfront

Community Pride

Industrial Development

Education

Population Growth

Training

Retail & Restaurants

Partnerships

PROPOSED AMENDMENTS



PROPOSED AMENDMENTS



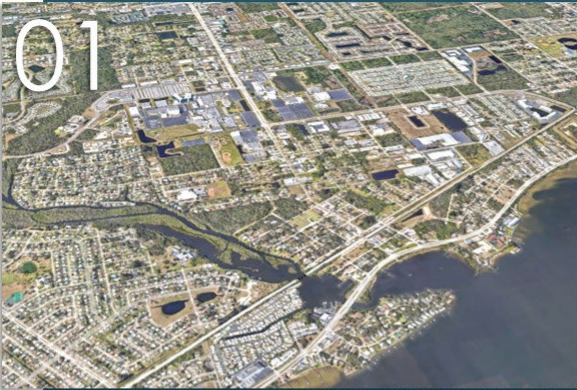
Length/Complexity. Deletes redundant, outdated, and conflicting language

Format. Improves formatting to allow for a more digestible reading experience

Consistency. Amends terms, references, and phrases to ensure internal consistency

PROPOSED AMENDMENTS

01



LAND USE



FLUC



Mixed-Use. Creates mixed-use designations of varying densities, intensities, and character

Special Planning Areas. Consolidates area-specific designations into the SPA FLUC

APPROVED FOR TRANSMISSION 3/2

Mo... ...on clearly and function of each FLUC

Initiatives. Lays the foundation for future planning initiatives within the City

Development. Clarifies the language regarding PUDs, compatibility, density, and more

PROPOSED AMENDMENTS



Roadway LOS. Changes to local roadway's LOS to match those implemented by the SCTPO

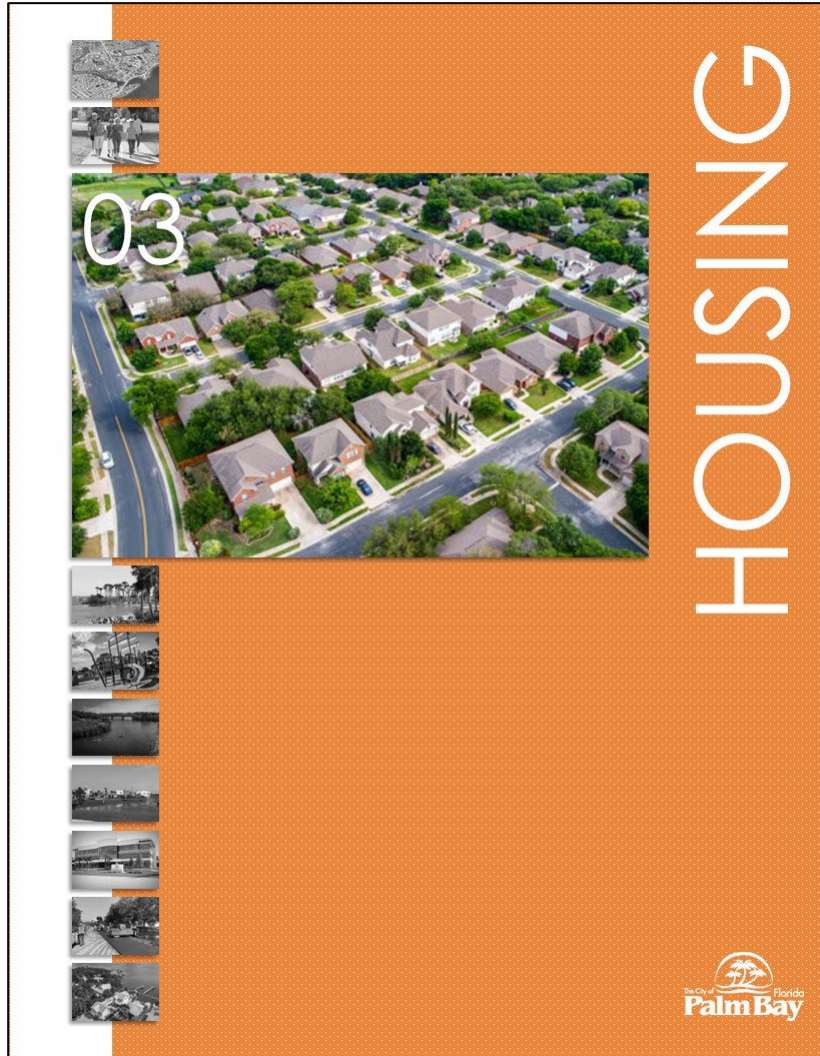
Mobility Study. Directs the City to evaluate all modes of travel and alternatives to concurrency

Vision Zero. Commits the City to advancing Vision Zero strategies

Parkway Study. Empowers the City to study the potential impacts of the new SJHP interchange

Parking Assessment. Directs the City to reevaluate its current parking standards

PROPOSED AMENDMENTS



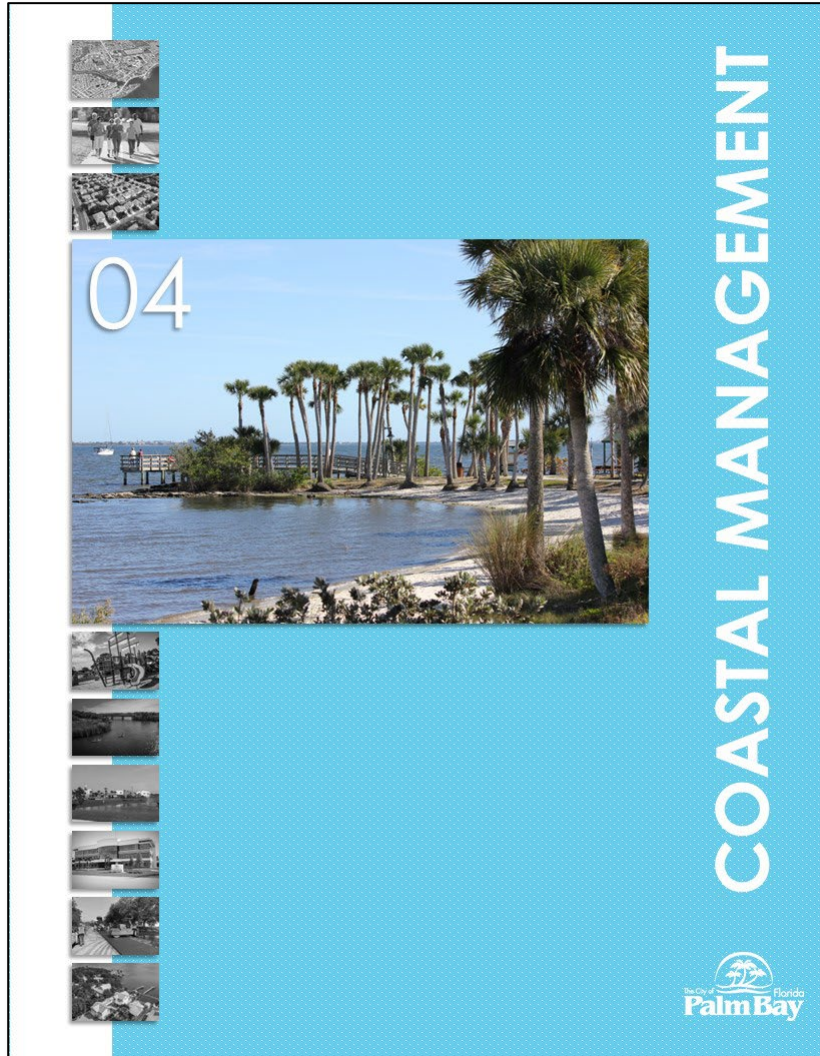
Missing Middle. Directs the City to permit missing middle housing in select residential zoning districts

Affordable Housing. Improves opportunities for increasing affordable housing supply by:

- Removing unnecessary barriers to development
- Providing development incentives & bonuses
- Supporting the activities of community land trusts
- Limiting the concentration of affordable housing units

Homelessness. Commits the City to evaluating opportunities to expand services to populations experiencing homelessness

PROPOSED AMENDMENTS



Coastal Resiliency Plan. Directs the City to develop a vulnerability assessment & resiliency plan

Coastal Management Area. Establishes a formal Coastal Management Area for planning purposes

Public Access. Includes new strategies for increasing public access to Palm Bay's waterfront

Evacuation. Identifies increased coordination efforts between jurisdictions to improve evacuation times

Shelters. Encourages the establishment of development incentives for providing onsite shelters within new residential projects

PROPOSED AMENDMENTS



Park LOS. Increased the LOS for neighborhood and community parks from 2 to 4 acres per 1,000 persons

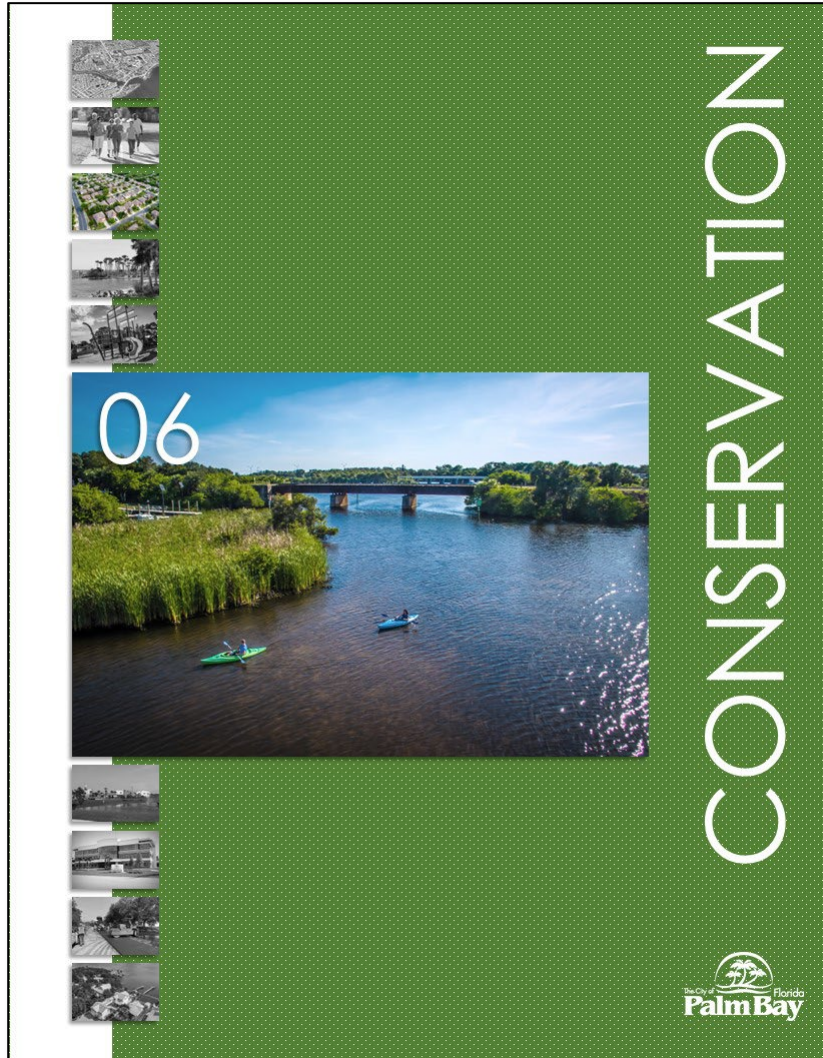
Master Plan. Directs the City to develop a Parks & Rec. Master Plan (to be updated every 57 years)

Service Area. Recommends using a neighborhood parks service area of 3/4 mile

Park Development. Eliminates a policy which states the City will develop 8 acres of parkland per year

Open Space. Replaces the Citywide LOS standard for open space with a 20% minimum open space requirement for new development

PROPOSED AMENDMENTS



Irrigation. Directs the City to consider converting publicly-owned properties from potable water irrigation to reuse irrigation, where feasible

Pollution. Commits the City to promoting alternative transportation methods in efforts to reduce automobile pollution

PROPOSED AMENDMENTS

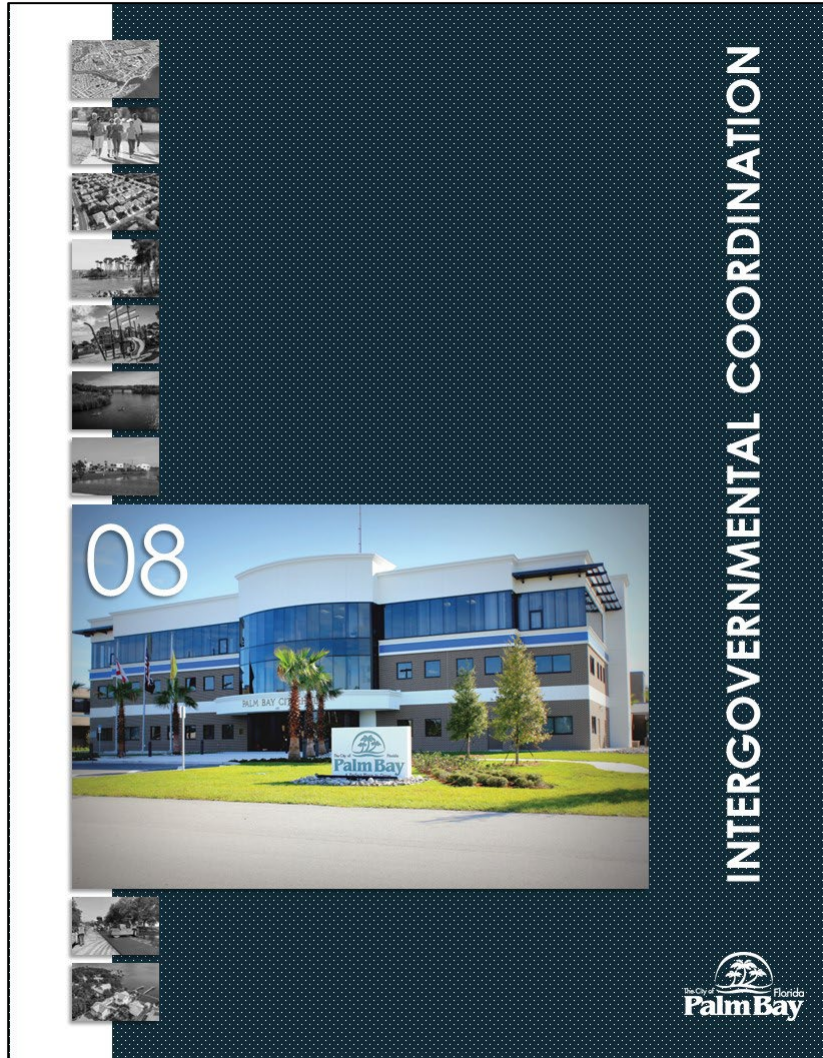


Water Conservation. Establishes new water conservation measures

Prohibit Uses. Provides a list of prohibited uses that would be detrimental to aquifer recharge areas

BMAP. Directs the City to adopt and implement the Basin Management Action Plan for the Indian River Lagoon Basin

PROPOSED AMENDMENTS

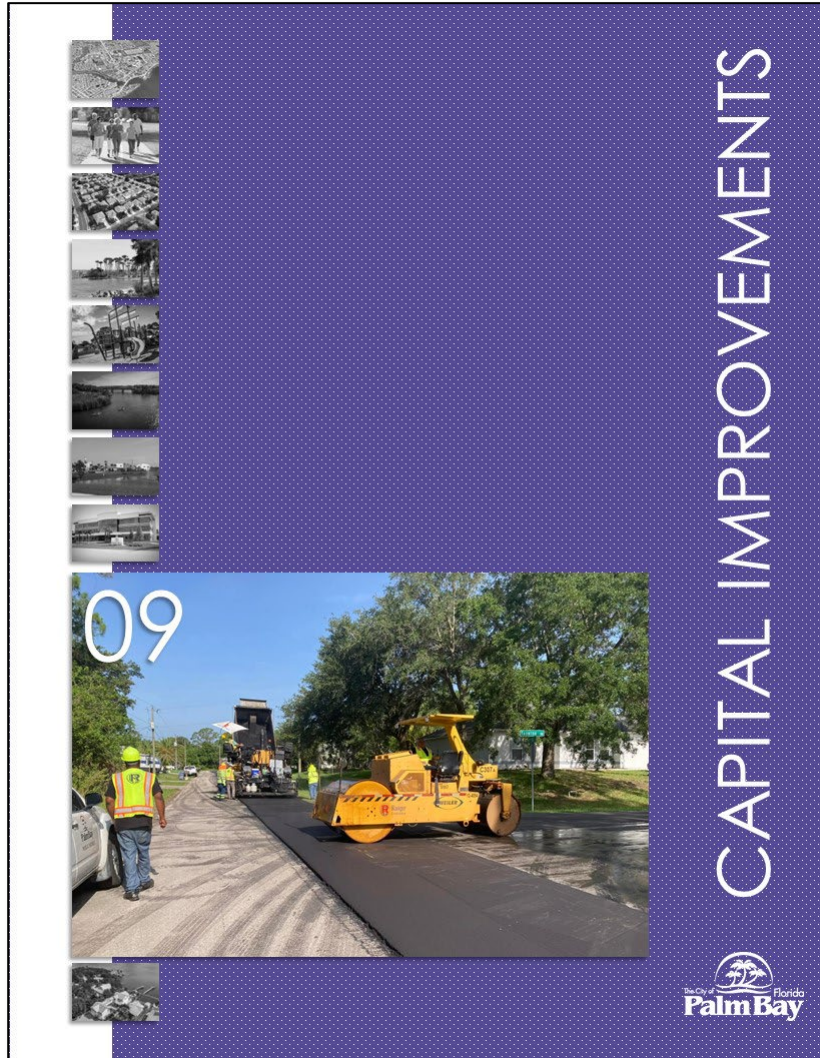


Redundancies. Eliminated policies regarding initiatives that are already established in other Elements of the Plan

Co-Location. Deleted references to the colocation of parks and schools

JPA Removed references to the now-defunct joint planning agreement with the County

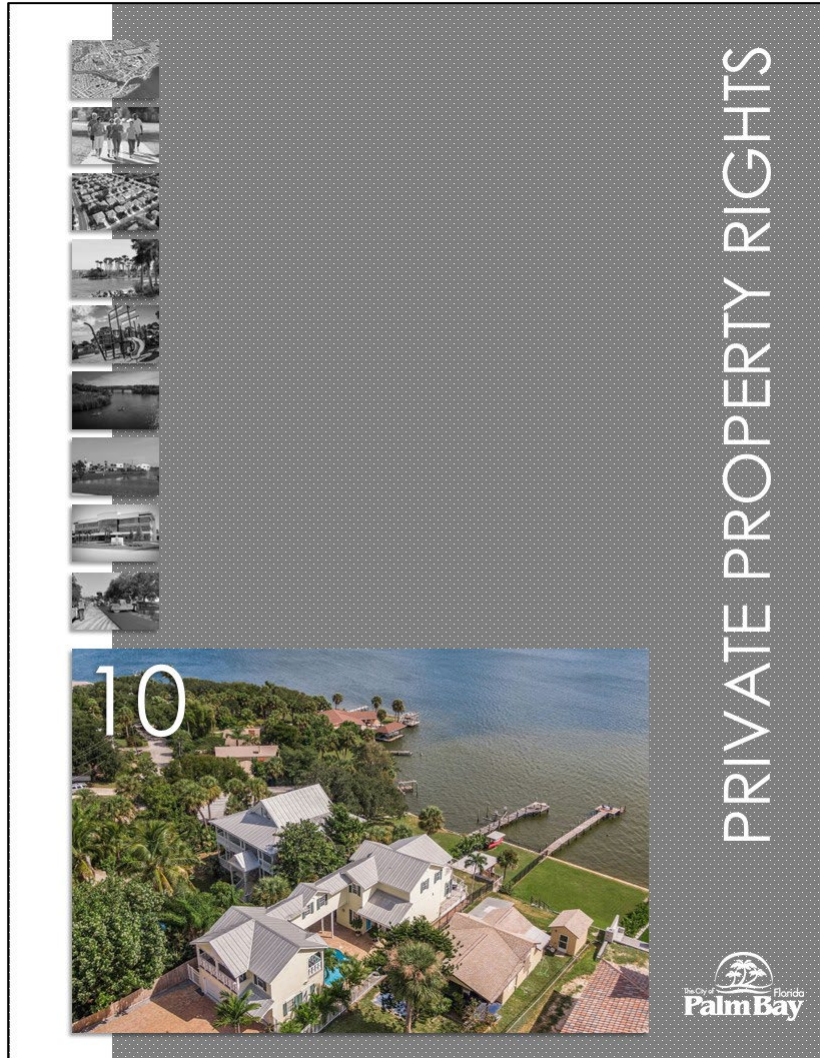
PROPOSED AMENDMENTS



Adoption of the CIS. Adopts the Five-Year Capital Improvement Schedule by reference

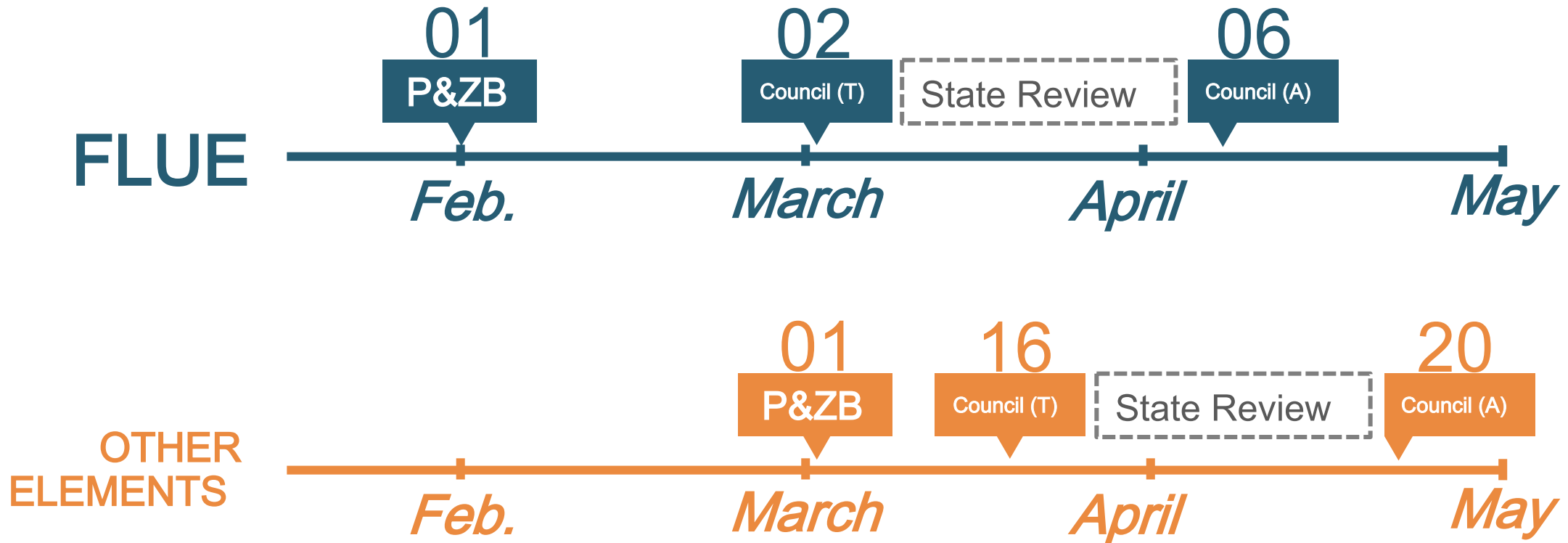
LOS Standards. Relocates all LOS standards within the Plan to the Capital Improvements Element.

PROPOSED AMENDMENTS



No Changes.

ANTICIPATED HEARING SCHEDULE





PALM BAY *Vision* COMPREHENSIVE PLAN



SCAN ME

*Project
Website*

Thank you!

QUESTIONS/COMMENTS?



LEGISLATIVE MEMORANDUM

DATE: 3/16/2023

RE: Adoption of Minutes: Meeting 2023-03; February 2, 2023.

ATTACHMENTS:

Description

Minutes - Meeting 2023-03

CITY OF PALM BAY, FLORIDA

REGULAR COUNCIL MEETING 2023-03

Held on Thursday, the 2nd day of February 2023, at the City Hall Council Chambers, 120 Malabar Road, SE, Palm Bay, Florida.

This meeting was properly noticed pursuant to law; the minutes are on file in the Office of the City Clerk, City Hall, Palm Bay, Florida.

The meeting was called to order at the hour of 6:01 P.M.

Elder Toby Hubbard, Truth Revealed Ministries, Palm Bay, gave the invocation which was followed by the Pledge of Allegiance to the Flag.

ROLL CALL:

MAYOR:	Rob Medina	Present
DEPUTY MAYOR:	Donny Felix	Present
COUNCILMEMBER:	Kenny Johnson	Present
COUNCILMEMBER:	Randy Foster	Present
COUNCILMEMBER	Peter Filiberto	Present
CITY MANAGER:	Suzanne Sherman	Present
CITY ATTORNEY:	Patricia Smith	Present
DEPUTY CITY CLERK:	Terri Lefler	Present

CITY STAFF: Joan Junkala-Brown, Deputy City Manager; Nancy Bunt, Community and Economic Development Director; Alexandra Bernard, Growth Management Director; Frank Watanabe, City Engineer.

ANNOUNCEMENTS:

Deputy Mayor Felix announced the following vacancies and solicited applications for same:

- 1. One (1) vacancy on the Youth Advisory Board (represents 'at-large student member' position).++**

AGENDA REVISION(S):

- Ms. Sherman advised that the applicant for Item 3, under Public Hearings, requested that Case PD-36-2022 be continued to the February 16, 2023, regular Council meeting.

Motion by Mr. Johnson, seconded by Deputy Mayor Felix, to continue Item 3, under Public Hearings, to the February 16, 2023, regular Council meeting. Motion carried with members voting as follows: Mayor Medina, Yea; Deputy Mayor Felix, Yea; Councilman Johnson, Yea; Councilman Foster, Yea; Councilman Filiberto, Yea.

PROCLAMATIONS AND RECOGNITIONS:

The proclamations were read.

- 1. Proclamation: Human Trafficking Awareness Month - January 2023.**
- 2. Proclamation: Honoring the service of Ruben Saltares-Ruiz. (Mayor Medina)**

PRESENTATIONS:

- 1. Maurice Kurland, Alcalde & Fay (Federal Lobbyist) - update.**

Mr. Kurland provided a brief overview of the legislative session at the federal level. He said the firm would be pursuing the four (4) federal priorities for the City: infrastructure needs for the widening of Malabar Road and the St. Johns Heritage Parkway; water quality and coastal rehabilitation for the Indian River Lagoon and Turkey Creek; public safety; and interoperable radio systems for First Responders. Mr. Kurland answered questions posed by councilmembers.

- 2. Luis Nieves-Ruiz, Eastern Central Florida Regional Planning Council - Economic Development Strategic Plan.**

Mr. Luis Nieves-Ruiz explained that the East Center Florida Regional Planning Council (ECFRPC) provided technical assistance to both local governments and organizations in a variety of areas, including emergency management, resiliency, and economic development. He detailed the process of creating an Economic Development Plan in which an existing conditions analysis was performed that reviewed demographics, eight (8) economic corridors of significance and the city's economic structure. The second part of the report was the SWOTT analysis (strengths, weaknesses, opportunities and threats). Mr. Nieves-Ruiz noted the factors that contributed to the City's SWOTT analysis. He answered questions posed by councilmembers.

PUBLIC COMMENT(S)/RESPONSE(S): (Non-agenda Items Only)

Individuals made general comments.

PUBLIC HEARING(S):

- 1. Ordinance 2023-01, providing for the annexation of certain real property generally located north, south and west of Micco Road, in the vicinity south of Dottie Drive, into the city (302.70 acres) (Case A-5-2022, Tiffany Dismukes Floyd), final reading.**

The City Attorney read the ordinance in caption only. The public hearing was opened. Jake Wise, CEG Engineering and representative for the applicant, and James Dicks, Dix Development, presented the request to Council.

Mayor Medina said he appreciated Viera's Master Plan as it incorporated various places of worship for the residents.

Bill Battin, resident, did not want the City to incur a large expense for the roadway which had occurred previously with the St. Johns Heritage Parkway (Parkway). He said these were the same developers that were supposed to have paid for the southern portion of the Parkway and felt that people would not be able to cross the Ashton Park corridor due to traffic conditions.

Mr. Filiberto was pleased with the project and advised that he would hold the applicant to all conditions listed in the Master Plan.

The public hearing was closed.

Motion by Mr. Johnson, seconded by Deputy Mayor Felix, to adopt Ordinance 2023-01. Motion carried with members voting as follows: Mayor Medina, Yea; Deputy Mayor Felix, Yea; Councilman Johnson, Yea; Councilman Foster, Yea; Councilman Filiberto, Yea.

A brief recess was taken after which time the meeting resumed.

2. Ordinance 2023-04, granting Ad Valorem Tax (AVT) Abatement to Rogue Valley Microdevices, Inc., final reading.

The City Attorney read the ordinance in caption only. Mrs. Bunt presented the request to Council.

Numerous individuals spoke in favor of the request. Jessica Gomez, Chief Executive Officer for Rogue Valley Microdevices, made comments and responded to questions.

The public hearing was closed.

Mayor Medina relinquished the chair to Deputy Mayor Felix and made the motion to consider this hearing as the first reading of the ordinance; and to modify the annual abatement percentages from sixty percent (60%) to seventy percent (70%) for the first four (4) years; sixty percent (60%) for year five (5); fifty percent (50%) for year six (6); and forty percent (40%) for year seven (7). Mr. Johnson seconded the motion.

Motion by Mayor Medina, seconded by Mr. Johnson, to approve Ordinance 2023-04 as 1st reading and revise the abatement percentages from 60% to 70% for first 4 years, 5th year 60%, 6th year 50%, 7th year 40%. Mr. Filiberto said he could not support this initiative.

Motion carried with members voting as follows:

Mayor Medina	Yea
Deputy Mayor Felix	Yea
Councilman Johnson	Yea
Councilman Foster	Yea
Councilman Filiberto	Nay

Ms. Smith advised that the ordinance would need to be re-advertised and the final reading of this ordinance would be considered at the March 2, 2023, regular Council meeting. Mayor Medina resumed as presiding officer.

3. Resolution 2022-60, granting approval of a Preliminary Development Plan for a proposed mixed residential development to be known as ‘Palm Vista Everlands West PUD’ in AU (Agricultural Residential) (Brevard County) zoning, which property is located west of and adjacent to St. Johns Heritage Parkway, in the vicinity east of Melbourne-Tillman Water Control District Canal 2R (1198.1 acres) (Case PD-36-2022, Palm Vista Preserve, LLC). (Quasi-Judicial Proceeding) (CONTINUED FROM 11/17/22 RCM)

This item, addressed under Agenda Revisions, was continued to the February 16, 2023, regular Council meeting.

4. Ordinance 2023-05, amending the City’s Comprehensive Plan Future Land Use Map to change the designated use of property located north, south, and west of Micco Road, in the vicinity south of Dottie Drive, from Micco Park Village District and RES 1 (Residential Unit Per Acre) (Brevard County) to Mixed Use (1,435.36 acres) (Case CP-40-2022 – MLCI Investments, Ltd.; Brevard 270, LLC; David Lee, LLC; Brevard Property Holdings, LLC; MLCI Realty II, LLC; MLCI Realty, Ltd.; L&L Collections, LLC; Trustees of the William H. Lee Revocable Trust; Tiffany Dismukes Floyd), first reading.

The Planning and Zoning Board recommended approval of the request.

The City Attorney read the ordinance in caption only. The public hearing was opened. Jake Wise, CEG Engineering and representative for the applicant, and James Dicks, Dix Development, presented the request to Council.

Individuals commented on increased traffic and safety of residents due to high traffic, the property should remain Rural Residential, destruction of wildlife, and that the project location should be further north in the city. Mr. Wise responded to the comments.

Mr. Filiberto noted that the plan would include acreage for schools, greenspace and a future police/fire station. Mr. Wise confirmed same.

The public hearing was closed.

Motion by Mr. Johnson, seconded by Deputy Mayor Felix, to approve Ordinance 2023-05. Motion carried with members voting as follows: Mayor Medina, Yea; Deputy Mayor Felix, Yea; Councilman Johnson, Yea; Councilman Foster, Yea; Councilman Filiberto, Yea.

5. Ordinance 2023-06, amending the Code of Ordinances, Chapter 169, Land Development Code, by modifying provisions related to Citizen Participation Plans (Case T-7-2023, City of Palm Bay), first reading.

The Planning and Zoning Board recommended approval of the request.

The City Attorney read the ordinance in caption only. The public hearing was opened. Ms. Bernard presented the request to Council. She advised that Section 169.005(B)(1) was revised as follows:

(1) Every application for development >>, unless specifically exempted by this subchapter,<< ~~that requires a Comprehensive Plan Future Land Use Map or Zoning Map Amendment, preliminary subdivision approval, preliminary planned unit development, or a conditional use~~ shall include a citizen participation plan >>and a citizen participation report<< that must be implemented prior to an application being deemed sufficient for staff review and scheduling of public hearings.

The public hearing was closed.

Motion by Mr. Johnson, seconded by Mr. Filiberto, to adopt Ordinance 2023-06, with staff's revisions. Motion carried with members voting as follows: Mayor Medina, Yea; Deputy Mayor Felix, Yea; Councilman Johnson, Yea; Councilman Foster, Yea; Councilman Filiberto, Yea.

6. Request by the City of Palm Bay to amend the City's Comprehensive Plan Future Land Use Element to ensure consistency with the City Council's intent to promote mixed use development (Case CP-37-2022). (WITHDRAWN)

7. Request by Ascot Palm Bay Holdings, LLC for a conditional use to allow retail automotive gas/fuel sales in CC (Community Commercial District) zoning on property located at the northeast corner of Emerson Drive and St. Johns Heritage Parkway (2.00 acres) (CU-1-2023). (WITHDRAWN)

CONSENT AGENDA:

All items of business under the 'Consent Agenda' heading were enacted by the following motion:

Motion by Deputy Mayor Felix, seconded by Mr. Foster, that the Consent Agenda be approved as presented with the removal of Items 7 and 13, from consent. Motion carried with members voting as follows: Mayor Medina, Yea; Deputy Mayor Felix, Yea; Councilman Johnson, Yea; Councilman Foster, Yea; Councilman Filiberto, Yea.

1. Adoption of Minutes: Meeting 2023-01; January 5, 2023.

The minutes, considered under Consent Agenda, were approved as presented.

2. Contract: Brass fittings (Ford Brand only), purchasing authority - Utilities Department (Ferguson Enterprises, Inc. - \$190,000).

Staff Recommendation: Approve an increase in annual purchasing authority for the purchase of brass fittings (Ford Brand only) (Contract 17-0-2020) with Ferguson Enterprises, Inc. (Melbourne), in the amount of \$190,000.

The item, considered under Consent Agenda, was approved as recommended by City staff.

3. Miscellaneous: 'Piggyback Purchase', fire hydrants (City of Melbourne contract) - Utilities Department (Ferguson Enterprises, Inc. - \$150,000 annually).

Staff Recommendation: Approve the piggyback purchase for fire hydrants with Ferguson Enterprises, Inc. (Melbourne), through the City of Melbourne contract, in the amount of \$150,000.

The item, considered under Consent Agenda, was approved as recommended by City staff.

4. Miscellaneous: 'Cooperative Purchase', athletic surfacing and asphalt maintenance (National Cooperative Purchasing Alliance Contract) – Parks and Facilities Maintenance Department (The NIDY Sports Construction Company - \$99,900).

Staff Recommendation: Approve the cooperative purchase for athletic surfacing and asphalt maintenance with The NIDY Sports Construction Company (Sanford), through the National Cooperative Purchasing Alliance contract, in the amount of \$99,900.

The item, considered under Consent Agenda, was approved as recommended by City staff.

5. Consideration of City Council Flag Program nominee, Ruben Saltares-Ruiz. (Mayor Medina)

Staff Recommendation: Approve Ruben Saltares-Ruiz as a nominee for the City Council Flag Program.

The item, considered under Consent Agenda, was approved as recommended by City staff.

6. Consideration of reallocating a portion of capital funds from Fiscal Year 2023 to purchase a 14-foot technical rescue trailer for the Fire Rescue's Special Operations Team (\$12,000), and to complete the build-out of Brush Truck 2 (\$30,000).

Staff Recommendation: Approve reallocation and utilization of capital funds from Fiscal Year 2023 to purchase a 14-foot equipment trailer to carry necessary equipment for the Fire Rescue's Special Operations Team (\$12,000) and to finish the build-out of Brush Truck 2 (\$30,000).

The item, considered under Consent Agenda, was approved as recommended by City staff.

7. Consideration to add a funding appropriations request for improvements to the memorial at Sacrifice Park to the City's 2023-2024 state legislative priorities.

Staff Recommendation: Approve the addition of a funding appropriations request for improvements to the memorial at Sacrifice Park to the City's 2023-2024 state legislative priorities; and authorize staff and the City's state lobbying firm, Sunrise Consulting Group, to advocate for the 2023 State legislative priorities of the City of Palm Bay.

Mr. Filiberto did not agree with using taxpayer dollars for this project and felt raising funds through the Mayor's Ball or other avenues would be better options.

Motion by Mr. Foster, seconded by Mayor Medina, to approve the addition of a funding appropriations request for improvements to the memorial at Sacrifice Park to the City's 2023-2024 state legislative priorities.

Motion carried with members voting as follows:

Mayor Medina	Yea
Deputy Mayor Felix	Yea
Councilman Johnson	Yea
Councilman Foster	Yea
Councilman Filiberto	Nay

8. Consideration of an amendment to the grant agreement with the Florida Department of Environmental Protection's Coastal Partnership Initiative for improvements to Castaway Point Park.

Staff Recommendation: Authorize the City Manager to execute the amendment of the grant scope of work as approved by Florida Department of Environmental Protection related to the Coastal Partnership Initiatives grant program for improvements to Castaway Point Park.

The item, considered under Consent Agenda, was approved as recommended by City staff.

9. Consideration of submitting an application for the Assistance to Firefighters Grant for the 2022 grant period.

Staff Recommendation: Approve submitting an application to the Assistance to Firefighters Grant for the 2022 period.

The item, considered under Consent Agenda, was approved as recommended by City staff.

10. Consideration of submitting an application for the 2023 AARP Community Challenge Grant.

Staff Recommendation: Authorize staff to submit a grant application for the 2023 AARP Community Challenge Grant.

The item, considered under Consent Agenda, was approved as recommended by City staff.

11. Consideration of submitting a grant application to the Public Art Challenge of Bloomberg Philanthropies Opportunity for U.S. Cities.

Staff Recommendation: Authorize staff to submit a grant application to the Public Art Challenge of Bloomberg Philanthropies Opportunity for U.S. Cities; and authorize the Mayor to issue a cover letter on behalf of the City.

The item, considered under Consent Agenda, was approved as recommended by City staff.

12. Consideration of submitting a grant application for the Speeding and Aggressive Driving Program through the Florida Department of Transportation.

Staff Recommendation: Approve the application submission of The Florida Department of Transportation (FDOT) State Safety Office Speeding and Aggressive Driving Concept Paper grant proposal on behalf of the City.

The item, considered under Consent Agenda, was approved as recommended by City staff.

13. Consideration of the final draft of the City's Economic Development Strategic Plan.

Staff Recommendation: Accept the City of Palm Bay Economic Development Strategic Plan as prepared by East Central Florida Regional Planning Council.

Motion by Deputy Mayor Felix, seconded by Mayor Medina, to accept the City of Palm Bay Economic Development Strategic Plan as prepared by East Central Florida Regional Planning Council. Motion carried with members voting as follows: Mayor Medina, Yea; Deputy Mayor Felix, Yea; Councilman Johnson, Yea; Councilman Foster, Yea; Councilman Filiberto, Yea.

NEW BUSINESS:

1. Consideration of a Proportionate Fair Share Agreement with Development Partners, LLC for a development project known as Palm Breeze Apartments.

Staff Recommendation: Approve the Proportional Fair Share Agreement with Development Partners, LLC, for a development project known as 'Palm Breeze Apartments'.

Alexandra Bernard presented the item to Council.

Bill Battin, resident, requested a left turn lane onto the property so that traffic would not be blocked on San Filippo Drive.

Mr. Watanabe detailed existing deficiencies along the roadway and said that it needed to be widened to four (4) lanes and have a center lane for left turns.

Mr. Kinan Husainy, Kimley-Horn and Associates and representative for the project, said a significant analysis and traffic study was performed and revealed that eleven percent (11%) of traffic would be making a left turn as it related to the project location and connection to Interstate 95. Most of the trips would be travelling southbound, not northbound; therefore, no left turn was warranted.

Motion by Mr. Johnson, seconded by Deputy Mayor Felix, to approve the Proportionate Fair Share Agreement. Motion carried with members voting as follows: Mayor Medina, Yea; Deputy Mayor Felix, Yea; Councilman Johnson, Yea; Councilman Foster, Yea; Councilman Filiberto, Yea.

2. Consideration of the City's 2023 federal legislative priorities.

Staff Recommendation: Approve the 2023 federal legislative priorities; and authorize the Deputy Mayor to execute letters of support to Senators Rubio and Scott, and Congressman Posey.

Bill Battin, resident, questioned why the request was to widen the Parkway to Emerson Drive instead of to U.S. 192. Ms. Sherman responded that the agencies responsible for the Parkway beyond the city limits were not pursuing widening their portion of the Parkway at this time.

Motion by Mr. Johnson, seconded by Mr. Foster, to approve the 2023 federal legislative priorities and authorize the Deputy Mayor to execute letters of support to Senators Rubio and Scott, and Congressman Posey. Motion carried with members voting as follows: Mayor Medina, Yea; Deputy Mayor Felix, Yea; Councilman Johnson, Yea; Councilman Foster, Yea; Councilman Filiberto, Yea.

3. Consideration of amending Chapter 5, Types of Meetings, of Council's Policies and Procedures, by modifying the distribution date of agenda packets for regular meetings. (Mayor Medina)

Staff Recommendation: Approve the amendment to Section 5.1, Regular Meetings, of Council's Policies and Procedures, to change the distribution date of the regular meeting agenda packet from Friday to Thursday.

Motion by Mr. Johnson, seconded by Mr. Foster, to approve the amendment to Section 5.1, Regular Meetings, of Council's Policies and Procedures, to change the distribution date of the regular meeting agenda packet from Friday to Thursday. Motion carried with members voting as follows: Mayor Medina, Yea; Deputy Mayor Felix, Yea; Councilman Johnson, Yea; Councilman Foster, Yea; Councilman Filiberto, Yea.

4. Consideration of scheduling workshop meetings for February and March 2023.

Council concurred to schedule three (3) workshop meetings: 1) Tuesday, February 28, 2023, 6:00 P.M., Republic Services update; 2) Tuesday, March 7, 2023, 6:00 P.M., discussion of Majors Golf Course; and 3) Thursday, March 30, 2023, 6:00 P.M., discussion of area known as the Compound.

Mayor Medina mentioned a larger facility (Bayside High School) or option to open two rooms with a rotation schedule for speakers. Mr. Filiberto supported a larger facility. Mr. Foster said it would cost extra money to change the venue and there were two facilities at the City Hall campus, but he also did not want residents standing out in unforeseen weather conditions waiting to get into Chambers. He would support securing the high school and giving extra time for residents to speak. Mr. Johnson felt that Council Chambers was the best venue for the workshop. Mayor Medina requested additional outside speakers for citizens.

COUNCIL REPORTS:

Councilmembers addressed various subjects.

1. Mr. Foster requested Council's support for a proposed bill by Senator Rubio that would streamline the grant process. He suggested a letter in support of the bill. Mayor Medina said that Deputy Mayor Felix could sign the letter. Council concurred.

2. Deputy Mayor Felix asked that staff include "workforce housing", based on percentage, for large-scale projects. This would also include the project's economic impact on the community.

Mayor Medina was concerned about coercion. Ms. Smith said there was a statute that required certain criteria and she would provide further information to Council. Mr. Johnson said a similar topic was discussed in 2019 for mandatory inclusionary housing which eventually became voluntary inclusionary housing through incentives, density, setbacks, etc. Mayor Medina was fine with it being voluntary but did not support mandates when it was related to property rights. Mr. Filiberto agreed with Mayor Medina. Council concurred for staff to gather information and present to Council.

ADMINISTRATIVE AND LEGAL REPORTS:

There were no reports.

PUBLIC COMMENTS/RESPONSES:

Residents made general comments.

ADJOURNMENT:

There being no further business, the meeting adjourned at the hour of 10:28 P.M.

Rob Medina, MAYOR

ATTEST:

Terri J. Lefler, DEPUTY CITY CLERK



LEGISLATIVE MEMORANDUM

TO: Honorable Mayor and Members of the City Council

FROM: Suzanne Sherman, City Manager

THRU: Christopher A. Little, P.E.; Juliet Misconi, Chief Procurement Officer; Valentino Perez, Building

DATE: 3/16/2023

RE: Award of Proposal: Citywide debt collection services – RFP 15-0-2023 – Utilities and Building Departments (R.T.R. Financial Services, Inc.).

At the request of the Utilities Department, the Procurement Department solicited proposals for Citywide Debt Collection Services. The intent of this solicitation was to seek firms experienced in debt collection. Debt collection services are needed for delinquent accounts from the Utilities and Building Departments for unpaid utility bills and permit fees. The contract will allow use by other City departments for additional types of accounts that may require collection service, on as needed basis.

The collection services to be provided include skip tracing services, mailing of collection notices, web search capabilities for account status, and processing of payments. The Utilities and Building Departments place accounts for collections that are ninety (90) days past due. Any fees charged will be billed by the vendor to the customer and paid by the customer. The awarded vendor will be paid a percentage of the amount collected (contingency rate). The contingency rate varies based on the age of debt, and ranges from 12.5% to 20%. The City will not incur any expenses.

Five (5) proposals were received. The Procurement Department staff reviewed the proposals for responsiveness. The proposals were evaluated by a committee consisting of qualified staff from the Utilities and Building Departments, who assigned points for factors such as Summary of Qualifications, Technical Response, Reporting and Contingency Rate. See attached for the Scoring-Ranking form. The Evaluation Team unanimously recommended R.T.R. Financial Services, Inc., located in Jacksonville, Florida as the top-ranked vendor for award.

R.T.R. Financial Services, Inc., demonstrated the ability to successfully provide the debt collection services. They have government experience in debt collecting, two (2) offices in the State of Florida, 250 collectors dedicated to collection, and can provide multi-lingual services. They use their own proprietary software that includes security measures to ensure protection of customer information. R.T.R. Financial Services, Inc., will adhere to all applicable laws and regulations pertaining to collection practices.

REQUESTING DEPARTMENT:

Utilities, Procurement, Building Department

FISCAL IMPACT:

There is no fiscal impact. This contract will be the collection of unpaid revenue. Payments made to vendor will be based on the contingency rate.

RECOMMENDATION:

Motion to approve award of RFP #15-0-2023/SZ, Citywide Debt Collection Services, to R.T.R. Financial Services, Inc., located in Jacksonville, Florida. Council approval is requested to establish a three-year term contract, renewable by the Procurement Department for seven (7) additional one-year terms.

ATTACHMENTS:

Description

Scoring-Ranking Form

RFP #15-0-2023/SZ
CITYWIDE DEBT COLLECTION SERVICES
FINAL RANKING

CRITERIA - TOTAL 100 POINTS

Tab 5 Summary of Qualifications = 25 points
Tab 7 Technical Response = 25 points
Tab 8 Samples amd Reporting = 25 points
Tab 9 Proposed Cost = 25 points

Optional Short List - Oral Presentations = 10 points

		Accounts Receivables, Inc. dba Checkmark Collections	Diversified Adjustment Service, Inc.	Merchants Association Collection Division, Inc. Dbas SHERLOQ Financial	Midwest Municipal Services, LLC	R.T.R. Financial Services, Inc.
		2475 Mercer Ave. West Palm Beach, FL 33401	600 Coon Rapids Blvd Coon Rapids, MN 55433	134 S. Tampa St. Tampa, FL 33602	470 St. Clair St. Mooreville, IN 46158	4141 Southpoint Dr. East Ste 200 Jacksonville, FL 32216
EVALUATION CRITERIA	POSSIBLE POINTS	561-697-4911	763-783-2322	734-626-4389	866-372-1024	7418-668-2881
		mnash@checkmarkcollections.com	diversity@diversifiedadjustment.com	jcollin.wydo@sherloqsolutions.com	Christy.thomas@municipalpartner.com	RJReilly@RTRFS.com
Tab 5 Summary of Qualifications	25	11.67	18.33	18.33	10.00	20.00
Tab 7 Technical Response	25	13.33	21.67	16.67	13.33	21.67
Tab 8 Samples and Reporting	25	13.33	20.00	18.33	15.00	21.67
Tab 9 Proposed Cost	25	13.33	16.67	15.00	11.67	15.00
SUBTOTAL	100	51.67	76.67	68.33	50.00	78.33
Short List - Oral Presentations	10					
TOTAL SCORE (with Orals)	110	51.67	76.67	68.33	50.00	78.33



LEGISLATIVE MEMORANDUM

TO: Honorable Mayor and Members of the City Council

FROM: Suzanne Sherman, City Manager

THRU: Valentino Perez, Chief Building Official; Frank Watanabe, City Engineer

DATE: 3/16/2023

RE: **Contract: Consultant engineering services agreement, Amendment 2 (Malabar Road widening PD&E pond site report) – Public Works Department (Kittelson & Associates - \$64,641).**

On July 2, 2019, City Council awarded engineering services for Malabar Road Widening from St. Johns Heritage Parkway (SJHP) to Minton Road Planning Development & Environmental (PD&E) study to Kittelson & Associates in the amount of \$1,354,667. The project is funded through Local Agency Program (LAP) agreement with the Florida Department of Transportation (FDOT) which was approved by City Council on August 13, 2019, and a supplemental LAP agreement as approved by Council on October 17, 2019.

On April 7, 2022, Council approved Amendment No. 1 to expand the Malabar Road Widening corridor study west of SJHP to include Heritage High School in the future four lane widening. Amendment No. 1 totaled \$107,624.72, which increased the total amount of the task order to \$1,462,291.72.

Due to new development projects within the northwest area of Palm Bay since the start of the Malabar PD&E, the original pond sites will need to be relocated and re-studied. The preferred pond site for the western segment of the corridor is located near the intersection of Malabar Road at SJHP. Staff is requesting Council's consideration of Amendment No. 2 in the amount of \$64,640.81 for revising the pond site report to assess the new proposed pond site at the intersection of Malabar at SJHP on property owned by the City.

The City's Procurement policy governs City Council's approval process for change orders. The Chief Procurement Officer can approve change orders up to a cumulative total of 10%, or individual change orders not to exceed \$100,000, whichever is lower. Any change order in excess of \$100,000 or any change orders which cumulatively exceed 10% shall be brought before City Council for approval.

In accordance with the provisions of Section 287.055, Florida Statutes for Consultants Competitive Negotiation Act (CCNA), the Procurement Department solicited and accepted qualification submittals, under RFQ 28-0-2005/BLM, from firms to provide continuing consulting services for water and wastewater engineering services for the Utilities Department. On July 2, 2019, Council approved the award of RFQ #23-0-2019/SB to Kittelson and authorized City staff to negotiate a Master Consultant Agreement which was executed. Amendment No. 2 is in accordance with the Master Agreement. Staff has reviewed the scope of work and requests council approval to proceed with Amendment No. 2 in the amount of \$64,640.81.

REQUESTING DEPARTMENT:

Public Works, Procurement

FISCAL IMPACT:

The total amount of Amendment No. 2 is \$64,640.81. Funds are available in the Transportation Impact Fee (TIF) Fund Undesignated Fund Balance for zip codes 32907 and 32908. Funding will be appropriated in the amount of \$32,320.41 from 197-0000-392-1001 to 197-7050-541-3121/20PW01 and \$32,320.40 from 198-0000-392-1001 to 198-7050-541-3121/20PW01.

RECOMMENDATION:

Motion to authorize the execution of Kittelson & Associates – Amendment No. 2 for the Malabar Road Widening PD&E Pond Site Report in the amount of \$64,640.81.

ATTACHMENTS:**Description**

Kittelson – Amendment No. 2

Scope of Services

Supplemental Agreement #4
Malabar Road PD&E Study
RFQ #23-0-2019
City of Palm Bay, FL

Background

The City of Palm Bay is studying the Malabar Road widening from St. John's Heritage Parkway to Minton Road, a distance of 4 miles. Stormwater management alternative evaluations have been conducted and documented in the Pond Siting Report prepared by Inwood Consulting Engineers as a subconsultant to Kittelson & Associates, Inc. Since the preparation of the Pond Siting Report, the City has approved new development impacting the previously studied stormwater pond sites and the floodplain compensation area. The proposed new site of interest is located west of Canal C-7 and expands over approximately 4.2 acres, of which the proposed stormwater pond will occupy 3.2 acres. To convey stormwater under Canal C-7, it is estimated the pipe will be approximately 18-ft below ground surface. The proposed pond is estimated to be approximately 20-feet deep.

The purpose of this Supplemental Agreement is to evaluate a new stormwater pond site alternative on the southwest corner parcel of St. Johns Heritage Parkway and Malabar Road and amend the Pond Siting Report with the results of the environmental screenings (archeological, ecological, and contamination) in addition to preliminary geotechnical borings that will be performed on this site. The study's Location Hydraulics Report (LHR) will require updating to document floodplain impacts associated with this site and compensation alternatives. The Water Quality Impact Evaluation (WQIE) checklist will also be updated to include the meeting summary of the Environmental Look Around with the St. Johns River Water Management District (SJRWMD) and Brevard County coordination.

Furthermore, the Natural Resources Evaluation (NRE) report will be updated to document the environmental findings of this new stormwater pond site alternative and any associated field work. The Cultural Resources Assessment Survey (CRAS) and the Contamination Screening Evaluation Report (CSER) will be updated for the new stormwater pond site alternative and include the associated field work. The Preliminary Engineering Report (PER) and Type 2 Categorical Exclusion (CE) will also require updating to reflect the changed stormwater pond location and associated engineering and environmental findings/considerations.

Inwood, SEARCH, Inc and GEC will provide the following services in support of Kittelson & Associates, Inc. in making these changes.

Drainage (Inwood)

- Perform pond sizing analysis and hydraulic modeling (ICPR) to make sure the discharge criteria for the Melbourne-Tillman Water Control District (MTWCD) can be met
- Update Pond Site Report discussions, figures, tables, construction cost, and alternative matrix
- Update the Location Hydraulic Report for floodplain impact and compensation
- Update the Water Quality Impact Evaluation Checklist

Natural Environmental (Inwood)

- Conduct wetlands and wildlife field review within subject parcel
- Document existing conditions, including as observations of listed species or their habitat
 - Note: Species-specific surveys such as those for caracara, gopher tortoise, etc. are not included in this scope.
- Prepare tech memo to supplement existing NRE
- Identify permitting needs should the parcel be selected
- Complete USDA farmlands data form

Cultural Resources (SEARCH)

- Conduct additional fieldwork for new C-7 stormwater pond site. This fieldwork will include the survey and recordation of field activities.
- Prepare a CRAS pond addendum report with FMSF forms to be submitted to FDOT and the State Historic Preservation Officer (SHPO).

Contamination and Geotechnical (GEC)

- Contamination
 - Revise the December 30, 2021, CSER report with a site reconnaissance, applicable specific State of Florida files research information, and historical reviews for Pond C-7
- Geotechnical
 - Stake boring locations at the site.
 - Clear utilities at the boring locations.
 - Mobilize truck-mounted drilling equipment and personnel.
 - Perform 3 auger borings to a depth of 25 feet within the proposed Pond C-7 area, 1 auger boring to a depth of 5 feet within the FPCA.
 - Perform routine laboratory soil classification tests to enhance visual soil classification of samples obtained.
 - Update our previously submitted geotechnical engineering report with the new information, and resubmit signed and sealed by a Geotechnical Engineer licensed in Florida that will address the following topics:
 - Subsurface conditions at the boring locations
 - Measured and estimated seasonal high groundwater depths

Report Modification and Approval (Kittelson)

This supplemental agreement will require the modification and resubmittal of seven reports which have been previously reviewed and approved by FDOT and other agencies. These are:

- Pond Siting Report
- Location Hydraulics Report
- Water Quality Impact Evaluation
- Natural Resources Evaluation
- Cultural Resources Assessment Survey

- Contamination Screening Evaluation Report
- Geotechnical Report

Kittelton will review the modifications to each of these reports and coordinate with the City for submittal to FDOT for review. The NRE and CRAS will require approval by U.S. Fish and Wildlife Service and SHPO respectively. This will require coordination.

Further the Preliminary Engineering Report (PER) has had the initial draft reviewed by FDOT and comments are being addressed. This report will need to be revised for the new stormwater pond site and connection pipe. Along with the PER, the project's Long Range Estimate (LRE) will also need to be updated for the new stormwater pond site. The Type 2 Categorical Exclusion is nearly complete and will also require revision to address the new stormwater pond site.

Additional project meetings with the City and FDOT will be required as a result of this supplemental agreement.

Time Extension

Based on timely approval of this supplemental agreement by the City of Palm Bay, it anticipated the documents listed above will be modified, reviewed and approved to allow the Public Hearing to be conducted in late Summer 2023. This will allow completion of all reports and receive Location Design Concept Acceptance (LDCA) in the Winter 2024. We request a time extension to March 31, 2024.

ESTIMATE OF WORK EFFORT AND COST - PRIME CONSULTANT

Name of Project:	Malabar Road PD&E Study	Consult. Name:	Kittelson & Associates, Inc.
County:	Brevard County	Consult. No.	23707
FPN:	437210-1-28-01	Date:	2/3/2023
FAP No.:	N/A	Estimator:	Jack Freeman

Staff Classification	Total Staff Hours From "SH Summary"	Project Manager	Chief Engineer	Engineer 1	Engineer 2A	Engineering Intern	Secretary Clerical	Senior Engineer	Engineer 2B	Senior Designer	GIS Specialist	SH By Activity	Salary Cost By Activity	Average Rate Per Task
		\$74.99	\$85.12	\$47.39	\$52.67	\$32.99	\$25.62	\$68.08	\$62.22	\$38.36	\$38.73			
Project Description and Objectives	0	4			4							8	\$511	\$63.83
Public Involvement	0											0	\$0	#DIV/0!
Engineering Analysis & Report	0	16			28							44	\$2,675	\$60.79
Environmental Analysis & Reports	0	8										8	\$600	\$74.99
Environmental Document	0	4			6							10	\$616	\$61.60
Design Services	0											0	\$0	#DIV/0!
Total Staff Hours	0	32	0	0	38	0	0	0	0	0	0	70		
Total Staff Cost		\$2,399.68	\$0.00	\$0.00	\$2,001.46	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00		\$4,401.14	\$62.87

Check = \$4,401.14

Survey Field Days by Subconsultant

4 - Person Crew:

Notes:

1. This sheet to be used by Prime Consultant to calculate the Grand Total fee.
2. Manually enter fee from each subconsultant. Unused subconsultant rows may be hidden.
3. Enter the rate for each classification in Row 9.

SALARY RELATED COSTS:

OVERHEAD:	211.28%	\$4,401.14
OPERATING MARGIN:	27.00%	\$9,298.73
FCCM (Facilities Capital C	0.50%	\$1,188.31
EXPENSES:	4.94%	\$22.09
		\$217.42

SALARY RELATED SUBTOTAL:

Survey (Field - i 0.00 4-man crew c \$ - / day \$0.00

SUBTOTAL - PRIME \$15,127.69

Subconsultant: Inwood Consulting Engineers, Inc **\$27,197.63**

Subconsultant: SEARCH, Inc. **\$10,410.49**

Subconsultant: Geotechnical & Environmental, Consultants, Inc **\$7,845.00**

Subconsultant: Geotechnical & Environmental, Consultants, Inc **\$4,060.00**

Subconsultant: **\$0.00**

Subconsultant: **\$0.00**

SUBTOTAL ESTIMATED FEE: \$64,640.81

Optional Services **\$0.00**

GRAND TOTAL ESTIMATED FEE: \$64,640.81

PROJECT DEVELOPMENT & ENVIRONMENT PROJECT DATA

ESTIMATE OF WORK EFFORT AND COST - SUBCONSULTANT

Name of Project: Project Development & Environment (PD&E) Studies Malabar Rd from St. Johns Heritage Pkyw to Minton Rd. Consult. Name: Inwood Consulting Engineers, Inc.
 County: Brevard County Consult. No. **KIT-009-01**
 FPN: 437210-1-28-01 Date: 2/3/2023
 FAP No.: N/A Estimator: **Renato Chuw, PE**

Staff Classification	Total Staff Hours From "SH Summary - Firm"	Chief Engineer 1	Sr. Env. Specialist	Engineer 2	Engineer 1	Senior Scientist	Engineering Intern	Planner	Secretary / Clerical	SH By Activity	Salary Cost By Activity	Average Rate Per Task
		\$68.50	\$60.00	\$53.00	\$45.50	\$42.25	\$33.00	\$35.00	\$20.00			
Project Description and Objectives	5	3	0	0	2	0	0	0	0	5	\$296.50	\$59.30
Public Involvement	0	0	0	0	0	0	0	0	0	0	\$0.00	#DIV/0!
Engineering Analysis & Report	99	30	0	20	25	0	24	0	0	99	\$5,044.50	\$50.95
Environmental Analysis & Reports	63	3	25	0	3	32	0	0	0	63	\$3,194.00	\$50.70
Environmental Document	0	0	0	0	0	0	0	0	0	0	\$0.00	#DIV/0!
Design Services	0	0	0	0	0	0	0	0	0	0	\$0	#DIV/0!
Total Staff Hours	167	36	25	20	30	32	24	0	0	167		
Total Staff Cost		\$2,466.00	\$1,500.00	\$1,060.00	\$1,365.00	\$1,352.00	\$792.00	\$0.00	\$0.00		\$8,535.00	\$51.11

Check = \$8,535.00

SALARY RELATED COSTS: \$8,535.00
 OVERHEAD: 178.48% \$15,233.27
 OPERATING MARGIN: 37.00% \$3,157.95
 FCCM (Facilities Capital Cost Money): 0.690% \$58.89
 EXPENSES: 2.49% \$212.52
SALARY RELATED SUBTOTAL: \$27,197.63
 Survey (Field - if by Sub) 0.00 4-man crew day: \$ - / day \$0.00
SUBTOTAL - SUBCONSULTANT \$27,197.63
 Optional Services \$0.00
SUBCONSULTANT TOTAL ESTIMATED FEE: \$27,197.63

Note:

1. This sheet to be used by Subconsultant to calculate its fee.

**PROJECT DEVELOPMENT & ENVIRONMENT
PROJECT DATA**

ESTIMATE OF WORK EFFORT AND COST - SUBCONSULTANT

Name of Project: PD&E Studies Malabar Rd from St. Johns Heritage Pkwy to Minton Rd - Pond C-7
 County: Brevard County
 FPN: 437210-1-28-01
 FAP No.: N/A

Consult. Name: SEARCH
 Consult. No. **P23-0060**
 Date: 2/3/2023
 Estimator: **JPF**

Staff Classification	Total Staff Hours From "SH Summary - Firm"	Project Manager 2	Chief Archaeologist	Sr. Archaeologist	Archaeologist	GIS Specialist	Secretary/ Clerical	Staff Classification 9	Staff Classification 11	Staff Classification 12	SH By Activity	Salary Cost By Activity	Average Rate Per Task
		\$48.08	\$44.57	\$32.30	\$28.26	\$24.94	\$29.58	\$0.00	\$0.00	\$0.00			
Project Description and Objectives	0	0	0	0	0	0	0	0	0	0	0	\$0	#DIV/0!
Public Involvement	0	0	0	0	0	0	0	0	0	0	0	\$0	#DIV/0!
Engineering Analysis & Report	0	0	0	0	0	0	0	0	0	0	0	\$0	#DIV/0!
Environmental Analysis & Reports	100	5	5	10	46	20	38	0	0	0	124	\$3,709	\$29.91
Environmental Document	0	0	0	0	0	0	0	0	0	0	0	\$0	#DIV/0!
Design Services	0	0	0	0	0	0	0	0	0	0	0	\$0	#DIV/0!
Total Staff Hours	100	5	5	10	46	20	38	0	0	0	124		
Total Staff Cost		\$240.40	\$222.85	\$323.00	\$1,299.96	\$498.80	\$1,124.04	\$0.00	\$0.00	\$0.00		\$3,709.05	\$29.91

Check = \$3,709.05

Note:

1. This sheet to be used by Subconsultant to calculate its fee.

SALARY RELATED COSTS:		\$3,709.05
OVERHEAD:	94.32%	\$3,498.38
OPERATING MARGIN:	28.00%	\$1,038.53
FCCM (Facilities Capital Cost M	0.328%	\$12.17
EXPENSES:	58.03%	\$2,152.36
SALARY RELATED SUBTOTAL:		\$10,410.49
Survey (Field - i	0.00 4-man crew day \$ - / day	\$0.00
SUBTOTAL - SUBCONSULTANT		\$10,410.49
Optional Services		\$0.00
SUBCONSULTANT TOTAL ESTIMATED FEE:		\$10,410.49

Geotechnical Engineering Cost Proposal
Malabar Rd from St Johns Heritage Parkway to Minton Rd PD&E Study - Pond C-7
 Brevard County, Florida
 GEC Proposal No. P11306G-REV

		<u>Quantity</u>	<u>Units</u>	<u>Rate</u>	<u>Cost</u>
Geotechnical Field Services					
1.	Mobilization of Drill Rig and Crew	1	ls	\$600.00	\$600.00
2.	Auger Borings for Pond C-7 and FPC (3 @25' and 1@5')	80	ft	\$12.00	\$960.00
3.	Soil Survey Crew - 2 person	4	hr	\$160.00	\$640.00
4.	GPS Unit (for boring location)	1	day	\$100.00	\$100.00
5.	Safety Signs	1	day	\$50.00	\$50.00
			Geotechnical Field Subtotal		\$2,350.00
Geotechnical Laboratory Testing					
7.	Grain Size Analysis	6	ea	\$70.00	\$420.00
8.	Organic Content	2	ea	\$50.00	\$100.00
9.	Atterberg Limits	3	ea	\$110.00	\$330.00
10.	Natural Moisture Content	5	ea	\$15.00	\$75.00
			Laboratory Subtotal		\$925.00
			Geotechnical Field and Laboratory		\$3,275.00
Geotechnical Engineering Analysis & Report					
11.	Principal	1	hr	\$250.00	\$250.00
12.	Senior Professional	4	hr	\$160.00	\$640.00
13.	Project Professional	18	hr	\$120.00	\$2,160.00
14.	Senior Engineering Technician (locate borings/clear utilities, soil classification)	8	hr	\$100.00	\$800.00
15.	CADD/GIS Specialist	6	hr	\$100.00	\$600.00
16.	Secretary	2	hr	\$60.00	\$120.00
	Total Hours	39			
			Geotechnical Professional Services		\$4,570.00
			Geotechnical Total		\$7,845.00

Contamination Cost Proposal
Malabar Rd from St Johns Heritage Parkway to Minton Rd Project
CSER Update For Pond C-7
 Brevard County, Florida
 GEC Proposal No. P11306E

		<u>Quantity</u>	<u>Units</u>	<u>Rate</u>	<u>Cost</u>
Contamination Screening Evaluation Report Update					
1.	Principal	2	hr	\$250.00	\$500.00
2.	Senior Professional	6	hr	\$160.00	\$960.00
3.	Project Professional	18	hr	\$120.00	\$2,160.00
4.	CADD/GIS Specialist	2	hr	\$100.00	\$200.00
5.	Secretary	4	hr	\$60.00	\$240.00
	Total Hours	32			
			Contamination Total		\$4,060.00



LEGISLATIVE MEMORANDUM

TO: Honorable Mayor and Members of the City Council

FROM: Suzanne Sherman, City Manager

THRU: Leslie Hoog, Fire Chief; Juliet Misconi, Deputy City Manager and Chief Procurement Officer

DATE: 3/16/2023

RE: Miscellaneous: 'Cooperative Purchase', Bauer Air Trailer (National Purchasing Partners contract) - Fire Rescue Department; consideration of Intergovernmental Agreement with NPP and initially utilizing General Fund Undesignated Fund Balance, then CDBG funding once formally approved (Compressed Air Supplies & EQMT - \$126,000).

Fire Rescue is requesting permission to purchase an Air Trailer. This will replace our current 1996 Air Trailer for fire station #2 that has exceeded its useful life. An air trailer is a vital part of an emergency scene used to fill air bottles for Fire Fighters. The purchase will be through Cooperative Purchase using NPP Contract PS20095 from RFP #1920.

Previously, the Fire Department planned to submit a capital purchase request for Fiscal Year 2024 for this air trailer. Instead, staff is requesting to reallocate remaining, unspent CDBG funding to purchase this trailer. The available funding is from another city project at the Palm Bay Senior Center. Due to HVAC equipment shortages, the city will be replacing the chiller and the kitchen hood at the Senior Center but will not be able to replace the other air conditioning split systems and meet the CDBG expenditure deadline. Instead, this change will allow those funds to be used for public safety needs to help meet the growth needs of the City. The Community and Economic Development Department has started the CDBG substantial amendment process and will bring forward a legislative memorandum after the required 30-day public comment period.

To meet the expenditure deadline utilizing CDBG funds, the City must make the purchase with undesignated fund balance. Once Council's approval of the CDBG substantial amendment, the Purchase Order utilizing undesignated fund balance will be cancelled and a new Purchase Order will be issued utilizing CDBG funds. If the purchase cannot be completed utilizing CDBG funds by the July 17th deadline, the purchase will be cancelled.

The National Purchasing Partners (NPPGOV) Cooperative contract PS20095 is effective through April 17, 2026, and the award is the result of a competitive RFP process. Procurement staff verified the pricing quoted is in accordance with the contract. The contract provides 10% off list, but the vendor is quoting 15% off list, plus providing a \$5,000 trade in credit for the existing unit. Compressed Air Supplies & EQMT is the authorized distributor for Bauer Compressors. The City has an existing interlocal agreement with NPPGOV to utilize their cooperative contracts.

Because of the funding source, the City's HUD representative requests that the City's Chief Procurement Officer review the contract to ensure it is compliant with the Code of Federal Regulations as applicable to CDBG funds. The City will not issue a purchase order until Staff is assured this contract complies with the (CFR).

In accordance with the City's Code of Ordinance, Section 38.13(F)(4) Cooperative Purchases and Piggyback Purchases: The City may purchase from any cooperative contract, including but not limited to: term contracts by the State of Florida, Federal General Services Administration, and other governmental cooperatives and entities within and outside the State of Florida provided that the cooperative contract is established in compliance with the procurement procedures and requirements of the issuing body, entity, authority, or cooperative. If such other governmental or cooperative contract is utilized, the public notice requirements and the need to utilize the methods of selection processes are obviated. Any such contracts equal to or in excess of one hundred thousand dollars (\$100,000) shall go to the City Council for approval.

REQUESTING DEPARTMENT:

Community & Economic Development, Procurement, Fire Department

FISCAL IMPACT:

Transfer of undesignated funds from 001-0000-392-1001 in the amount of \$126,000.00 to 001-6012-0522-6403 for the air trailer. Once approved to utilize CDBG funds, a new Purchase Order will be created utilizing 112-3411-554-6405. Subsequent budget transfers will be completed to move the monies into this account.

RECOMMENDATION:

Motion to approve the Cooperative Purchase from NPP Contract # PS20095 of a Bauer Air Trailer from Compressed Air Supplies & EQMT for Station 2 initially utilizing \$126,000 of General Fund undesignated funds to begin the purchase process. Once the CDBG funding is formally approved, we will replace the General Fund with the CDBG funds.

ATTACHMENTS:

Description

NPP Interlocal Agreement

NPP Contract Overview

Quote

NPP Solicitation Synopsis

Intergovernmental Cooperative Purchasing Agreement

This Intergovernmental Agreement (Agreement) is by and between the “Lead Contracting Agency” and participating government entities (“Participating Agencies”), that are members of National Purchasing Partners (“NPPGov”), including members of Public Safety GPO, First Responder GPO, Law Enforcement GPO, Education GPO and EMS GPO that agree to the terms and conditions of this Agreement. The Lead Contracting Agency and all Participating Agencies shall be considered as “parties” to this agreement.

WHEREAS, upon completion of a formal competitive solicitation and selection process, the Lead Contracting Agency has entered into Master Price Agreements with one or more Vendors to provide goods and services, often based on national sales volume projections;

WHEREAS, NPPGov provides group purchasing, marketing and administrative support for governmental entities. NPPGov’s marketing and administrative services are free to its membership, which includes participating public entities and nonprofit institutions throughout North America.

WHEREAS, NPPGov has instituted a cooperative purchasing program under which member Participating Agencies may reciprocally utilize competitively solicited Master Price Agreements awarded by the Lead Contracting Agency;

WHEREAS, the Master Price Agreements provide that all qualified government members of NPPGov may purchase goods and services on the same terms, conditions and pricing as the Lead Contracting Agency, subject to applicable local and state laws of the Participating Agencies;

WHEREAS, the parties agree to comply with the requirements of the Intergovernmental Cooperation Act as may be applicable to the local and state laws of the Participating Agencies;

WHEREAS, the parties desire to conserve and leverage resources, and to improve the efficiency and economy of the procurement process while reducing solicitation and procurement costs;

WHEREAS, the parties are authorized and eligible to contract with governmental bodies and Vendors to perform governmental functions and services, including the purchase of goods and services; and

WHEREAS, the parties desire to contract with Vendors under the terms of the Master Price Agreements;

NOW, THEREFORE, the parties agree as follows:

ARTICLE 1: LEGAL AUTHORITY

Each party represents and warrants that it is eligible to participate in this Agreement because it is a local government created and operated to provide one or more governmental functions and possesses adequate legal authority to enter into this Agreement.

ARTICLE 2: APPLICABLE LAWS

The procurement of goods and services subject to this Agreement shall be conducted in accordance with and subject to the relevant statutes, ordinances, rules, and regulations that govern each party's procurement policies. Competitive Solicitations are intended to meet the public contracting requirements of the Lead Contracting Agency and may not be appropriate under, or satisfy Participating Agencies' procurement laws. It is the responsibility of each party to ensure it has met all applicable solicitation and procurement requirements. Participating Agencies are urged to seek independent review by their legal counsel to ensure compliance with all local and state solicitation requirements.

ARTICLE 3: USE OF BID, PROPOSAL OR PRICE AGREEMENT

- a. A "procuring party" is defined as the Lead Contracting Agency or any Participating Agency that desires to purchase from the Master Price Agreements awarded by the Lead Contracting Agency.
- b. Each procuring party shall be solely responsible for their own purchase of goods and services under this Agreement. A non-procuring party shall not be liable in any fashion for any violation of law or contract by a procuring party, and the procuring party shall hold non-procuring parties and all unrelated procuring parties harmless from any liability that may arise from action or inaction of the procuring party.
- c. The procuring party shall not use this agreement as a method for obtaining additional concessions or reduced prices for similar goods and services outside the scope of the Master Price Agreement.
- d. The exercise of any rights or remedies by the procuring party shall be the exclusive obligation of such procuring party.
- e. The cooperative use of bids, proposals or price agreements obtained by a party to this Agreement shall be in accordance with the terms and conditions of the bid, proposal or price agreement, except as modified where otherwise allowed or required by applicable law, and does not relieve the party of its other solicitation requirements under state law or local policies.

ARTICLE 4: PAYMENT OBLIGATIONS

The procuring party will make timely payments to Vendors for goods and services received in accordance with the terms and conditions of the procurement. Payment for goods and services, inspections and acceptance of goods and services ordered by the procuring party shall be the exclusive obligation of such procuring party. Disputes between procuring party and Vendor shall be resolved in accordance with the law and venue rules of the state of the procuring party.

ARTICLE 5: COMMENCEMENT DATE

This Agreement shall take effect after execution of the “Lead Contracting Agency Endorsement and Authorization” or “Participating Agency Endorsement and Authorization,” as applicable.

ARTICLE 6: TERMINATION OF AGREEMENT

This Agreement shall remain in effect until terminated by a party giving 30 days written notice to “Lead Contracting Agency”

ARTICLE 7: ENTIRE AGREEMENT

This Agreement and any attachments, as provided herein, constitute the complete Agreement between the parties hereto, and supersede any and all oral and written agreements between the parties relating to matters herein.

ARTICLE 8: CHANGES AND AMENDMENTS

This Agreement may be amended only by a written amendment executed by all parties, except that any alterations, additions, or deletions of this Agreement which are required by changes in Federal and State law or regulations are automatically incorporated into this Agreement without written amendment hereto and shall become effective on the date designated by such law or regulation.

ARTICLE 9: SEVERABILITY

All parties agree that should any provision of this Agreement be determined to be invalid or unenforceable, such determination shall not affect any other term of this Agreement, which shall continue in full force and effect.


THIS INSTRUMENT HAS BEEN EXECUTED IN TWO OR MORE ORIGINALS BY EXECUTION AND ATTACHMENT OF “THE LEAD CONTRACTING AGENCY ENDORSEMENT AND AUTHORIZATION” OR “PARTICIPATING AGENCY ENDORSEMENT AND AUTHORIZATION,” AS APPLICABLE. ONCE EXECUTED, IT IS THE RESPONSIBILITY OF EACH PARTY TO FILE THIS AGREEMENT WITH THE PROPER AGENCY IF REQUIRED BY LOCAL OR STATE LAW.

LEAGUE OF OREGON CITIES ENDORSEMENT AND AUTHORIZATION

The undersigned acknowledges, on behalf of the League of Oregon Cities (“Lead Contracting Agency”) that he/she has read and agrees to the general terms and conditions set forth in the enclosed Intergovernmental Cooperative Purchasing Agreement regulating use of the Master Price Agreements and purchase of goods and services that from time to time are made available by the League of Oregon Cities to Participating Agencies locally, regionally, and nationally through NPPGov. Copies of Master Price Agreements and any amendments thereto made available by the League of Oregon Cities will be provided to Participating Agencies and NPPGov to facilitate use by Participating Agencies.

The undersigned understands that the purchase of goods and services under the provisions of the Intergovernmental Cooperative Purchasing Agreement is at the absolute discretion of the Participating Agencies.

The undersigned affirms that he/she is an agent of the League of Oregon Cities and is duly authorized to sign this League of Oregon Cities Endorsement and Authorization.

DocuSigned by:

38C546F8869143E...

Date: 3/26/2020

BY:

ITS:

League of Oregon Cities Contact Information:

Contact Person: Mike Culley
Address: 1201 Court St NE #200, Salem, OR 97301
Telephone No.: 503-588-6550
Email: mculley@orcities.org

**PARTICIPATING AGENCY
ENDORSEMENT AND AUTHORIZATION**

The undersigned acknowledges, on behalf of _____ (“Participating Agency”) that he/she has read and agrees to the general terms and conditions set forth in the enclosed Intergovernmental Cooperative Purchasing Agreement regulating use of the Master Price Agreements and purchase of goods and services that from time to time are made available by the Lead Contracting Agency to Participating Agencies locally, regionally, and nationally through NPPGov.

The undersigned further acknowledges that the purchase of goods and services under the provisions of the Intergovernmental Cooperative Purchasing Agreement is at the absolute discretion of the Participating Agency and that neither the Lead Contracting Agency nor NPPGov shall be held liable for any costs or damages incurred by or as a result of the actions of the Vendor or any other Participating Agency. Upon award of contract, the Vendor shall deal directly with the Participating Agency concerning the placement of orders, disputes, invoicing and payment.

The undersigned affirms that he/she is an agent of City of Palm Bay and is duly authorized to sign this Participating Agency Endorsement and Authorization.

Date: 10-07-2022

BY: Suzanne Sherman

ITS: City of Palm Bay

Participating Agency Contact Information:

Contact Person: Juliet Misconi, Chief Procurement Officer

Address: 120 Malabar Rd SE
Palm Bay, FL 32907

Telephone No.: 321-952-3424

Email: juliet.misconi@palmbayflorida.org

Product Specifics

Bauer Compressors, Inc. is the world's leading manufacturer of high pressure breathing air compressor systems and components. Some products on contract include:

- Breathing Air Storage Cylinders
- Breathing Air Compressor Systems and Components



Lead Public Agency: League of Oregon Cities
RFP #1920

CONTRACT TERM

CONTRACT NUMBER: PS20095

Effective Date: 04/17/2020

Initial expiration: 04/17/2023

Possible extensions through: 04/17/2026

Pricing Details

This contract offers 10% off list price.
For pricing and product details, log in to nppgov.com.

Contract Details

- Log into nppgov.com
- Forms, legal documentation, price lists and other information can be found on the Bauer Compressors vendor page
- Sign the Intergovernmental Agreement (IGA) and keep for your records
- Provide your NPPGov member number on the purchase order

NPPGov

NPPGov is a national cooperative procurement organization based in Seattle, WA offering publicly solicited contracts to government entities nationwide. Our contracts are created through a public solicitation by a Lead Public Agency. Access to our cooperative contracts is free and there are no purchasing obligations.

Benefits of cooperative contracts:

- Competitively bid, no additional RFP necessary
- Saves time and money in your procurement process
- Live contract support

COMPRESSED AIR SUPPLIES & EQMT,
INC

Info@compressedairsupplies.com
4081 SW 47th Ave, Suite 17
Davie, FL 33314

Estimate

Date	Estimate No.
1/25/2023	13941

Name/Address

Palm Bay Fire Rescue
899 Carlyle Ave. SE
Palm Bay, FL 32909

Ship To

Palm Bay Fire Rescue
899 Carlyle Ave. SE
Palm Bay, FL 32909

P.O. No.	Terms	Rep	Ship Via
	Net 30	Sean	

Item	Description	Qty	Rate	Total
	<p>PRICING FOR EQUIPMENT BASED ON NPPGOV CONTRACT #PS20095. CONTRACT VALID THROUGH 4/17/26 LEADING AGENCY: LEAGUE OF OREGON CITIES MEMBER #: M-5700859</p> <p>Pricing includes Start-up and training for operation. A custom PowerPoint will be provided for the Training Department.</p>			
		Total		

Estimate Valid for 30 Days

Customer Pricing Note: A 3.99% Customer Service Charge is applied to all sales. As an incentive for customers we now provide a discount to pay with cash or check by giving a 3.99% immediate discount on your purchase

COMPRESSED AIR SUPPLIES & EQMT,
INC
Info@compressedairsupplies.com
4081 SW 47th Ave, Suite 17
Davie, FL 33314

Estimate

Date	Estimate No.
1/25/2023	13941

Name/Address

Palm Bay Fire Rescue
899 Carlyle Ave. SE
Palm Bay, FL 32909

Ship To

Palm Bay Fire Rescue
899 Carlyle Ave. SE
Palm Bay, FL 32909

P.O. No.	Terms	Rep	Ship Via
	Net 30	Sean	

Item	Description	Qty	Rate	Total
Bauer TCL-25H	<p>TCOM Lite, IK18.1, 6000 psi, 25.2 CFM, 27 HP, 1300 RPM</p> <ul style="list-style-type: none"> -BAUER P5 breathing air purification system with SECURUS -BAUER PLC based controller -NEMA 4 rated electrical enclosure -Automatic condensate drain system with non-corrosive condensate reservoir and integrated float sensor. -Automatic "Full" indication and compressor shutdown -Two (2) 6000 psig UN code stamped air cylinders -NFPA 1901 Compliant Two Position Containment -Fill Station accommodates SCBA or SCUBA cylinders up to 31" overall length -Unique diesel drive system incorporating our exclusive automatic belt tensioning system -High gloss powder coat paint for a hard durable finish -Hydraulic surge brakes with breakaway actuator -Four (4) bank dual function cascade controls with air direction valve -Formed structural steel frame designed and built by BAUER -Hypalon® type cover protection for the operations panel and fill station -Refill port -CO monitor with calibration kit -2" ball hitch <p>R20</p>	1	143244.00	143,244.00

Total

Estimate Valid for 30 Days

Customer Pricing Note: A 3.99% Customer Service Charge is applied to all sales. As an incentive for customers we now provide a discount to pay with cash or check by giving a 3.99% immediate discount on your purchase

COMPRESSED AIR SUPPLIES & EQMT,
INC
Info@compressedairsupplies.com
4081 SW 47th Ave, Suite 17
Davie, FL 33314

Estimate

Date	Estimate No.
1/25/2023	13941

Name/Address

Palm Bay Fire Rescue
899 Carlyle Ave. SE
Palm Bay, FL 32909

Ship To

Palm Bay Fire Rescue
899 Carlyle Ave. SE
Palm Bay, FL 32909

P.O. No.	Terms	Rep	Ship Via
	Net 30	Sean	

Item	Description	Qty	Rate	Total
Bauer TCL OPTION PAC...	Bauer TCL OPTION PACKAGE B 100 foot hose with retractable reel and interior lights for TCOM Lite R21	1	5,568.00	5,568.00
Bauer TCL OPTION PAC...	Bauer TCL OPTION PACKAGE D Two (2) additional UN storage cylinders for the TCOM Lite package. R21	1	5,066.00	5,066.00
	Subtotal			153,878.00
D-15	NPPgov Discount		-15.00%	-23,081.70
	Subtotal			130,796.30
Misc Items	Buy back credit for current package	-1	5,000.00	-5,000.00
	Shipping TBD			
	Customer service charge is already removed for NET 30 payment.			

Estimate Valid for 30 Days

Customer Pricing Note: A 3.99% Customer Service Charge is applied to all sales. As an incentive for customers we now provide a discount to pay with cash or check by giving a 3.99% immediate discount on your purchase

Total \$125,796.30

LEAGUE OF OREGON CITIES
Fire Fighter Self Contained Breathing Apparatus Solicitation Synopsis
Solicitation No. 1920

Intent

The League of Oregon Cities (LOC) served as Lead Agency to solicit proposals for Fire Fighter Self Contained Breathing Apparatus. LOC works in cooperation with National Purchasing Partners “NPP” and its Government Division dba NPPGov, dba Public Safety GPO and dba Law Enforcement GPO (collectively hereinafter “NPPGov”), to service the LOC and NPPGov membership. The published Request for Proposal (RFP) contained provisions that permitted all members of LOC and NPPGov throughout the nation to “piggy-back” off the resulting Master Price Agreement.

Determination for issuing RFP vs. Sealed Bid

LOC has determined that it is advantageous for LOC to procure Fire Fighter Self Contained Breathing Apparatus using a secure competitive RFP process evaluated based on “best value” rather than sealed bidding. Sealed bidding limits evaluation of offers solely to compliance with the requirements, provides no opportunity to compare the product and service offerings among the vendors, and uses price as the predominate deciding factor. Such limitations prevent LOC from awarding the most advantageous contract(s) for LOC and its members.

Procedure

LOC issued an RFP (1920) on November 12th, 2020.

The RFP was published in the Daily Journal of Commerce on November 11th, 2020.

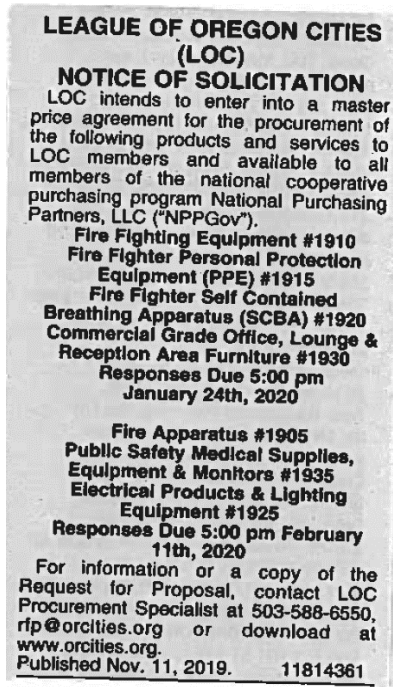
The RFP was published in USA Today on November 12th, 2020.

The RFP closed on January 24th, 2020.

The RFP was awarded on March 5th, 2020.

The RFP was posted to the following web sites: www.nppgov.com, www.orcities.org and www.findrfp.com

The text of the published notice of solicitation is as follows:



LOC received a proposal (s) from the following vendor (s):

1. Arctic Compressor, LLC
2. Bauer Compressors, Inc.
3. Cascade Fire Equipment Company
4. Curtis
5. Draeger, Inc
6. MECO
7. MES
8. Ten-8

A copy of the log for proposals received is attached hereto.

Proposals were evaluated by LOC based on the criteria contained in the RFP and selected the following successful proposer(s):

1. Arctic Compressor, LLC
2. Bauer Compressors, Inc.
3. Cascade Fire Equipment Company
4. Curtis
5. Draeger, Inc
6. MECO
7. MES
8. Ten-8

Evaluation

The evaluation was based on the following criteria as described in the RFP (weighted):

Component Evaluated	Weight
<u>Pricing:</u> Product price and discounts proposed included favorable pricing for cooperative purchasing. Shipping conditions. <i>PPW Section 7.0 and Pricing structure.</i>	25
<u>Product Line (Score only categories proposed):</u> Breadth, variety, quality of product line and innovation of products. Warranty availability. <i>PPW Section 9.0.</i>	15
<u>Marketing:</u> Marketing plan to promote the resulting contractual agreement and ability to incorporate use of agreement in their sales system throughout indicated coverage region. Willingness to allow training of salesforce. <i>PPW Section 4.0.</i>	15
<u>Customer Service:</u> Support dedicated to Participating Agencies. Ability to meet promised delivery timelines. Additional services offered. Conduct e-commerce. <i>PPW Sub-Sections 2.3 & 2.4 and Section 6.0.</i>	15
<u>Proven Experience:</u> Success in providing products and services in a timely manner. Years in business, references and reputation. Experience with cooperative purchasing. <i>PPW Sub-Section 1.2.</i>	15
<u>Coverage:</u> Ability to provide products and services for indicated coverage region including distribution, retail & service facilities, coordination of manufacturer and distribution, and staff availability. Clearly states distribution model and provides dealer list if applicable. <i>PPW Section 3.0 and Exhibit 1.</i>	10
<u>Conformance:</u> Completeness of proposal and the degree to which the Proposer responded to the terms and all requirements and specifications of the RFP. Followed the response format and content, was clear and easily understood. Provided Term's and Condition's, if applicable. <i>PPW Section 8.0 and 4.5 of RFP.</i>	5
<u>TOTAL</u>	100

Pricing Structure

Arctic Compressor, LLC: Proposer provided a discount off list price. See Price List Attachment in the resulting Master Price Agreement.

Bauer Compressors, Inc: Proposer provided a discount off list price. See Price List Attachment in the resulting Master Price Agreement.

Cascade Fire Equipment Company: Proposer provided a discount off list price. See Price List Attachment in the resulting Master Price Agreement.

Curtis: Proposer provided a discount off list price. See Price List Attachment in the resulting Master Price Agreement.

Draeger, Inc: Proposer provided a discount off list price. See Price List Attachment in the resulting Master Price Agreement.

MECO: Proposer provided a discount off list price. See Price List Attachment in the resulting Master Price Agreement.

MES: Proposer provided a discount off list price. See Price List Attachment in the resulting Master Price Agreement.

Ten-8: Proposer provided a discount off list price. See Price List Attachment in the resulting Master Price Agreement.

Additional Information

National Purchasing Partners
1100 Olive Way
Suite #1020
Seattle, WA 98101

Bruce Busch, Senior VP
bruce.busch@mynpp.com
(206) 515-5439
www.nppgovernment.com

[illegible]

L.N. Curtis and Son Attn: Nick Lawrence 1800 Peralta Street Oakland, CA 94067	MES Attn: Seth Cosans 7 Poverty Road 85H Bennett Square Southbury, CT 06488	Ten-8 Fire Equipment, Inc. Attn: Cindy Morgan 2904 59 th Ave. Dr. E. Bradenton, FL 34203
Hughes Fire Attn: Rex Hughes 910 Shelley St. Springfield, OR 97477	Municipal Equipment Company, LLC Attn: Mathew Fenneman 134 E. 3rd. St. Tifton, GA 31794	NAFECO Attn: Ronald Woodall 1515 West Moulton St Decatur, AL 35601
PBI Performance Products Attn: Bryan Bolden 9800 Southern Pine Blvd. Suite "D" Charlotte, NC 28273	Scott Safety Attn: Jeff Emery 4320 Goldmine Road Monroe, NC 28110	Fire-Dex Attn: Allen Rom 780 South Progress Drive Medina, OH 44256
MSA Attn: Ben Mauti 1100 Cranberry Woods Drive Cranberry Township, PA 16066	Honeywell Attn: Claire Miller #1 innovation Court Dayton, OH 45414	Bauer Attn: Bill Dickinson 1328 Azalea Garden Rd. Norfolk, VA 23502

OFFICIAL STAMP
JENNIFER CYPERT
NOTARY PUBLIC-OREGON
COMMISSION NO. 964506
MY COMMISSION EXPIRES JULY 11 2021

NOTARY PUBLIC in the State of Oregon
Residing at Salem, OR
My commission expires: 7/11/11

AFFIDAVIT OF PUBLICATION

DJC



921 S.W. Washington St. Suite 210 / Portland, OR 97205-2810
(503) 226-1311

STATE OF OREGON, COUNTY OF MULTNOMAH--ss.

I, **Michelle Ropp**, being first duly sworn, depose and say that I am a **Principal Clerk** of the **Daily Journal of Commerce**, a newspaper of general circulation in the counties of **CLACKAMAS, MULTNOMAH, and WASHINGTON** as defined by ORS 193.010 and 193.020; published at Portland in the aforesaid County and State; that I know from my personal knowledge that the Goods and Services notice described as

Case Number: NOT PROVIDED

FIRE FIGHTING EQUIPMENT

League of Oregon Cities; Bid Location Salem, OR, Marion County;

a printed copy of which is hereto annexed, was published in the entire issue of said newspaper for 1 time(s) in the following issues:

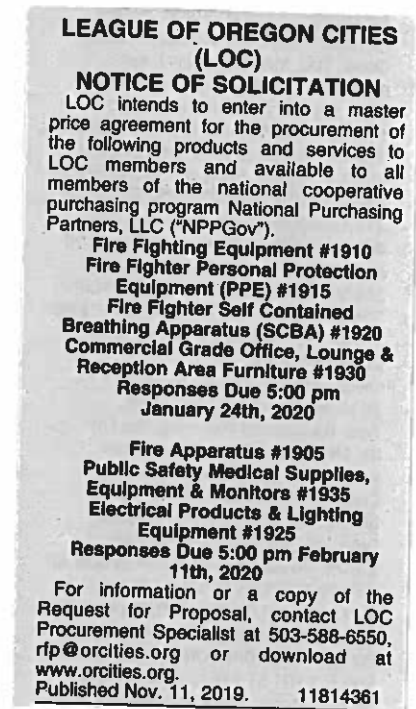
11/11/2019

State of Oregon
County of Multnomah

SIGNED OR ATTESTED BEFORE ME
ON THE 11th DAY OF November, 2019

Michelle Ropp

Notary Public-State of Oregon



Jeanine Hussak
League of Oregon Cities
1201 Court St NE Ste 200
Salem, OR 97301-4194

Order No.: 11814361
Client Reference No:

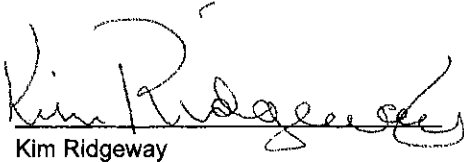


January 13, 2020

To Whom It May Concern:

I am a duly authorized representative of MCA Russell Johns Associates LLC, a company handling the advertising matters for USA Today, a daily newspaper distributed within the United States.

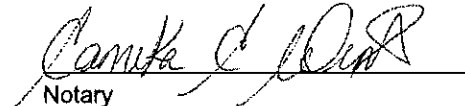
A public notice was placed by Public Procurement Authority and was published in said newspaper within the Marketplace section of the USA Today daily edition on November 12, 2019.


Kim Ridgeway

Professionals Department Manager

State of Florida
County of Pinellas

On this 13th day of January I attest that the attached document is a true, exact, complete, and unaltered
true sheet.


Notary

CAMIKA C. WINTER
Notary Public, State of Florida
My Comm. Expires Apr. 16, 2022
No. GG 208003

For advertising information: 1.800.397.0070 www.russelljohns.com/usat

NOTICES

PUBLIC NOTICE

League of Oregon Cities (LOC)

NOTICE OF SOLICITATION

LOC intends to enter into a master price agreement for the procurement of the following products and services to LOC members and available to all members of the national cooperative purchasing program National Purchasing Partners, LLC ("NPPGov").

Fire Fighting Equipment #1910

Fire Fighter Personal Protection Equipment (PPE) #1915

Fire Fighter Self Contained Breathing Apparatus (SCBA) #1920

Commercial Grade Office, Lounge & Reception Area Furniture #1930

Responses Due 5:00 pm January 24th, 2020

Fire Apparatus #1905

Public Safety Medical Supplies, Equipment & Monitors #1935

Electrical Products & Lighting Equipment #1925

Responses due 5:00 pm February 11th, 2020

For information or a copy of the Request for Proposal contact LOC, Procurement Specialist, at 503-588-6550, rfp@orcities.org or download at www.orcities.org

PUBLIC NOTICE

Pioneer Electric Cooperative Inc.,

Ulysses, KS, seeks qualified power line contractor to complete RUS specified rebuild of approx. 195 miles of winter storm damage to power lines and additional repair work.

Proposal documents are available at:
<http://pioneerelectric.coop/resources/storm-restoration/>
Bids due by 12/2/2019.

IN SEARCH OF

Attention Diabetics!
NO More Finger Pricking
Get Your New GCM Devices

Covered by Medicare
(must test/inject 4+ x a day)
855-629-5927

SUCCESSFUL ADVERTISEMENTS
start with USA TODAY Marketplace

Call: 1-800-397-0070

AUTO

ANTIQUE CLASSICS

Wanted Old Foreign Project Cars!

Any old foreign cars/Any Condition
Porsche, Jaguar, Mercedes, Rolls
Royce, Ferrari and more. Fast and
Easy transactions, Cash on the spot.

Call 703-832-2202

BUSINESS

BUSINESS OPPORTUNITIES

STILL CHASING MONEY?

Copy us.
Newcomers doing better than
\$30 K in their first month!
TooDamnEasy.com
Referral ID MA80659.
Direct Marketing Opp.

BUSINESS OPPORTUNITIES

Help Families Save Thousands on College

- Work from home
- B2B Big-ticket Sales
- High Profit Margins
- All digital
- Exclusives & 50% Financing may be available

850.781.9131

INVESTMENTS

20% APR PAID & INSURED

You Hold the Title
P&I Paid Monthly
\$45k Investment
\$66k Return
Short Term

985-630-6485

MARKETPLACE

NOVELTY

<https://brooklynnovelties.com/>



Novelty products at low prices!

In the tradition of Christmas, we will be giving away a product with every order as supplies last.

Find us on Facebook at: Guy From Brooklyn

HEALTH / FITNESS

Macular Degeneration, Cataract, Glaucoma



- How to heal without injections!
- Just released FREE guide that reveals why Macular Degeneration continues to increase at an alarming rate.
- Discover how STEM CELLS can help your vision.

1-800-430-9328 www.USAEyeReport.com
Edward Kondrot, MD Board Certified Ophthalmologist

GET NOTICED!

Advertise in USA TODAY's Marketplace!

Call: 1-800-397-0070

HEALTH / FITNESS

INVOKANA MEDICATION WARNING

ATTENTION THIS IS AN IMPORTANT MESSAGE FOR ANYONE THAT HAS TAKEN THE PRESCRIPTION MEDICATION INVOKANA, INVOKOMED OR INVOKOMED XR FOR THEIR DIABETES. IN MAY 2017, BASED ON THE FACTS OF TWO CLINICAL TRIALS, THE FDA ISSUED A HEALTH ADVISORY WARNING THAT THESE DIABETES MEDICATIONS INCREASE THE RISK OF AMPUTATION OF THE LEGS AND TOES. IF YOU OR YOUR LOVED ONE HAVE TAKEN THE PRESCRIPTION MEDICATION INVOKANA, INVOKOMED OR INVOKOMED XR FOR YOUR DIABETES.

YOU MUST CALL US NOW:
800-804-8248

BOOKS/PUBLICATIONS

STUDY THE BIBLE

For FREE 8-lesson course
Church of Christ, Box 8453, Falls Church, VA 22041 888-949-2176
www.gracewords.org

Place your advertisement in
USA TODAY's Marketplace!

To advertise, call:
800-397-0070



LEGISLATIVE MEMORANDUM

TO: Honorable Mayor and Members of the City Council

FROM: Suzanne Sherman, City Manager

THRU: Leslie Hoog, Fire Chief; Juliet Misconi, Deputy City Manager and Chief Procurement Officer

DATE: 3/16/2023

RE: Miscellaneous: Brush truck vehicle radios and air packs/bottles, Fire Stations 2, 3 and 5 - Fire Rescue Department; consideration of initially utilizing General Fund Undesignated Fund Balance, then CDBG funding once formally approved (\$119,000).

Fire Rescue is requesting permission to use General Fund undesignated fund balance in the amount of \$119,000.00 to cover the purchase of four (4) brush truck vehicle radios and 12 air packs & bottles for Fire Stations 2, 3 and 5. Previously, the Fire Department planned to submit a purchase request for fiscal year 2024 for this four (4) brush truck vehicle radios and 12 air packs & bottles for Fire Stations 2, 3 and 5. Instead, Staff is requesting to reallocate remaining, unspent CDBG funding to purchase this equipment. The available funding is from another city project at the Palm Bay Senior Center. Due to HVAC equipment shortages, the city will be replacing the chiller and the kitchen hood at the Senior Center but will not be able to replace the other air conditioning split systems and meet the CDBG expenditure deadline. Instead, this change will allow those funds to be used for public safety needs to help meet the growth needs of the City within the HUD designated low-income target areas. The Community and Economic Development Department has started the CDBG substantial amendment process and will bring forward a legislative memorandum after the required 30-day public comment period.

To meet the expenditure deadline utilizing CDBG funds, the City must make the purchase with undesignated fund balance. Once Council's approval of the CDBG substantial amendment, the Purchase Order utilizing undesignated fund balance will be cancelled and a new Purchase Order will be issued utilizing CDBG funds. If the purchase cannot be completed utilizing CDBG funds by the July 17th deadline, the purchase will be cancelled.

REQUESTING DEPARTMENT:
Fire Department

FISCAL IMPACT:

Transfer of undesignated funds from 001-0000-392-1001 in the amount of \$119,000.00 to 001-6012-0522-6403 for the four (4) brush truck vehicle radios and 12 air packs & bottles for Fire Stations 2, 3 and 5. Once approved to utilize CDBG funds, new Purchase Orders will be created utilizing 112-3411-554-6405. Subsequent budget

transfers will be completed to move the monies into this account.

RECOMMENDATION:

Motion to approve the purchase of four (4) brush truck vehicle radios and 12 air packs & bottles initially utilizing \$119,000 of General Fund undesignated funds to begin the purchase process. Once the CDBG funding is formally approved, we will replace the General Fund with the CDBG funds.



LEGISLATIVE MEMORANDUM

TO: Honorable Mayor and Members of the City Council

FROM: Suzanne Sherman, City Manager

THRU: Christopher A. Little, P.E.; Larry Wojciechowski, Finance Director

DATE: 3/16/2023

RE: Miscellaneous: Polymer feed system, North Regional Wastewater Treatment Plant – Utilities Department (MKI Services, Inc. - \$27,500); and appropriation of funds from the Utilities Renewal and Replacement Undesignated Fund Balance.

The Utilities Department is requesting funding to proceed with the purchase of a replacement polymer feed system for the sludge dewatering facility at the North Regional Wastewater Treatment Plant (NRWWTP). The existing system was originally acquired in Fiscal Year 2021. When approved for purchase, the City required a specific polymer feed system; however, the former NRWWTP Superintendent, without the knowledge of management, had the vendor switch systems for unknown reasons.

The polymer feed system that was provided is not functioning properly as it is not currently achieving the proper amount of polymer mixing for the application. As a result, the sludge dewatering facility is operating continuously yet is still unable to properly dewater the sludge. This is causing tanks to hold too much sludge and is causing excessive and unnecessary wear and tear on the equipment. Because the sludge dewatering facility is operating significantly longer than intended, we are experiencing increased operating costs for polymer and sludge hauling.

Staff is requesting to move forward immediately with the replacement of the polymer feed system to avoid possible equipment failure and to return the sludge dewatering facility to normal operation. It is imperative that this equipment remains operational as it is an important part of the wastewater treatment process.

The Utilities Department is requesting fund appropriation from undesignated fund balance for the procurement of the polymer feed system in the amount of \$27,500.

REQUESTING DEPARTMENT:

Utilities, Finance

FISCAL IMPACT:

Staff is requesting an allocation of \$27,500 from Utilities Renewal & Replacement Undesignated Fund Balance (424-0000-392-3006); funds will be available in the Utilities Department's Renewal & Replacement Fund 424-8032-535-62-21, project 23WS17. If approved, the appropriation will appear on the next scheduled budget

amendment.

RECOMMENDATION:

Motion to approve an appropriation of \$27,500 for the purchase of the polymer feed system for the North Regional Wastewater Treatment Plant from MKI Services, Inc., located in Boca Raton, Florida.

ATTACHMENTS:

Description

Quote

MKI Services, Inc.
7284 West Palmetto Park Road
Suite 304
Boca Raton, FL 33433

Quote

Date	Quote#
2/24/2023	2656-1

Name / Address
City of Palm Bay 120 Malabar Road Palm Bay, FL 32907

Ship To
City of Palm Bay North Regional WRF 1105 Clermont St. NE Palm Bay, FL 32905 Att: Tim Bailey

P.O. No.	Rep	Terms	Project	
	MS	Net 30 Days		
Description		Qty	Cost	Total
UGSI Chemical Feed Polyblend Model MM1200-P5-AB Includes (1) Trip, (1) Day Startup and Freight		1	27,500.00	27,500.00
Please contact Michele Shuminer if you need additional information. Thank you			Subtotal	\$27,500.00
Phone #	E-mail		Sales Tax (0.0%)	\$0.00
954-755-2092	michele@mosskelley.com		Total	\$27,500.00



LEGISLATIVE MEMORANDUM

TO: Honorable Mayor and Members of the City Council

FROM: Suzanne Sherman, City Manager

THRU: Christopher A. Little, P.E.; Larry Wojciechowski, Finance Director

DATE: 3/16/2023

RE: Miscellaneous: Air conditioner replacement, South Regional Administration Building – Utilities Department (Competitive Air and Heat - \$26,000); and appropriation of funds from the Utilities Renewal and Replacement Undesignated Fund Balance.

The Utilities Department is requesting funding to proceed with the replacement of the air conditioner at the South Regional Administration building. The air conditioner has failed and must be replaced.

Staff is requesting to move forward immediately with the replacement of the air conditioner.

The Department is requesting fund appropriation from undesignated fund balance for the procurement of the air conditioner in the amount of \$26,000.

REQUESTING DEPARTMENT:

Utilities, Finance

FISCAL IMPACT:

Pending approval of the budget amendment, amount \$26,000 from Utilities Renewal & Replacement Undesignated Fund Balance (424-0000-392-3006); funds will be available in the Utilities Department's Renewal & Replacement Fund 424-8040-536-62-01, project 23WS18.

RECOMMENDATION:

Motion to approve the appropriation of funds on the next scheduled budget amendment for the replacement of the air conditioner at the South Regional Administration building from Competitive Air and Heat, located in Satellite Beach, Florida.

ATTACHMENTS:

Description

Quote



ESTIMATE	#1266
ESTIMATE DATE	Mar 7, 2023
TOTAL	\$25,656.00

North Regional Water Treatment Plant
North Regional Water Treatment Plant
1105 Clearmont St NE
Palm Bay, FL 32905

(321) 503-4057
pat.farrelly@palmbayflorida.org

SERVICE ADDRESS

250 Osmosis Dr SE
Palm Bay, FL 32909

CONTACT US

689 S. HEDGE COCK SQUARE
SATELLITE BEACH, FL 32937

(321) 253-2532
admin@competitiveairandheat.com

ESTIMATE

Services	qty	unit price	amount
South Regional Admin Building- We will provide and install the following:			
Disclaimer: Estimate is good for 15 days from date delivered to customer.			
Materials	qty	unit price	amount
Carrier, 20 Ton, R410A, 3 Phase, 208-230V, Condenser	1.0	\$11,413.56	\$11,413.56
We will reconnect to existing electrical. We are not responsible for any electrical. Any modifications are the responsibility of the customer.			
18% Markup on Materials Cost	1.0	\$2,054.44	\$2,054.44
Carrier, 20 Ton, R410A, 3 Phase, 208-230V, Air Handler	1.0	\$10,064.41	\$10,064.41
We will reconnect to existing electrical. We are not responsible for any electrical. Any modifications are the responsibility of the customer.			
18% Markup on Materials Cost	1.0	\$1,811.59	\$1,811.59
Labor	16.0	\$19.50	\$312.00
HVAC Technician Standard Rate 2 Technicians- Full Day			

Materials subtotal: \$25,656.00

Subtotal	\$25,656.00
----------	-------------

Total	\$25,656.00
--------------	--------------------

Thank you for doing business with us!

License # RA 13067445



LEGISLATIVE MEMORANDUM

TO: Honorable Mayor and Members of the City Council

FROM: Suzanne Sherman, City Manager

THRU: Juliet Misconi, Deputy City Manager and Acting Chief Procurement Officer

DATE: 3/16/2023

RE: Resolution 2023-08, authorizing the submission of a grant application to the Florida Inland Navigation District (FIND) Waterway Assistance Program (WAP) for continued improvements to Castaways Point Park.

At the February 16, 2023, Regular Council Meeting, City Council authorized staff to submit a grant application to the Florida Inland Navigation District (FIND) Waterway Assistant Program (WAP) for additional improvements to Castaways Point Park, specifically improvements to the south pier. The estimated construction costs for the south pier is \$200,000. As provided at the February 16, 2023 regular council meeting, if the City is awarded grant funds, the City would need to allocate \$100,000 during Fiscal Year 2024 budget preparation to serve as the required 50% matching funds for the FIND grant. If awarded, grant funds would not be available until October 2023. The application window opened in January and ends on March 27, 2023. As part of the application process, the City is required to adopt a resolution and to hold a meeting with the local FIND commissioner prior to March 3, 2023. Staff has discussed this project with Commissioner, Jerry Sansom, who supports this project.

Please note, the City is also explore the possibility of FIND grant funding for Castaways Point Park shoreline restoration efforts to repair damage from Hurricane Nicole. It's important to note that the City is also pursuing Florida Emergency Management Agency (FEMA) funds for the shoreline restoration efforts as a potential funding source.

History

As authorized by City Council at the October 7, 2021 Regular Council Meeting, the City submitted a grant application to the Florida Department of Environmental Protection's (FDEP) Coastal Partnership Initiatives (CPI) grant program, a 50/50 matching grant. The City sought \$60,000 in grant funds to refurbish two piers (north and south), re-decking of the existing boardwalk, provide ADA accessibility upgrades to the restroom facilities, and install LED lighting and educational signage. The Parks & Facilities Department planned to complete the restroom refurbishment and sign and lighting installation utilizing City staff but bid out the work on the piers and boardwalk. Due to increases in the marketplace, staff requested an additional allocation of \$32,643, which was approved by Council on July 21, 2022, bringing the total estimated project value to \$152,643. The grant agreement was approved by City Council on August 6, 2022 and was executed on September 6, 2022.

In November 2022, the Procurement Department released a competitive request for bids for the north and south pier and boardwalk replacement. Bids were opened on December 9, 2022. Two (2) bids were received, both

over budget, and the City rejected all bids with the intent to reissue the solicitation.

On February 2, 2023, Council authorized staff to amend the CPI grant agreement to reduce the scope by eliminating the south pier, as the north pier is in worse condition and requires repairs. Council also authorized extending the time for completion to December 15, 2023, which was accepted by FDEP.

REQUESTING DEPARTMENT:

City Manager's Office, Parks and Facilities

FISCAL IMPACT:

The estimated construction costs for the south pier is \$200,000. If awarded, the City would need to allocate \$100,000 during Fiscal Year 2024 budget preparation to serve as the required matching funds for the FIND grant, which would require additional City Council approval at a later date upon grant award.

RECOMMENDATION:

Motion to adopted a resolution authorizing the City to submit an application to the Florida Inland Navigation Program (FIND) Waterway Assistance Programs (WAP).

ATTACHMENTS:

Description

Resolution 2023-08

RESOLUTION 2023-08

A RESOLUTION OF THE CITY OF PALM BAY, BREVARD COUNTY, FLORIDA, AUTHORIZING THE SUBMISSION OF A GRANT APPLICATION TO THE FLORIDA INLAND NAVIGATION DISTRICT AND AUTHORIZING THE CITY MANAGER AND THE CITY ATTORNEY TO NEGOTIATE AND EXECUTE AN AGREEMENT BETWEEN THE CITY OF PALM BAY AND THE FLORIDA INLAND NAVIGATION DISTRICT TO MAKE IMPROVEMENTS TO THE SOUTH PIER AT CASTAWAYS POINT PARK; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City of Palm Bay is interested in carrying out the following described project for the enjoyment of the citizenry of Palm Bay and the State of Florida: the "Castaways Park South Pier Improvements," with an estimated cost of \$200,000 to refurbish the existing south pier to include re-decking, LED lighting and education signage, and

WHEREAS, Florida Inland Navigation District financial assistance is required for the Castaways Park South Pier Improvements project, and

WHEREAS, the City of Palm Bay seeks to apply to the Florida Inland Navigation District for a grant in the amount of fifty percent (50%) of the actual cost of the project.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF PALM BAY, BREVARD COUNTY, FLORIDA, as follows:

SECTION 1. The above recitals are true and correct and are hereby incorporated by reference.

SECTION 2. The City certifies the following:

- A. The City will accept the terms and conditions set forth in FIND Rule 66B-2 Florida Administrative Code, which will be part of the Project Agreement for any assistance awarded under the referenced proposal.
- B. The City is in complete accord with the proposal and the City will carry out the Program in the manner described in the proposal and any plans and

specifications attached thereto unless prior approval for any changes has been received from the District.

- C. The City has the ability and intention to finance its share of the cost of the project and that the project will be operated and maintained at the expense of the City of Palm Bay for public use.
- D. The City will not discriminate against any person on the basis of race, color or national origin in the use of the property or facility acquired or developed pursuant to this proposal and shall comply with the terms and intent of Title VI of the Civil Rights Act of 1964 P.L. 88-352 (1964) and shall design and construct all facilities to fully comply with statutes relating to accessibility by handicapped persons as well as other federal, state and local laws, rules and requirements.
- E. The City will maintain adequate financial records on the proposed project to substantiate any claims for reimbursement.
- F. The City will make available to FIND if requested a post-audit of expenses incurred on the project prior to or in conjunction with the request for the final ten percent (10%) of the funding agreed to by FIND.

SECTION 3. This resolution shall take effect immediately upon the enactment date.

This resolution was duly enacted at Meeting 2023-07, of the City Council of the City of Palm Bay, Brevard County, Florida, held on March 16 , 2023.

Rob Medina, MAYOR

ATTEST:

Terese M. Jones, CITY CLERK



LEGISLATIVE MEMORANDUM

TO: Honorable Mayor and Members of the City Council

FROM: Suzanne Sherman, City Manager

DATE: 3/16/2023

RE: Consideration of adopting the Palm Bay Strategic Plan for Fiscal Years 2024-2028.

As part of the Fiscal Year (FY) 2023 adopted budget, the City kicked off the citywide organizational strategic plan in September 2022, with the goal of a final draft prior to the start of FY 2024 budget preparations.

The citywide strategic planning process is a visioning effort aimed to identify the mission, vision, values, and priorities of the organization. The City commissioned consultants, Baker Tilly Management Partners, to lead this process. The Palm Bay Strategic Plan will serve to identify the mission, vision, values, and goals of the City as an organization, driving the organization's purpose in every activity from budget planning to projects and initiatives it undertakes for the next five years. The citywide strategic plan serves as another tool in a series of strategic planning and visioning studies conducted by the City. In 2019, the City kicked off a Visioning Study and Comprehensive Plan Update, which is nearing completion in spring 2023 and is intended to guide the future development of Palm Bay. In 2021, the City also commissioned an Economic Development Strategic Plan, intended to conduct a scan of Palm Bay's existing industries and development infrastructure and identify opportunities for strategic and favorable development, providing a diversified mix of industry, employment opportunities, and an enhanced quality of life for residents. The Economic Development Strategic Plan was adopted by City Council at the regular meeting on March 2, 2023.

To identify key priorities and goals for Palm Bay, the City and consultant released two surveys, one for City personnel and one for members of the community. The surveys sought input on the mission, vision, and values of the organization, which ultimately guide the City's operational and fiscal priorities. The process concluded with a day-long Council Workshop, including City Council, the city management team, and department directors. The Workshop provided a series of interactive tools and dialogue intended to identify the core values of the City, creation of a mission statement, and outline key goals and priorities of the City.

The final draft of the Palm Bay Strategic Plan Fiscal Years 2024 - 2028 is attached for review and adoption. The Plan provides for the City's new vision statement, mission statement, organizational values.

Vision Statement: Palm Bay is a thriving community dedicated to economic prosperity, public safety, quality infrastructure, with a diverse and inclusive culture and recreational amenities for all.

Mission Statement: Our mission is to provide quality services, promote economic growth, and ensure a safe and secure environment for Palm Bay residents and the public.

Organizational Values:

- Commitment
- Integrity
- Service before self
- Transparency
- Trust

The resulting goals emphasize five (5) key priorities are:

- Develop sustainable, innovative infrastructure;
- Grow the community in a well-balanced manner;
- Increase public safety for residents, businesses and visitors;
- Increase commercial and industrial growth; and
- Improve community engagement and feedback.

REQUESTING DEPARTMENT:

City Manager's Office

FISCAL IMPACT:

There is no fiscal impact.

RECOMMENDATION:

Motion to adopt the Palm Bay Strategic Plan Fiscal Years 2024-2028.

ATTACHMENTS:

Description

Palm Bay Strategic Plan FY 2024-2028 FINAL



The City of

Florida

Palm Bay

Five Year Strategic Plan

Fiscal Year 2024 - 2028

Prepared for the City of Palm Bay by Baker Tilly



Management
Partners

A Message from the Mayor

The City of Palm Bay is excited to put forth an organizational strategic plan that establishes priorities and goals that guide annual budget preparations and the City's 5-Year Capital Improvement Plan (CIP). The Palm Bay Strategic Plan will also guide the delivery of City programs, initiatives, and municipal services to Palm Bay residents and businesses.

In recent years, the City completed an Economic Development Strategic Plan, not to be confused with the organizational strategic plan, which was adopted by City Council on February 2, 2023, as well as commissioned an update to the Comprehensive Plan to lay the foundation for the future economic growth and development of Palm Bay. With the adoption of the Fiscal Year 2023 annual budget, Palm Bay City Council funded a citywide organizational strategic plan to optimize funding for programs and services and to address community needs and concerns. The strategic planning process included input from City employees and the community to develop a common vision and mission and identify a set of organizational values to guide the City in providing programs and services to Palm Bay residents. Following public input, the City held a day-long Council Workshop which included City Council, the city management team, and department directors to identify priorities and set goals.

The resulting goals of the strategic plan represent the five key priorities identified by Council and staff for the next five fiscal years (2024 through 2028). These goals are:

- Develop sustainable and innovative infrastructure;
- Grow the community in a well-balanced manner;
- Increase public safety for residents, businesses and visitors;
- Increase commercial and industrial growth; and
- Improve community engagement and feedback.

Resident feedback from the community survey supports these priorities for the City, and I am pleased to see them reflected in the Strategic Plan.

The objective of the five-year strategic plan is to ensure that City funds and efforts are directed towards projects, programs, and initiatives that have been identified as a priority by the community. I am grateful to all community members and City staff who participated in this process.

Respectfully,

Rob Medina
Mayor

A photograph of a tropical park with tall palm trees and a paved path. The scene is bathed in warm, golden light, suggesting late afternoon or early morning. The palm trees are tall and slender, with their fronds reaching towards a clear blue sky. A paved path leads through the trees, and a black lamppost stands on the left. The overall atmosphere is serene and lush.

Introduction

The purpose of the citywide organizational strategic plan is to establish a policy direction for the future, focus staff efforts, and provide a framework for monitoring achievements toward stated goals and priorities. The Palm Bay leadership team and staff worked collaboratively to establish a clear course and direction to guide department work planning, resource allocation, and decision-making in the City for the next five fiscal years. Throughout the strategic planning period, City staff will measure progress towards the stated goals and strategies resulting from this process to ensure we are helping achieve our vision for the future of Palm Bay.

Methodology

The strategic planning process was informed by individual interviews with the Mayor, each Council member, the city manager, deputy city manager, department directors, and other members of the leadership team. In addition, two separate surveys, one for members of the Palm Bay community and a second for City employees, solicited input about community strengths, challenges, and opportunities. The survey also asked for comments about vision and mission statements, and organizational values to guide the City going forward. Information from interviews and other data gathering methods provided context and understanding about the current and anticipated operating environment in Palm Bay and was used to inform Council's understanding and discussions regarding the local and regional operating environment and the future of the City of Palm Bay.

The strategic planning process involved the following activities:

- Baker Tilly (formerly, national consulting firm Management Partners) conducted individual interviews with City Council and the City's leadership team.
- Baker Tilly administered community and employee surveys to solicit broad input about Palm Bay's vision and mission statements, and to inform the identification of organizational values and priorities.
- Palm Bay staff created an environmental scan outlining key demographic, employment, and development-related information, as well as City revenues and expenditure trends. This environmental scan was used to provide a graphic and statistical "picture" of the current state of the City.

The Palm Bay City Council held a day-long strategic planning workshop on December 5, 2022 at City Hall. Members of the City's management team joined the City Council. The first part of the workshop focused on a review of the information resulting from the data gathering efforts. It led to a discussion about the current vision, mission, and organizational values, and citywide priorities for the future. The second part of the workshop focused on crafting goals for each priority area. The team worked together during the workshop in large and small groups to discuss citywide strategies and help craft the elements of this Strategic Plan.



Vision

Our vision statement describes where the organization is heading and expresses an aspirational view of a future desired state.

Palm Bay is a thriving community dedicated to economic prosperity, public safety, quality infrastructure, with a diverse culture and recreational amenities for all.



Mission

Our mission statement describes why the organization exists, its purpose, what it does, and clearly articulates the services provided and the desired outcomes.

Our mission is to provide quality services, promote economic growth and ensure a safe and secure environment for Palm Bay residents and the public.

A silhouette of a person fishing on a wooden pier at sunset. The person is holding a fishing rod that extends diagonally across the frame. The sky is a mix of orange, pink, and blue, with the sun low on the horizon. The water is calm, reflecting the colors of the sky. The pier's railing is visible in the foreground.

Organizational Values

Values drive the behaviors and interactions of staff members with each other and with the public. Values reflect the culture of the City and contribute to the desired future.

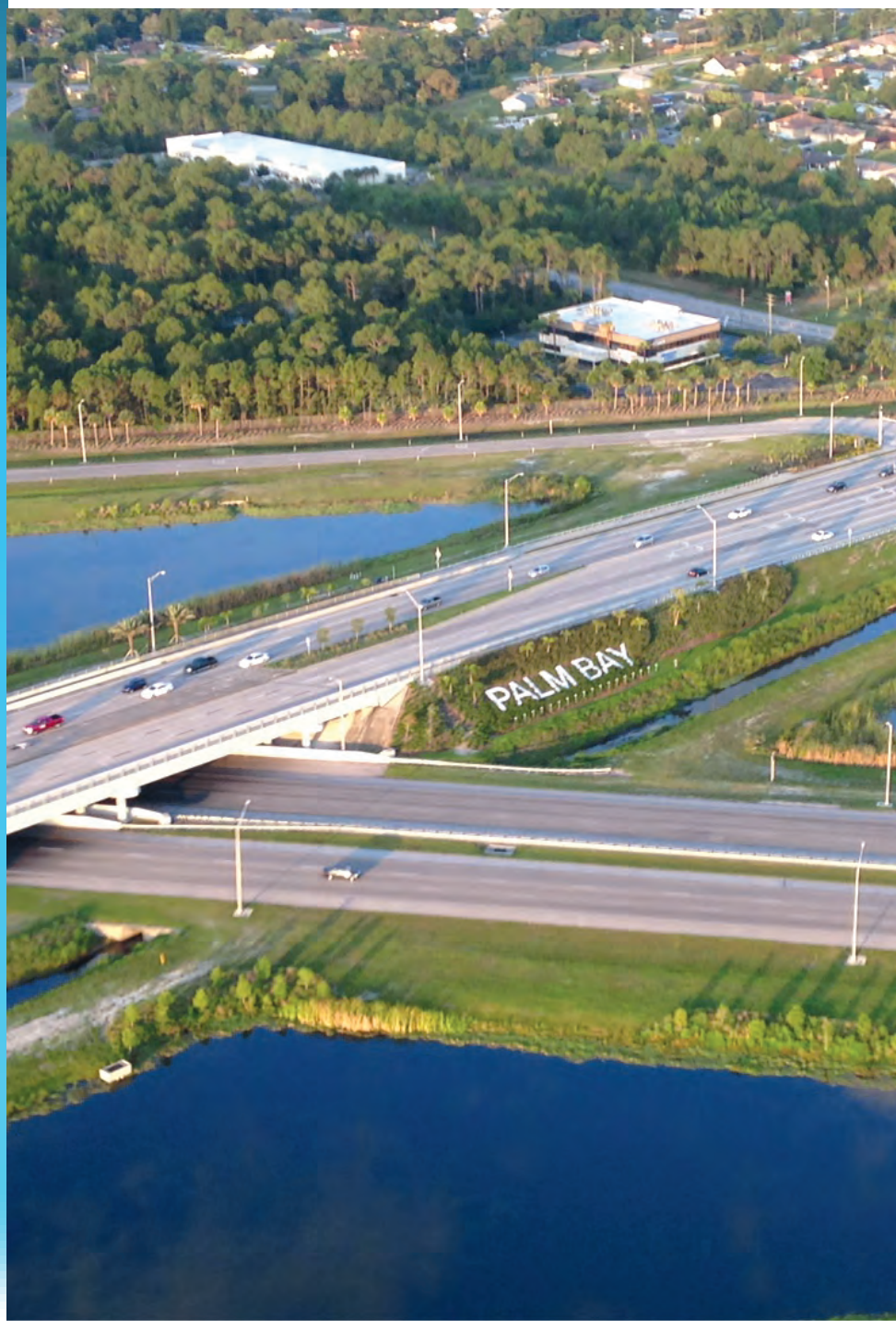
We Value

- **Commitment**
- **Integrity**
- **Service before self**
- **Transparency**
- **Trust**

Goal A: Develop sustainable and innovative infrastructure

Strategies

1. Annually assess current and future infrastructure (roads, storm water, parks, utilities, public safety) and technology needs and update the Capital Improvement Plan, as needed.
2. Create a plan to regularly evaluate current and future staffing and facilities needs for city departments.
3. Expand two-way fiber infrastructure between all city buildings.
4. Identify and implement innovative technologies and solutions to improve City service delivery and the overall resident experience using "smart city" strategies.



Goal B: Grow the community in a well-balanced manner

Strategies

1. Update the City's Land Development Code to align with the adopted comprehensive plan.
2. Establish criteria to assess potential annexation opportunities.
3. Establish a phased approach to expand the wastewater collection system, provide for mandatory water connection, and assist households with funding as available (i.e., grants).
4. Identify available funding sources to expand utilities, transportation, storm water, parks, and public safety infrastructure.
5. Prepare and maintain a master plan for maintenance, improvements and expansion of all infrastructure, including roads, storm water, utilities, sidewalks, streetlights, parks, and public safety.
6. Implement placemaking and complete streets strategies that create a sense of place and promote equitable development.



Goal C: Increase public safety for residents, businesses and visitors

Strategies

1. Identify strategies to reduce emergency response times.
2. Prepare and maintain a master plan for maintenance, improvements and expansion of police and fire capital equipment, vehicles, and facilities.
3. Identify strategies to increase the number of interactions and engagement opportunities between residents and public safety staff.
4. Identify strategies to fund growth and expansion of the police and fire departments to meet the growing needs of the community.



Goal D: Increase commercial and industrial growth

Strategies

1. Identify areas for commercial and industrial growth.
2. Identify incentives and inducements to attract new commercial and industrial development.
3. Craft a plan of action for marketing underdeveloped areas of the City, to include leveraging municipally owned parcels within the area known as 'the compound.'
4. Establish a marketing campaign to leverage economic assets of the City and region to recruit new and diverse industry.



Goal E: Improve community engagement and feedback

Strategies

1. Enhance communication with advisory boards in the decision-making process, by including regular progress updates to City Council.
2. Increase opportunities for public engagement by convening workshops and special meetings within various quadrants of the City, where possible.
3. Identify strategies to further communicate City news and information with primary target audiences, including homeowner associations, professional and business organizations, and other community groups.
4. Establish stronger relationships with media partners, locally and regionally, to communicate positive news and messaging about Palm Bay.





Conclusion

The City of Palm Bay's five-year Strategic Plan provides a clear path for leaders and residents of this thriving city. The City Council, leadership team, and all staff members are committed to achieving the vision and mission by demonstrating the values daily. The values will guide internal and external interactions and service delivery to Palm Bay residents, businesses, stakeholders, and visitors. The goals and strategies included in this Plan will be used to direct staffing and resource allocation during the next five fiscal years.

Successful implementation of the goals will require a collective effort by administrative leaders, directors, and employees in all City departments. Palm Bay leaders are committed to working collaboratively with members of the community, region, and state. They are also committed to communicating the progress made to implement goals and strategies contained within the Plan, as well as obtaining feedback about how well services are being delivered. The City Council will monitor the periodic updates provided by leadership about progress toward the goals and will invite community input along the way.

City Council and Leadership



Mayor
Rob Medina



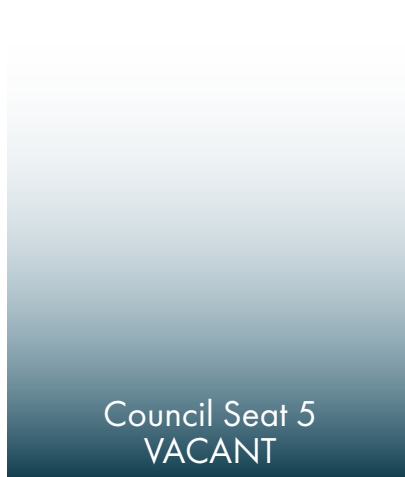
Deputy Mayor
Donny Felix



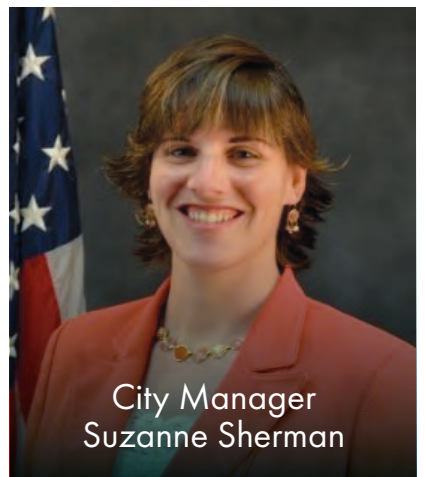
Councilman
Kenny Johnson



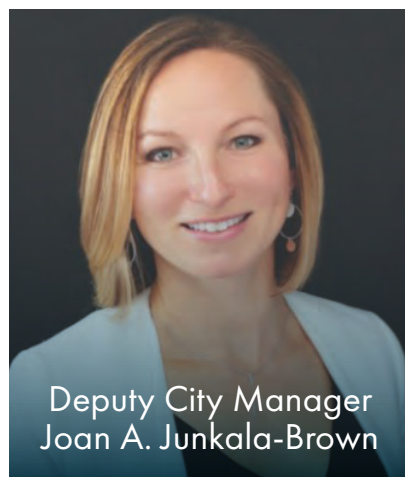
Councilman
Randy Foster



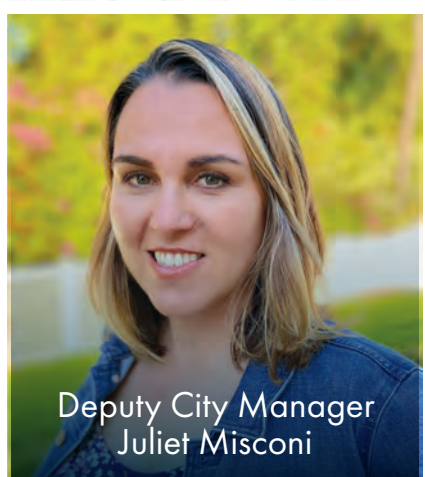
Council Seat 5
VACANT



City Manager
Suzanne Sherman



Deputy City Manager
Joan A. Junkala-Brown



Deputy City Manager
Juliet Misconi



The City of
Palm Bay
Florida



LEGISLATIVE MEMORANDUM

TO: Honorable Mayor and Members of the City Council

FROM: Suzanne Sherman, City Manager

THRU: Nancy A. Bunt, Community & Economic Development Director

DATE: 3/16/2023

RE: Consideration of the Bayfront Community Redevelopment Agency 2022 Annual Report.

Per Chapter 163.371, Florida Statutes, not later than March 31 of each year, a Community Redevelopment Agency (CRA) shall file an annual report with the municipality or county by which the agency was created and publish the report on the agency's website and shall be required to provide such information as defined by the Chapter. Additionally, per the Interlocal Agreement (ILA) between the City of Palm Bay, Bayfront Community Redevelopment Agency (CRA) and Brevard County, the CRA shall file an annual report in the format provided in Exhibit A of the ILA, to include additional information beyond what is required by Chapter 163.371. Attached for review and consideration is the 2022 Annual Report of the Bayfront CRA. Please note that the financial information is unaudited. The City expects the final audit review to be complete in April; therefore, an update to the Annual Report will be provided within 45 days after completion of the audit, as allowed by Chapter 163.371(2) (a), Florida Statutes. The 2022 Annual Report of the Bayfront CRA was presented to the Bayfront CRA Board on March 2, 2023, and will be presented to the Brevard County Board of County Commissioners at a future meeting.

REQUESTING DEPARTMENT:
Community & Economic Development

FISCAL IMPACT:
There is no fiscal impact.

RECOMMENDATION:
Motion to approve the 2022 Annual Report of the Bayfront CRA.

ATTACHMENTS:

Description

Attachment 1 -BCRA Annual Report (unaudited)

Attachment 2 - Recorded ILA

City of Palm Bay

Bayfront Community Redevelopment Agency

2022 Annual Report

I. Introduction, Mission and Overview

The City established the Bayfront Community Redevelopment District as a Community Redevelopment Agency (CRA) in 1999. The Bayfront Community Redevelopment Agency (Bayfront CRA) is due to sunset in 2024. A CRA is defined as a separate public entity created by the local municipality in order to implement redevelopment activities outlined in Chapter 163 of the Florida Statutes. The mission of the Bayfront CRA is to remove and reduce blight in the District, facilitate economic renewal and attract new capital investment.

The goal of the Agency, as stated in the adopted redevelopment plan, is to develop, redevelop, and revitalize the area over a 30-year period. The adopted vision of the Bayfront Redevelopment Plan is to have the District be redeveloped as an attractive, inviting, and economically successful community with residential, commercial, retail, and mixed-use development. This planned regional destination includes an active waterfront village for the enjoyment of all Palm Bay residents.

Fiscal Year 2022 Overview

An annual report of the Bayfront Community Redevelopment Agency (Bayfront CRA) for the fiscal year ending on September 30, 2022 is submitted herewith pursuant to Chapters 163.365(3)(c) and 163.371 of the Florida Statutes.

This report consists of the activities of the Agency and an unaudited financial statement of the Agency as reported by the City of Palm Bay's Comprehensive Annual Financial Report, Fiscal Year 2022.

A copy of the audited financial statement will be included herein following the completion of the City of Palm Bay's Comprehensive Annual Financial Report, Fiscal Year 2022, expected at the end of May 2023.

District Year in Review

In June 2022, the CRA sold property located at 1582 Water Drive NE to Palm Bay Landing, LLC. The site sits along Palm Bay's waterfront and was purchased as part of a land assemblage for a large-scale mixed-use future development project to include multi-family and commercial.

On May 4, 2022, the BCRA executed a purchase contract for 1626 Orange Blossom Trail NE, the sale is anticipated to be completed in March 2023. The CRA has two other properties located at 1608 Orange Blossom Trail NE (Tax ID: 2832603) and the parcel just north of 1608 Orange Blossom Trail NE (Tax ID: 2866312) for sale.

The Bayfront CRA sold the following properties in FY2022: 1582 Water Drive NE.

Total Assessed Taxable Value

The Fiscal Year (FY) 2022 Bayfront Community Redevelopment Agency witnessed another year of increased revenue due to steadily increasing property values within the redevelopment district.

As reported by the Brevard County Property Appraisers Office, the 2021 certified taxable property values within the Bayfront redevelopment district was \$254,737,028, and the 2020 certified taxable value totaled \$233,837,970. The 2021 certified taxable property value represents a net increase of nine (9) percent or \$20,899,058 in taxable property value for over the Fiscal Year. In 2020 certified taxable property value represented a four (4) percent increase.

Tax Revenues

Redevelopment activity within District provided the Bayfront CRA increased tax revenues to \$1,651,448, a 12.4 percent increase over 2021 (\$1,469,578).

The City portion of the increment equaled \$1,122,984.64 (68%) while the Brevard County portion totaled \$528,463.36 (32%) for FY 2022.

Expenditures

Expenditures for the Fiscal Year 2022 totaled \$987,829 with \$342,000 allocated to debt service.

Though the FY 2022 approved budget provided \$1,145,095 in total operational expenses, to include \$631,462 reimbursed to Brevard County for unexpended funds from Fiscal Year 2021 per the Interlocal Agreement (ILA) between Brevard County, City of Palm Bay and Bayfront CRA executed on October 8, 2019. The CRA also initiated a transfer of \$1,340,011 to reimburse the City's General Fund for similar unexpended funds from the previous Fiscal Year 2021.

II. Board Members and Staff

In Fiscal Year 2017, Palm Bay City Council revised the composition of the Agency's governing body. Changes included the establishment of each City Councilman as a

Bayfront CRA Commissioner to serve congruently with their term of office with the Mayor and Deputy Mayor serving as Chairman and Vice-Chairman respectively. The Board also includes two at-large citizen commissioners that are appointed by City Council. As of September 30, 2022, the Board Commissioners were as follows:

Members

Rob Medina, Chairperson

Kenny Johnson, Vice-Chairperson

Donny Felix, Commissioner

Randy Foster, Commissioner

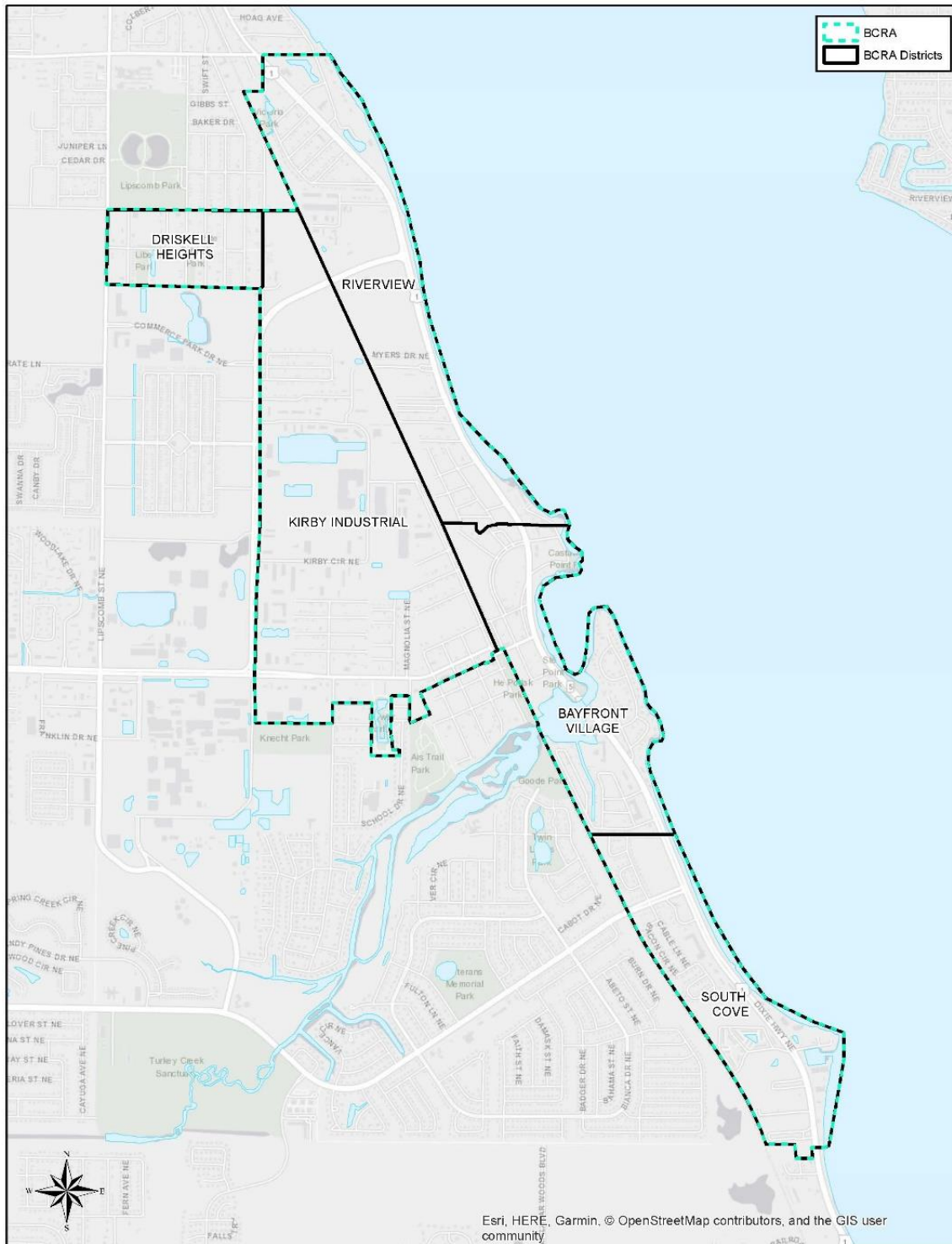
Peter Filiberto, Commissioner

Phillip Weinberg, Commissioner At-Large

Vicki Northrup, Commissioner At-Large

III. Boundary Lines

The Bayfront Community Redevelopment District is a four-mile section of US Highway 1, bound by the city limits of the City of Melbourne on the north and the Town of Malabar on the south. The Indian River Lagoon makes up the eastern boundary and the western boundary runs south from the US Highway 1 and University Boulevard intersection for approximately 500 feet, then west to the Florida East Coast (FEC) Railroad; south along the railroad about 2,200 feet; west along the city limits at Florida Avenue to Lipscomb St.; south on Lipscomb St. to Doreatha Fields Ave. (also known as Pacific Ave.); east on Doreatha Fields Ave. to Northview St.; south on Northview St. to R. J. Conlan Blvd.; south on R. J. Conlan Blvd. to Palm Bay Road; east on Palm Bay Road including those parcels abutting the south side of Palm Bay Road to the FEC Railroad; and south on the FEC Railroad to the Malabar town limits.



IV. History

a. Creation Date

In 1994, the Bayfront Community Redevelopment District was determined to be an area of slum and blight, and in 1999 the Bayfront Community Redevelopment District 2024 Plan was adopted by the City of Palm Bay. The Bayfront Community Redevelopment Agency will sunset 25 years from the date of establishment on May 4, 2024.

b. Plan Amendment Dates

The Bayfront CRA did not conduct a Plan Amendment; however, in October 2009, the CRA commissioned MSCW, Inc. to observe and document the conditions of slum and blight. These findings have been reported in the Plan under Appendix A Field Inventory and Analysis.

c. Applicable Resolution(s) and Ordinances

The City created the Agency pursuant to City Resolution 99-20 and approved its Community Redevelopment Plan after the County delegated its authority under Chapter 163, Part III, Florida Statutes, as set forth in County Resolution 99-11. The City created a tax increment redevelopment trust fund (Agency tax increment fund) pursuant to section 163.387, Florida Statutes under City Ordinance 99-19.

On October 8, 2019, the Brevard County Board of County Commissioners adopted Resolution 2019-198 modifying the delegation of the powers of the City of Palm Bay, revoking the City's authorization to issue bonds, pledge funds, incur debt, obtain loans, and limiting all other financial activities of the Bayfront CRA.

V. District Area Projects Overview

Castaway Point Park: The City of Palm Bay received a Coastal Partnership Initiatives grant from the Florida Department of Environmental Protection (FDEP) Agency in the amount of \$60,000 for the Castaway Point Park Restoration and Enhancement Project, which includes repairs to the north and south pier boardwalks, upgrades to the lighting and restroom facilities, and educational signage. This grant opportunity will fund the first phase of a two-phase park enhancement project.

This 2.5 acre park, built in 1998, is located in the Bayfront District and serves as a local recreational facility and a regional eco-tourism destination which is perfectly placed on the Indian River Lagoon. As part of the National Estuary Program (NEP), the Lagoon is an estuary of national significance and is included in the Indian River Lagoon (IRL)

National Scenic Byway as offering one of the few natural, white-sand beaches along this federally designated waterway.

The second phase will include the relocation of existing parking to City-owned parcels northeast of US 1 and Bay Boulevard. Phase two will increase green space at the park and implement low impact development design standards by incorporating permeable parking pavers to reduce the pollution of the Indian River Lagoon from stormwater runoff. Also proposed in phase two is the installation of new park signage and a nutrient-separating baffle box at the outfall located at the corner of US 1 and Bay Boulevard. There is no cost estimate or start date for the second phase, although the City will seek out grant and other funding opportunities in the 2023 fiscal year.

Commercial Property Enhancement Program: Through the City's Commercial Property Enhancement Program (CPEP), three (3) businesses located in the Bayfront District were awarded grant funds for façade improvements to their commercial buildings.

CPEP is a performance-based reimbursement grant awarded to applicants to encourage private investment and improvements to the exterior frontage of commercial properties located on major transportation corridors in Palm Bay. The CPEP is intended to enhance and improve the street view of the built environment from the public perspective. The businesses and their respective improvements included:

- *Kilmer Properties – 2901 Palm Bay Rd. NE:* Stucco repair and paint to the entire exterior of the building (including window frames), the addition of an ADA-accessible ramp (including aluminum & concrete) on the east side of the plaza, and a new set of stairs. *Estimated project completion is 2023.*
- *Sea Tech & Fun USA, LLC (dba AquaTech Marine) – 2723 Palm Bay Rd. NE:* Removal of old pole sign and installation of a new internally illuminated double-sided freestanding pole sign. *Project completed February 2023.*
- *Rooney's, Inc. – 2641 Palm Bay Rd. NE:* Landscaping enhancements, installation of drip irrigation system and rehab of an existing well, installation of decorative lighting, including electrical, and restriping of the parking lot. *Estimated project completion is 2023.*

All applicants were given priority to funding due to being located in the Bayfront CRA.

Other Projects:

- *Big Johnson Concrete Placement – 2726 Kirby Circle, NE*
 - Building Size: 3,600 square feet
- *Conlan Bay Storage - Robert J. Conlan Blvd. & Lemon Tree Lane NE*
 - Building Size: 96,174 square feet
 - Estimated Completion Date: 2023
- *Equipment Share – 2571 Transom Circle NE*
 - Building Size: 9,821 square feet
 - Estimated Completion Date: 2023

- Lanta Warehouse – 2724 Kirby Circle NE
 - Building Size: 3 Buildings; Total 19,400 square feet
 - Estimated Completion Date: 2023

VI. Financial Reports

a. Balance Sheet

See Attachment A – Financial Section (Unaudited)

b. Statement of Revenues, Expenditures & Changes in Fund Balances

See Attachment A – Financial Section (Unaudited)

c. Summary of Projects, Grants & Debt

See Attachment A – Financial Section (Unaudited)

VII. Performance Information

a. Total Projects started, completed, and estimated cost for each project:

Brevard County Resolution 2019-198 prohibits the Bayfront CRA from undertaking any new projects that would commit Agency funds. There were no new CRA-funded projects in FY 2022.

b. Number of jobs created and sector of the economy from which these jobs were created within the CRA

There were no jobs created as a direct result of the projects and activities of the Bayfront CRA.

c. Number of jobs retained within the CRA

There were no jobs retained as a direct result of the projects and activities of the Bayfront CRA.

d. Assessed Property Values

When the CRA was enacted in 1998, the base property assessed value was \$100,372,760. The 2022 assessed property value was \$254,737,028 with a current year increment value of \$154,364,268.

e. Affordable Housing

No CRA funds have been expended for affordable housing projects in FY 2022.

ATTACHMENT “A”
Fiscal Year 2022 Financial Reports (*unaudited*)

**SCHEDULE OF REVENUES, EXPENDITURES AND CHANGES IN FUND BALANCES – BUDGET
AND ACTUAL – BAYFRONT COMMUNITY REDEVELOPMENT AGENCY**

For Fiscal Year Ended September 30, 2022 (unaudited)

REVENUES	Budget	Actual Amounts	Variance with Budget - Positive (Negative)
Taxes	\$ 1,637,391	\$ 1,637,391	\$ -
Investment Income	6,400	14,057	(7,657)
Total Revenues	1,643,791	1,651,448	(7,657)

EXPENDITURES	Budget	Actual Amounts	Variance with Budget - Positive (Negative)
Current:			
Economic Environment	1,145,095	638,662	506,433
Capital Outlay	-	-	-
Debt Service: Principal Retirement	342,000	342,000	-
Interest and Fiscal Charges	7,167	7,167	-
Total Expenditures	1,494,262	987,829	506,443
Excess (Deficiency) of Revenues Over (Under) Expenditures	149,529	663,619	498,776

OTHER FINANCING SOURCES	Budget	Actual Amounts	Variance with Budget - Positive (Negative)
Transfers Out	(1,340,011)	(1,340,011)	-
Proceeds from Sale of Capital Assets	214,830	177,606	37,224

OTHER FINANCING SOURCES	Budget	Actual Amounts	Variance with Budget - Positive (Negative)
Total Other Financing Sources	(1,125,011)	(1,162,405)	37,224
Net Change in Fund Balance	\$ (975,652)	\$ (498,786)	\$ 536,000
Fund Balance - Beginning	-	1,971,473	-
Fund Balance - Ending	-	\$ 1,472,687	-

BALANCE SHEET – BAYFRONT COMMUNITY REDEVELOPMENT AGENCY
September 30, 2022 (unaudited)

	Bayfront Community Redevelopment Agency Fund
ASSETS	
Cash and Cash Equivalents	\$ 3
Investments	1,472,735
Total Assets	\$ 1,472,738

	Bayfront Community Redevelopment Agency Fund
LIABILITIES AND FUND BALANCES	
Liabilities:	
Accounts Payable	\$ 51
Total Liabilities	51

	Bayfront Community Redevelopment Agency Fund
LIABILITIES AND FUND BALANCES	
Fund Balances:	
Restricted	1,472,687
Total Fund Balances	1,472,687
Total Liabilities, Deferred Inflows of Resources and Fund Balances	\$ 1,472,738

The notes to the financial statements are an integral part of the financial statements.

STATEMENT OF REVENUES, EXPENDITURES AND CHANGES IN FUND BALANCE
Bayfront Community Redevelopment Agency
For Fiscal Year Ended September 30, 2022 (unaudited)

REVENUES	Bayfront Community Redevelopment Agency Fund
Taxes	\$ 1,637,391
Investment Income	14,057
Total Revenues	1,651,448

EXPENDITURES	Bayfront Community Redevelopment Agency Fund
Current:	
Economic Environment	638,662
Debt Service: Principal Retirement	342,000
Interest and Fiscal Charges	7,167
Total Expenditures	987,829
Excess (Deficiency) of Revenues Over Expenditures	663,619

OTHER FINANCING SOURCES (USES)	Bayfront Community Redevelopment Agency Fund
Transfers Out	(1,340,011)

OTHER FINANCING SOURCES (USES)	Bayfront Community Redevelopment Agency Fund
Proceeds from Sale of Capital Assets	177,606
Total Other Financing Sources and Uses	1,162,405
Net Change in Fund Balances	(498,786)
Fund Balances - Beginning	1,971,473
Fund Balances - Ending	\$ 1,472,687

The notes to the financial statements are an integral part of the financial statements.

211

**INTERLOCAL AGREEMENT
BETWEEN CITY OF PALM BAY,
BAYFRONT COMMUNITY REDEVELOPMENT AGENCY, AND
BREVARD COUNTY, FLORIDA**

THIS INTERLOCAL AGREEMENT entered into the 8th day of October, 2019, by and between the following Parties: the CITY OF PALM BAY, a Florida municipal corporation, (hereinafter "the CITY"), the BAYFRONT COMMUNITY REDEVELOPMENT AGENCY, (hereinafter "the Agency") a dependent Special District of the State of Florida, and BREVARD COUNTY, a political subdivision of the State of Florida, in its own name and in behalf of each County Taxing Authority, as defined in Section 2b., below), 2725 Judge Fran Jamieson Way, Viera, Florida 32940 (hereinafter collectively called "the COUNTY").

WITNESSETH:

WHEREAS, the CITY created the AGENCY pursuant to CITY Resolution 99-20 and approved its Community Redevelopment Plan after the COUNTY delegated its authority under Chapter 163, Part III, Florida Statutes, as set forth in COUNTY Resolution 99-11; and

WHEREAS, the CITY created a tax increment redevelopment trust fund (AGENCY tax increment fund) pursuant to section 163.387, Florida Statutes under CITY Ordinance 99-19; and

WHEREAS, the CITY and COUNTY have continuously paid their respective full AGENCY tax increment fund payments required by section 163.387(1), Florida Statutes, to the AGENCY since the first fiscal year of the AGENCY's operation; and

WHEREAS, the COUNTY is facing certain budget issues relating to road maintenance, construction and reconstruction due to county charter restrictions on ad valorem tax revenues and other factors; and

WHEREAS, the COUNTY has asked the CITY and the AGENCY to cooperate in a potential solution to the County budget concerns by negotiating an Interlocal agreement in order to work toward assisting with the COUNTY's goal of enhancing activities towards road maintenance, construction and reconstruction.

NOW, THEREFORE, the Parties mutually agree as follows:

1. **RECITATIONS.** The foregoing recitations are true and correct and by this reference incorporated herein.

2. **DEFINITIONS.** The terms below shall have the indicated meanings.

a. "Increment" or "Tax Increment" shall have the same meaning as "increment" as set forth in section 163.387(1)(a), Florida Statutes.

b. "County Taxing Authority" means Brevard County, through its Board of County Commissioners and any County established Municipal Services Taxing Unit (MSTU) or dependent special districts in behalf of which the County levies taxes or approves a budget to the extent such MSTU or dependent special district is required to contribute a tax increment to the Agency tax increment fund established by the City for the AGENCY in accordance with the requirements of section 163.387, Florida Statutes.

3. **AUTHORITY.** This agreement is being entered into under the authority vested in the parties by section 163.387(3)(b), Florida Statutes and, pursuant to that authority, supersedes any provision or requirement set forth in section 163.387, Florida Statutes to the extent of any conflict with this agreement and that statutory provision.

4. **EXPIRATION OF AGENCY.** The AGENCY shall expire on May 4, 2024. The parties agree that the AGENCY, the CITY and COUNTY shall take such actions as may be required to terminate the AGENCY on the date of expiration, which actions shall include the amendment or repeal of any CITY or COUNTY resolutions or ordinances which delegated authority to the CITY to create an AGENCY and associated Trust Fund.

5. **TAX INCREMENT FUND CONTRIBUTIONS.** In accordance with section 163.387(3)(b), Florida Statutes, notwithstanding any provision in section 163.387, Florida Statutes to the contrary, after May 4, 2024, the COUNTY shall no longer be required to contribute a tax increment of any amount to the AGENCY tax increment fund.

6. **INDEBTEDNESS, AUTHORIZED EXPENDITURES, AND DISPOSITION OF ASSETS.**

- a) The Parties agree that the AGENCY will not incur any new indebtedness pledging COUNTY tax increment funds as a source of repayment after the execution of this Agreement. The CITY agrees to assume, and to be fully liable for any indebtedness owed by the AGENCY after the AGENCY termination date, as provided in section 189.076(2), Florida Statutes.
- b) The Parties agree that the AGENCY may expend no more than \$330,218 on land acquisition for those properties identified in Exhibit "B"
 - i. Should the AGENCY acquire any of the properties listed in Exhibit "B," and if such properties are not disposed of prior to the expiration of the AGENCY, the PARTIES agree that any proceeds from a sale or other disposition of the property shall be allocated between the CITY and COUNTY according to the proportionality of the Tax Increment Fund Contributions for the Fiscal Year in which the land acquisition takes place.
- c) The Parties agree that the AGENCY shall cease all other expenditures, except those for which there is a contractual obligation or are otherwise required by law. This includes, but is not limited to, Operating Expenses, Personnel Services, and Capital Outlay.
- d) The Parties agree that any unspent tax increment funding revenue will be

distributed at the end of each fiscal year back to the County and City, based upon the percentage of contributions by the CITY and COUNTY.

- e) The Parties intent is that at the end of Fiscal Year 2020, the AGENCY's only remaining obligations will be repayment of the 2006 Bond, the contractual obligations in the Northshore Development Agreement, and any other expenditures required by Statute or the Special Districts Office of the Florida Department of Economic Opportunity.
- f) The Parties agree that the AGENCY shall not make any amendments to existing agreements without County approval.

7. **ANNUAL AUDIT; REPORT; AND MEETING.** Each year, the AGENCY shall prepare and submit to the COUNTY a report in the form set forth in Exhibit A, attached and incorporated by this reference. The AGENCY shall prepare and submit to the COUNTY an annual report of the AGENCY to include audited financial statements to the COUNTY, as required by section 163.387(8), Florida Statutes. The CITY and AGENCY agree to contractually require an independent auditor preparing the audit report to examine AGENCY expenditures and certify that all AGENCY tax increment fund revenues have been lawfully expended solely in compliance with and for community redevelopment purposes authorized by law, under the provisions of Chapter 163, Part III, Florida Statutes. The City Manager of the CITY or Chairperson of the Agency governing body shall annually meet with the County Commissioner in whose District the Agency is located to discuss the annual and audit reports. The CITY, AGENCY and COUNTY agree that, in accordance with its authority under section 125.01(x), Florida Statutes, at any time during the remaining term of this agreement the COUNTY shall have the right to require the AGENCY to retain an independent auditor to conduct a performance audit paid for by the COUNTY. At the discretion of the COUNTY, any performance audit of the AGENCY required by the COUNTY may include any or all of the matters specified in the definition of "performance audit" set forth in section 11.45(1)(j), Florida Statutes.

8. **LIMITATION ON ADMINISTRATIVE EXPENSES.** No provision of the Agreement shall be construed or interpreted as limiting or prohibiting the CITY from annually providing administrative services to the AGENCY, which are necessary the implementation of the AGENCY Community Redevelopment Plan adopted by the CITY and AGENCY. Additionally, each fiscal year, the AGENCY shall be permitted to reimburse the CITY for such annual administrative services. However, said reimbursement, payable from COUNTY tax increment fund payments shall not exceed \$20,000 in Fiscal Year 2020. Following fiscal year 2020, the CITY and AGENCY agree to further limit said reimbursement, other than as required by Statute or the Special Districts Office of the Florida Department of Economic Opportunity, to zero (0) dollars.

9. **EFFECT OF AGREEMENT.** This agreement, including the exhibits and all documents and papers delivered pursuant hereto, and any written amendments hereto executed by the Parties to this agreement constitute the entire agreement between the Parties and supersedes all prior agreements and understandings, oral or written, to the extent that they are in conflict with this Agreement. This agreement may be amended only by written

agreement approved and executed with the same formalities as this Agreement by all Parties. Nothing in this Agreement shall be interpreted as modifying the authority of the Board of County Commissioners as outlined in Section 3(b) of Resolution 99-111.

10. ATTORNEY'S FEES. In the event any litigation arises out of this Agreement or under this Agreement, each party shall bear its own attorney's fees and costs.

11. NOTICES. All notices, requests, demands and other communications which are required or may be given under this agreement shall be in writing and, in the case of notice to the City or County Manager, by email. Notice shall be deemed to have been duly given if emailed and by personal delivery or deposit of the same in first class mail, postage prepaid by certified mail:

AS TO CITY:
CITY OF PALM BAY
City Manager
120 Malabar Road SE
Palm Bay, FL 32907

AS TO AGENCY:
Bayfront Community
Redevelopment Agency
Agency Administrator
120 Malabar Road SE
Palm Bay, FL 32907

AS TO COUNTY:
County Manager
2725 Judge Fran Jamieson Way
Melbourne FL 32940
email address:
Frank.Abbate@brevardfl.gov

or to such other addresses such by notice in writing to any other Parties.

12. GOVERNING LAW. The validity, construction and enforcement of and the remedies under this agreement shall be governed in accordance with the laws of the State of Florida, and venue of any proceeding shall be Brevard County, Florida.

13. SAVINGS CLAUSE. The invalidity or unenforceability of any particular provision of this Agreement shall not affect the other provisions, and this Agreement shall be construed in all respects as if such invalid or unenforceable provisions were omitted.

14. EFFECTIVE DATE. This Agreement shall take effect on the date that it is executed by all Parties and recorded in the Official Records of Brevard County, Florida. Upon execution of this Agreement by both Parties, the COUNTY shall promptly record this Agreement in the Official Records of Brevard County, Florida, and return a recorded copy of this Agreement to the CITY's City Manager at the address listed in the Notice Section of this Agreement.

IN WITNESS WHEREOF, the Parties have caused this agreement to be signed on this the first date first above written.

CITY OF PALM BAY

By: William Capote
William Capote, Mayor
Date: 12-10-19

BAYFRONT COMMUNITY REDEVELOPMENT
AGENCY

By: William Capote
William Capote, Chairman
Date: 12-10-19

ATTEST:

Terese Jones
Terese Jones, City Clerk



BREVARD COUNTY
BOARD OF COUNTY COMMISSIONERS

By: Kristine Isnardi
Kristine Isnardi, Chair
(as approved by the Board on
Oct. 8, 2019)

ATTEST:

Scott Ellis
Scott Ellis, Clerk



Community Redevelopment Agency Annual Report Template

- I. INTRODUCTION, MISSION AND OVERVIEW:
- II. BOARD MEMBERS AND STAFF:
- III. BOUNDARY LINES:
- IV. HISTORY
 - a. Creation Date:
 - b. Plan Amendment Dates:
 - c. Applicable Resolution(s) and Ordinances:
- V. PROJECTS OVERVIEW
- VI. Financial Reports
 - a. Balance Sheet
 - b. Statement of Revenues, Expenditures & Changes in Fund Balances
 - c. Summary of Projects, Grants and Debt
- VII. Performance Information
 - a. Total projects started, completed and estimate cost for each project
 - b. Number of jobs create and sector of the economy from which these jobs
were created within the CRA

Community Redevelopment Agency Annual Report Template

- c. Number of jobs retained within the CRA
- d. Assessed property values when CRA was enacted vs. current assessed property values
- e. Total amount expended for affordable housing

VIII. Additional Annual Reporting Requirements

- a. Provide the Board of County Commissioners the CRA's proposed budget for the upcoming fiscal year, 60 days prior to the beginning of the fiscal year
 - b. Provide the Board of County Commissioners any budget amendments to its operating budget within 10 days after the adoption by the CRA
-

Exhibit B

AUTHORIZED LAND ACQUISITIONS

- 1) Parcel ID 28-37-24-27-5-3: 1526 Water Dr NE Palm Bay FL 32905
- 2) Parcel ID 28-37-24-27-5-1: 1506 Water Dr NE Palm Bay FL 32905
- 3) Parcel ID: 28-37-24-25-2-1: No Address Assigned
- 4) Parcel ID: 28-37-24-25-2-7: 2949 Bay Blvd NE Palm Bay FL 32905
- 5) Parcel ID: 28-37-24-25-2-33: 2930 Kirkland Rd NE Palm Bay FL 32905
- 6) Parcel ID: 28-37-24-25-*-K: Address Not Assigned
- 7) Parcel ID: 28-37-13-52-A-1: 3105 Bay Blvd NE Palm Bay FL 32905



LEGISLATIVE MEMORANDUM

TO: Honorable Mayor and Members of the City Council

FROM: Suzanne Sherman, City Manager

THRU: Christopher A. Little, P.E.; Larry Wojciechowski, Finance Director

DATE: 3/16/2023

RE: Consideration of appropriating funds from the Utilities Operating Undesignated Fund Balance for an additional Treatment Plant Operator position at the South Regional Water Treatment Plant (\$30,191). (WITHDRAWN)

An additional Water Treatment Plant Operator is requested at the South Regional Water Treatment Plant (SRWTP). The SRWTP is currently staffed to operate the plant 18 hours/day. Due to ongoing treatment capacity limitations at the North Regional Water Treatment Plant (NRWTP) and the steady increase in water demand throughout the City, the Utilities Department now operates the SRWTP 24 hours/day. The current staffing level causes significant strain on operations when staff schedule time off, miss time due to illness, or require an extended absence from work (i.e. Family Medical Leave Act). The additional employee will provide coverage for the SRWTP to reduce scheduling adjustments and overtime hours.

The annual funding requirement for the position is projected at \$66,689; however, the remaining five (5) months in Fiscal Year 2023 is estimated to be \$30,191 for the remainder of Fiscal Year 2023. If approved, staff will budget the for the full amount of the position starting in Fiscal Year 2024.

REQUESTING DEPARTMENT:

Utilities, Finance

FISCAL IMPACT:

Staff is requesting to allocate \$30,191 for the remainder of Fiscal Year 2023 from Utilities Operating Undesignated Fund balance (421-0000-392-3006), funds will be available in Utilities Operating Funds (421-8023-533-1210 through 421-8023-533-5403) for the position. If approved, the appropriation will appear on the next scheduled budget amendment.

RECOMMENDATION:

Motion to approve an appropriation of \$30,191 for an additional Treatment Plant Operator for the South Regional Water Treatment Plant for the remainder of Fiscal Year 2023.



LEGISLATIVE MEMORANDUM

TO: Honorable Mayor and Members of the City Council

FROM: Suzanne Sherman, City Manager

THRU: Mariano Augello, Chief of Police

DATE: 3/16/2023

RE: Consideration of submitting an application for Victims of Crime Act grant funds. (AGENDA REVISION)

On March 1, 2023, the Office of the Attorney General for the State of Florida announced the notice of availability for the Victims of Crime Act (VOCA) funding from the U.S. Department of Justice. The purpose of the VOCA grant is to support the availability of services to victims of crimes through a reimbursement program. Services are defined as those efforts that respond to the emotional and physical needs of crime victims, assist victims of crime to stabilize their lives after victimization, assist victims to understand and participate in the criminal justice system, and provide victims of crime with a measure of safety and security. Eligibility to apply for VOCA funds is limited to victim assistance programs administered by state or local government agencies or not-for-profit corporations registered in Florida. For over 20 years, the Palm Bay Police Department has been a recipient of VOCA funding for the Victim Service Unit.

For the 2023-2024 grant application, which opens March 6, 2023 and closes on March 24, 2023, the Police Department is available to apply for a continuation grant through a condensed application process with up to \$65,259 to cover salary, taxes, and retirement costs for two Victim Advocates (each position covered at 50% VOCA funding). This request also includes \$10,000 in operating expenses for the program. Under the new application process, the Police Department will be able to apply for a budget modification during the 2023-2024 cycle to re-allocate additional funding to salaries and training needs for the program as well as request additional funding that may be needed due to positional changes.

The funding cycle for this VOCA grant funding is October 1, 2023, through September 30, 2024.

REQUESTING DEPARTMENT:

Police Department

FISCAL IMPACT:

The estimated fiscal impact is a potential revenue of up to \$65,259 in General Fund Account #001-0000-331-2005 for partial reimbursement of annually budgeted salaries (001-5025-521-1210), taxes (001-5025-521-2110), retirement (010-5025-521-2210) as well as operating expenses to the 5025 (Victims Services) division (as needed). This impact will not occur until Fiscal Year 2024.

RECOMMENDATION:

Motion to approve the submission of an application for the Victims of Crime Act grant for 2023-2024.

ATTACHMENTS:**Description**

23-24 Notice of Availability VOCA

VOCA 2023-2024 City of Palm Bay Police Dept DRAFT Application



ASHLEY MOODY
ATTORNEY GENERAL
STATE OF FLORIDA

OFFICE OF THE ATTORNEY GENERAL
Division of Victim Services and Criminal Justice
Programs

PL-01 The Capitol
Tallahassee, FL 32399-1050
Phone (850) 414-3300 Fax (850) 487-3013
<http://www.myfloridalegal.com>

March 2023

NOTICE OF AVAILABILITY VOCA Grant Funds

Announcement: The Office of the Attorney General (OAG) is pleased to announce the availability of Victims of Crime Act (VOCA) grant funds from the U.S. Department of Justice. The purpose of the VOCA grant reimbursement program is to support the provision of services to victims of crime. Services are defined as those efforts that respond to the emotional and physical needs of crime victims, assist victims of crime to stabilize their lives after victimization, assist victims to understand and participate in the criminal justice system, and provide victims of crime with a measure of safety and security. Eligibility to apply for VOCA funds is limited to victim assistance programs administered by state or local government agencies or not-for-profit corporations registered in Florida, or a combination thereof, that can demonstrate the following:

- 1) proof that the Internal Revenue Service recognizes the organization as being tax exempt under 501(c)(3) of the Internal Revenue Code;
- 2) a statement from a state taxing body or state secretary of state certifying that the organization is a nonprofit organization and that no part of the organization's net earnings may benefit any private shareholder or individual;
- 3) a certified copy of a certificate of incorporation or similar document establishing nonprofit status; or
- 4) any of the above, if it applies to a state or national parent organization, with a statement by the state or national parent organization that the applicant is a local nonprofit affiliate.

The funding cycle for the VOCA grant funds under this notice is October 1, 2023, through September 30, 2024.

Application and Deadline: Organizations may participate in the annual competitive grant process which involves submission of an application followed by an application review. **Under this notice, there are two different applications and 2 different application deadlines.** Please see below for detailed instructions on how to apply and which application process is appropriate for each agency.

Current VOCA subgrantees

Those agencies that currently have a VOCA grant and are in good standing, will participate in a pilot project and complete a condensed application. The VOCA condensed application may be found using the Office of the Attorney General's online system EGrants IGX, which can be accessed through <https://egrantsigx.myfloridalegal.com/> beginning on March 6, 2023. The deadline to complete the pilot project condensed application is no later than 5:00 p.m. Eastern Standard Time on March 24,

2023. *The pilot project applications will be reviewed and considered for funding prior to other applications submitted.* Once the timeframe above closes for the pilot project, any current subgrantees that did not submit the condensed application would need to apply through the same process as agencies that do not currently have a VOCA grant through the Office of the Attorney General and will follow the normal process as new applicant agencies in prior grant years.

Agencies that do not currently have a VOCA grant through the Office of the Attorney General

Those agencies that DO NOT currently have a VOCA grant through the Florida Office of the Attorney General may submit the standard application through the Office of the Attorney General's online system EGrants IGX, which can be accessed through <https://egrantsigx.myfloridalegal.com/> beginning on April 3, 2023. The deadline to complete the standard application is no later than 5:00 p.m. Eastern Standard Time on April 21, 2023. When completing the standard application, it is imperative that individuals pay close attention to the detailed information required, to expedite the technical review of the standard application.

All VOCA Applicants

Due to a reduced award to the State of Florida, from the U.S. Department of Justice, the amount of available funding to award for the 2023-2024 grant cycle may be reduced from the last several years. Consideration for funding may be based on previous years' application scores, the submitted application, percentage of funds spent from previous awards, and compliance with grant requirements to expedite the review and approval process. This reduction in funding and review process may impact the amount of funding received by an agency.

Mailed, emailed, faxed, or hand delivered applications or required documentation will not be accepted. If you need assistance you may contact (850) 414-3380 or email contact.voca@myfloridalegal.com.

Application Continuation Selection

Instructions:

- Please select the document from which you would like to copy forward from.
- This will allow the budget information to copy forward to this document.
- Upon save, the information from the selected source document will be copied onto this document. This page will be locked for future editing.
- If you have made an incorrect selection, you will need to cancel this application and try this process again.

Copy Forward Document

VOCA-2022-City of Palm Bay Police Department-00458

Applicant Information

Provide the legal name of the Applicant Agency. If awarded funding, this information will be used for contract purposes.
City of Palm Bay Police Department

Federal Data Universal Numbering System (DUNS) Number:06-023-6262

Federal Employee Identification Number (FEIN):59-6018984

Unique Entity Identifier (UEI)YLJRVW6W1MF9

Registered with the System of Award Management (formally CCR)?Yes *

In elected official offices, the elected official must be included as the Agency Director. In all other agencies the top executive of the agency must be included

Agency Director:

Prefix (Mr., Ms., Honorable., etc.)Chief*Title:Chief of Police *

Name:Mariano Augello *

Telephone #: (321) 952-3458 *Fax #: (321) 952-8910 *

Mailing Address:
(Street, P.O. Box, etc.) 130 Malabar Rd SE *

City: Palm Bay *State: Florida *Zip Code: 32907 *

Email Address: Mariano.Augello@palmbayflorida.org *

Performance Report Contact:

Prefix (Mr., Ms., Honorable., etc.)Mrs.*Title:Budget Officer *

Name:Jessica Hinchman *

Telephone #: (321) 953-8954 *Fax #: (321) 953-8910 *

Mailing Address:
(Street, P.O. Box, etc.) 130 Malabar Rd SE *

City: Palm Bay *State: Florida *Zip Code: 32907 *

Email Address: Jessica.Hinchman@palmbayflorida.org *

Financial Contact:

Prefix (Mr., Ms., Honorable., etc.)Mr.*Title:Finance Director *

Name:Larry Wojciechowski *

Telephone #: (321) 952-3416 *Fax #: (321) 953-8937 *

Mailing Address:
(Street, P.O. Box, etc.) 120 Malabar Rd SE *

City: Palm Bay *State: Florida *Zip Code: 32907 *

Email Address: *Larry.Wojciechowski@palmbayflorida.org* *



I acknowledge that I have read, understand, and agree to the conditions set forth in the Victims of Crime Act (VOCA) Grant Application, Instructions and the VOCA Rules for the duration of the grant period. I certify that the information contained in this application is true, complete and correct.

I acknowledge that the applicant agency, if awarded a VOCA grant, will comply with Federal Rules Regulating Grants and State Criteria. Subrecipients must comply with the applicable provisions of VOCA, the VOCA Rules, the requirements of the OJP Financial Guide, effective edition, and all laws, rules and regulations applicable to expenditures of State funds including the Reference Guide for State Expenditures. Subrecipients must maintain appropriate programmatic and financial records that fully disclose the amount and disposition of VOCA funds received. This includes: financial documentation for disbursements; daily time and attendance records specifying time devoted to allowable VOCA victim services; client files; the portion of the project supplied by other sources of revenue; job descriptions; contracts for services; and other records which facilitate an effective audit. Subrecipients will abide by any additional eligibility or service criteria as established by the state grantee including submitting statistical and programmatic information on the use and impact of VOCA funds, as requested.

PUBLIC AGENCIES ONLY: I hereby certify that pursuant to the VOCA Rules, grant funds will be used to enhance or expand services and will not be used to supplant state and local funds that would otherwise be available for crime victim services.

Upon saving this page, the Name and Title of the individual that checks this box will appear with the date.

Signature of Agency

Director:

Name

Title

Date:

Agency Eligibility

- 1) Identify which of the following categories best describes the applicant agency:
*Public **
- 2) Describe the type of implementing agency (choose only one category):

☒ Government Agencies Only (choose one from the drop-down menu):
LawEnforcement
Describe Other:
Campus Organizations Only (choose one from the drop-down menu):

Describe Other:
Non-profit Organization Only (choose one from the drop-down menu):
Federally Recognized Tribal Governments, Agencies, and Organizations Only
(choose one from the drop-down menu):
Describe Other:
- 3) Judicial circuit to be served:
*Eighteenth **
- 4) Subgrantee counties served: (Check only the counties that will be served under this application in the selected judicial circuit)

Brevard County *
- 5) List the total population of the service area, not the population of the counties selected above, unless all counties will be served under this application:
*131,128 **
- 6) Describe the geographic characteristics of the service area (choose one from the drop-down menu):
*Urban **
- 7) Congressional District(s) served:
8th *
- 8) Describe the purpose of the Proposed VOCA sub award (choose one from the drop-down menu):
*Continue a VOCA funded victim project funded in a previous year **
- 9) Funds will primarily be used to (choose one from the drop-down menu):
*Continue existing services to crime victims **
- 10) Is the applicant organization faith-based? (choose one from the drop-down menu):
*No **
- 11) Include the address of the location(s) victim services will be provided:
*Palm Bay Police Department
Victim Services Unit
130 Malabar Rd SE
Palm Bay, FL 32907 **
- 12) Provide the agency's website address:
<https://www.palmbayflorida.org/>

Certification Regarding Debarment

Instructions for Certification

1. By signing and submitting this proposal, the prospective lower tier participant is providing the certification set out below.
2. The certification in this clause is a material representation of fact upon which reliance was placed when this transaction was entered into. If it is later determined that the prospective lower tier participant knowingly rendered an erroneous certification, in addition to other remedies available to the Federal Government, the department or agency with which this transaction originated may pursue available remedies, including suspension and/or debarment.
3. The prospective lower tier participant shall provide immediate written notice to the person to which this proposal is submitted if at any time the prospective lower tier participant learns that its certification was erroneous when submitted or has become erroneous by reason of changed circumstances.
4. The terms “covered transaction,” “debarred,” “suspended,” “ineligible,” “lower tier covered transaction,” “participant,” “person,” “primary covered transaction,” “principal,” “proposal,” and “voluntarily excluded,” as used in this clause, have the meanings set out in the Definitions and Coverage sections of rules implementing Executive Order 12549.
5. The prospective lower tier participant agrees by submitting this proposal that, should the proposed covered transaction be entered into, it shall not knowingly enter into any lower tier covered transaction with a person who is debarred, suspended, declared ineligible, or voluntarily excluded from participation in this covered transaction, unless authorized by the department or agency with which this transaction originated.
6. The prospective lower tier participant further agrees by submitting this proposal that it will include the clause title “Certification Regarding Debarment, Suspension, Ineligibility and Voluntary Exclusion-Lower Tier Covered Transactions, without modification, in all lower tier covered transactions and in all solicitations for lower tier covered transactions.
7. A participant in a covered transaction may rely upon a certification of a prospective participant in a lower tier covered transaction that it is not debarred, suspended, ineligible, or voluntarily excluded from the covered transaction, unless it knows that the certification is erroneous. A participant may decide the method and frequency by which it determines the eligibility of its principals. Each participant may check the Non-procurement List.
8. Nothing contained in the foregoing shall be construed to require establishment of a system of records in order to render in good faith the certification required by this clause. The knowledge and information of a participant is not required to exceed that which is normally possessed by a prudent person in the ordinary course of business dealings.
9. Except for transactions authorized under paragraph (5) of these instructions, if a participant in a covered transaction knowingly enters into a lower tier covered transaction with a person who is suspended, debarred, ineligible, or voluntarily excluded from participation in this transaction, in addition to other remedies available to the Federal Government, the department or agency with which the transaction originated may pursue available remedies, including suspension and/or debarment.

U. S. DEPARTMENT OF JUSTICE

OFFICE OF THE COMPTROLLER

OFFICE OF JUSTICE PROGRAMS

Certification Regarding

Debarment, Suspension, Ineligibility and Voluntary Exclusion

Lower Tier Covered transactions

(Sub-Recipient)

This certification is required by the regulations implementing Executive Order 12549, Debarment and Suspension, 28 CFR Part 67.510. Participants' responsibilities. The regulations were published as Part VII of the May 26, 1988 Federal Register (pages 19160 B 19211).

- 1) The prospective lower tier participant certifies, by submission of the proposal, that neither it nor its principals are presently debarred, suspended, proposed for debarment, declared ineligible, or voluntarily excluded from participation in this transaction by any Federal department or agency.
- 2) Where the prospective lower tier participant is unable to certify to any of the statements in this certification, such prospective participant shall attach an explanation to this proposal.

Upon saving this page, the Name and Title of the individual that checks this box will appear with the date.

Signature of Authorized
Official

*Jessica Hinchman*

03/13/2023

Name of Authorized
Official

Title

Date Signed

City of Palm Bay Police Department
Name of Organization

*130 Malabar Rd SE,
Palm Bay, Florida 32907*
Address of Organization

Special Conditions Certification

Victims of Crime Act (VOCA) Section 539, Consolidated and Further Continuing Appropriations Act, 2013, Special Conditions Certification Form

Section 539 of the Consolidation and further Continuing Appropriations Act, 2013 provides the following requirement:

Computer Network Requirement

The Agency understands and agrees that:

- a) No award funds may be used to maintain or establish a computer network system unless such network blocks the viewing, downloading, and exchanging of pornography, and
- b) Nothing in item (a) limits the use of funds necessary for any Federal, State, tribal, or local law enforcement agency or any other entity carrying out criminal investigations, prosecution, or adjudication activities.
- Each agency must have some type of blocking software, if their networks are supported ("maintained") by VOCA funds;
 - This includes the purchase of new computer equipment (computers, monitors and printers), or software of any kind (new and/or updates) for the computer network system.

AGENCY CERTIFICATION:

☒ VOCA funding is **NOT USED** to maintain or establish a computer network system.

OR

VOCA funding is **USED** to maintain or establish a computer network system. However, the computer network system is (select one below):

Is currently blocking the viewing, downloading, and exchanging of pornography, or

Is not able to block the viewing, downloading and exchanging of pornography. Anticipated date of blocking software purchase (fill in date), or

Exempt because organization is a Federal, State, tribal, or local law enforcement agency, or an entity carrying out criminal investigations, prosecutions, or adjudication activities.

Agency Name: *City of Palm Bay Police Department*

Upon saving this page, the Name and Title of the individual that checks this box will appear with the date.

Signature of Authorized Official:

☒*

Jessica Hinchman

03/13/2023

Name of Authorized Official

Title

Date of certification

OAG Staff Only:

Approved

Not Approved

Approved By Name

Title

Date Approved

Standard Assurances

U.S. Department of Justice

Office of Justice Programs

Office for Victims of Crime

AWARD CONTINUATION

SHEET

Grant

Requirements of the award; remedies for non-compliance or for materially false statements

The conditions of this award are material requirements of the award. Compliance with any assurances or certifications submitted by or on behalf of the recipient that relate to conduct during the period of performance also is a material requirement of this award.

Limited Exceptions. In certain special circumstances, the U.S. Department of Justice ("DOJ") may determine that it will not enforce, or enforce only in part, one or more requirements otherwise applicable to the award. Any such exceptions regarding enforcement, including any such exceptions made during the period of performance, are (or will be during the period of performance) set out through the Office of Justice Programs ("OJP") webpage entitled "Legal Notices: Special circumstances as to particular award conditions (<https://www.ojp.gov/funding/explore/legal-notices>), and incorporated by reference into the award.

By signing and accepting this award on behalf of the recipient, the authorized recipient official accepts all material requirements of the award, and specifically adopts, as if personally executed by the authorized recipient official, all assurance or certifications submitted by or on behalf of the recipient that relate to conduct during the period of performance.

1.

Failure to comply with any one or more of these award requirements—whether a condition set out in full below, a condition incorporated by reference below, or a certification or assurance related to conduct during the award period—may result in the Office of Justice Programs ("OJP") taking appropriate action with respect to the recipient and the award. Among other things, the OJP may withhold award funds, disallow costs, or suspend or terminate the award. DOJ, including OJP, also may take other legal action as appropriate.

Any materially false, fictitious, or fraudulent statement to the federal government related to this award (or concealment or omission of a material fact) may be the subject of criminal prosecution (including under 18 U.S.C. 1001 and/or 1621, and/or 34 U.S.C. 10271-10273), and also may lead to imposition of civil penalties and administrative remedies for false claims or otherwise (including under 31 U.S.C. 3729-3730 and 3801-3812).

Should any provision of a requirement of this award be held to be invalid or unenforceable by its terms, that provision shall first be applied with a limited construction so as to give it the maximum effect permitted by law. Should it be held, instead, that the provision is utterly invalid or -unenforceable, such provision shall be deemed severable from this award.

Applicability of Part 200 Uniform Requirements

The Uniform Administrative Requirements, Cost Principles, and Audit Requirements in 2 C.F.R. Part 200, as adopted and supplemented by DOJ in 2 C.F.R. Part 2800 (together, the “Part 200 Uniform Requirements”) apply to this FY 2023 award from OJP.

The Part 200 Uniform Requirements were first adopted by DOJ on December 26, 2014. If this FY 2023 award supplements funds previously awarded by OJP under the same award number (e.g., funds awarded during or before December 2014), the Part 200 Uniform Requirements apply with respect to all funds under that award number (regardless of the award date, and regardless of whether derived from the initial award or a supplemental award) that are obligated on or after the acceptance date of this FY 2023 award.

For more information and resources on the Part 200 Uniform Requirements as they relate to OJP awards and subawards (“subgrants”), see the OJP website at <https://ojp.gov/funding/Part200UniformRequirements.htm>.

2.

Record retention and access: Records pertinent to the award that the recipient (and any subrecipient (“subgrantee”) at any tier) must retain – typically for a period of 3 years from the date of submission of the final expenditure report (SF 425), unless a different retention period applies – and to which the recipient (and any subrecipient (“subgrantee”) at any tier) must provide access, include performance measurement information, in addition to the financial records, supporting documents, statistical records, and other pertinent records indicated at 2 C.F.R. 200.333.

In the event that an award-related question arises from documents or other materials prepared or distributed by OJP that may appear to conflict with, or differ in some way from, the provisions of the Part 200 Uniform Requirements, the recipient is to contact OJP promptly for clarification.

Compliance with DOJ Grants Financial Guide

3.
- References to the DOJ Grants Financial Guide are to the DOJ Grants Financial Guide as posted on the OJP website (currently, the “DOJ Grants Financial Guide” available at <https://ojp.gov/financialguide/DOJ/index.htm>), including any updated version that may be posted during the period of performance. The recipient agrees to comply with the DOJ Grants Financial Guide. Reclassification of various statutory provisions to a new Title 34 of the United States Code

On September 1, 2017, various statutory provisions previously codified elsewhere in the U.S. Code were editorially reclassified to a new Title 34, entitled “Crime Control and Law Enforcement.” The reclassification encompassed a number of statutory provisions pertinent to OJP awards (that is, OJP grants and cooperative agreements), including many provisions previously codified in Title

4.
- 42 of the U.S. Code.

Effective as of September 1, 2017, any reference in this award document to a statutory provision that has been reclassified to the new Title 34 of the U.S. Code is to be read as a reference to that statutory provision as reclassified to Title 34. This rule of construction specifically includes references set out in award conditions, references set out in material incorporated by reference through award conditions, and references set out in other award requirements.

Requirements related to “de minimis indirect cost rate

5. A recipient that is eligible under the Part 200 Uniform Requirements and other applicable law to use the “de minimis indirect cost rate described in 2 C.F.R. 200.414(f), and that elects to use the “de minimis indirect cost rate, must advise OJP in writing of both its eligibility and its election, and must comply with all associated requirements in the Part 200 Uniform Requirements. The “de minimis rate may be applied only to modified total direct costs (MTDC) as defined by the Part 200 Uniform Requirements.
- Requirement to report potentially duplicative funding

6. If the recipient currently has other active awards of federal funds, or if the recipient receives any other award of federal funds during the period of performance for this award, the recipient promptly must determine whether funds from any of those other federal awards have been, are being, or are to be used (in whole or in part) for one or more of the identical cost items for which funds are provided under this award. If so, the recipient must promptly notify the DOJ awarding agency (OJP or OVW, as appropriate), in writing of the potential duplication, and, if so requested by the DOJ awarding agency and/or OAG, must seek a budget-modification or change-of-project-scope grant adjustment notice (GAN) to eliminate any inappropriate duplication of funding.
- Requirements related to System for Award Management and Universal Identifier Requirements

The recipient must comply with applicable requirements regarding the System for Award Management (SAM), currently accessible at <https://www.sam.gov/>. This includes applicable requirements regarding registration with SAM, as well as maintaining the currency of information in SAM.

7. The recipient also must comply with applicable restrictions on subawards (“subgrants) to first-tier subrecipients (first-tier “subgrantees), including restrictions on subawards to entities that do not acquire and provide (to the recipient) the unique entity identifier required for SAM registration.

The details of the recipient’s obligations related to SAM and to unique entity identifiers are posted on the OJP web site at <https://ojp.gov/funding/Explore/SAM.htm> (Award condition: System for Award Management (SAM) and Universal Identifier Requirements), and are incorporated by the reference here.

This condition does not apply to an award, to an individual who received the award as a natural person (i.e., unrelated to any business or non-profit organization that he or she may own or operate in his or her name).

Employment eligibility verification for hiring under the award

1. The recipient (and any "subrecipient" at any tier) must—

- A. Ensure that, as part of the hiring process for any position within the United States that is or will be funded (in whole or in part) with award funds, the recipient (or any subrecipient) properly verifies the employment eligibility of the individual who is being hired, consistent with the provision of 8 U.S.C. 1324a(a) and (2).
- B. Notify all persons associated with the recipient (or any subrecipient) who are or will be involved in activities under this award of both—

(1) this award requirement for verification of employment eligibility, and

(2) the associated provisions in 8 U.S.C. 1324a(a)(1) and (2) that, generally speaking, make it unlawful, in the United States, to hire (or recruit for employment) certain aliens.
- C. Provide training (to the extent necessary) to those persons required by this condition to be notified of the award requirement for employment eligibility verification and of the associated provisions of 8 U.S.C. 1324a(a)(1) and (2).
- D. As part of the recordkeeping for the award (including pursuant to the Part 200 Uniform Requirements), maintain records of all employment eligibility verifications pertinent to compliance with this award condition in accordance with Form I-9 record retention requirements, as well as records of all pertinent notifications and trainings.

2. Monitoring

The recipient's monitoring responsibilities include monitoring of subrecipient compliance with this condition.

3. Allowable costs

To the extent that such costs are not reimbursed under any other federal program, award funds may be obligated for the reasonable, necessary, and allowable cost (if any) of actions designed to ensure compliance with this condition.

8. 4. Rules of construction

A. Staff involved in the hiring process

For purposes of this condition, persons “who are or will be involved in activities under this award specifically includes (without limitation) any and all recipient (or any subrecipient) officials or other staff who are or will be involved in the hiring process with respect to a position that is or will be funded (in whole or in part) with award funds.

B. Employment eligibility confirmation with E-Verify

For purposes of satisfying the requirement of this condition regarding verification of employment eligibility, the recipient (or any subrecipient) may choose to participate in, and use, E-Verify(<https://www.e-verify.gov/>), provided an appropriate person authorized to act on behalf of the recipient (or subrecipient) uses E-Verify (and follows the proper E-Verify procedures, including in the event of a “Tentative Nonconfirmation or a “Final Nonconfirmation) to confirm employment eligibility for each hiring for a position in the United States that is or will be funded (in whole or in part) with award funds.

C. “United States specifically includes the District of Columbia, Puerto Rico, Guam, the Virgin Islands of the United States, and the Commonwealth of the Northern Mariana Islands.

D. Nothing in this condition shall be understood to authorize or require any recipient, any subrecipient at any tier, or any person or other entity, to violate any federal law, including any applicable civil rights or nondiscrimination law.

E. Nothing in this condition, including in paragraph 4.B., shall be understood to relieve any recipient, any subrecipient at any tier, or any person or other entity, of any obligation otherwise imposed by law, including 8 U.S.C. 1324a(a)(1) and (2).

Questions about E-Verify should be directed to DHS. For more information about E-Verify visit the E-Verify website (<https://www.e-verify.gov/>) or email E-Verify at E-Verify@dhs.gov. E-Verify employer agents can email E-Verify at VerifyEmployerAgent@dhs.gov.

Questions about the meaning or scope of this condition should be directed to OJP, before award acceptance.

Requirement to report actual or imminent breach of personally identifiable information (PII)

9. The recipient (and any “subgrantee at any tier), must have written procedures in place to respond in the event of an actual or imminent “breach (OMB M-17-12) if it (or a subrecipient) – (1) creates, collects ,uses, processes, stores, maintains, disseminates, discloses, or disposes of “personally identifiable information (P11) (2 CFR 200.79) within the scope of an OJP grant-funded program or activity, or (2) uses or operates a “Federal information system (OMB Circular A-130). The recipient’s breach procedures must include a requirement to report actual or imminent breach of P11 to an OJP Program Manager no later than 24 hours after an occurrence of an actual breach, or the detection of an imminent breach.

All subawards (“subgrants) must have specific federal authorization

10. The recipient, and any subrecipient (“subgrantee) at any tier, must comply with all applicable requirements for authorization of any subaward. This condition applies to agreements that—for purposes of federal grants administrative requirements—OJP considers a “subaward (and therefore does not consider a procurement “contract).

The details of the requirements for authorization of any subaward are posted on the OJP web site at <https://ojp.gov/funding/Explore/SubawardAuthorization.htm> (Award condition: All subawards (“subgrants) must have specific federal authorization), and are incorporated by reference here.

Specific post-award approval required to use a noncompetitive approach in any procurement contract that would exceed \$250,000

11. The recipient, and any subrecipient (“subgrantee) at any tier, must comply with all applicable requirements to obtain specific advance approval to use a noncompetitive approach in any procurement contract that would exceed the Simplified Acquisition Threshold (currently, \$250,000). This condition applies to agreements that—for purposes of federal grants administrative requirements—OJP considers a procurement “contract (and therefore does not consider a subaward).

The details of the requirement for advance approval to use a noncompetitive approach in a procurement contract under an OJP award are posted on the OJP web site at <https://ojp.gov/funding/Explore/NoncompetitiveProcurement.htm> (Award condition: Specific post-award approval required to use a noncompetitive approach in a procurement contract (if contract would exceed \$250,000)), and are incorporated by reference here.

Unreasonable restrictions on competition under the award; association with federal government

SCOPE. This condition applies with respect to any procurement of property or services that is funded (in whole or in Part) by this award, whether by the recipient or by a subrecipient at any tier, and regardless of the dollar amount of the purchase or acquisition, the method of procurement, or the nature of any legal instrument used. The provisions of this condition must be among those included in any subaward (at any tier).

1. No discrimination, in procurement transactions, against associates of the federal government

Consistent with the (DOJ) Part 200 Uniform Requirements-including as set at 2 C.F.R. 200.300 (requiring awards to be “manage[d] and administer[ed] in a manner so as to ensure that Federal funding is expended and associated programs are implemented in full accordance with U.S. statutory and public policy requirements) and 200.319(a) (generally requiring “[a]ll procurement transactions [to] be conducted in a manner providing full and open competition and forbidding practices “restrictive of competition , such as “[p]lacing unreasonable requirements on firms in order for them to qualify to do business and taking “[a]ny arbitrary action in the procurement process) – no recipient (or subrecipient, at any tier) may (in any procurement transaction) discriminate against any person or entity on the basis of such person or entity’s status as an “associate of the federal government (or on the basis of such person or entity’s status as a parent, affiliate, or subsidiary of such an associate), except as expressly set out in 2 C.F.R. 200.319(a) or as specifically authorized by USDOJ.

12. 2. Monitoring

The recipient’s monitoring responsibilities include monitoring of subrecipient compliance with this condition.

3. Allowable costs

To the extent that such costs are not reimbursed under any other federal program, award funds may be obligated for the reasonable, necessary, and allocable costs (if any) of actions designed to ensure compliance with this condition.

4. Rules of construction

A. The term “associate of the federal government means any person or entity engaged or employed (in the past or at present) by or on behalf of the federal government – as an employee, contractor or subcontractor (at any tier), grant recipient or “subrecipient (at any tier), agent, or otherwise – in undertaking any work, project, or activity for or on behalf of (or in providing goods or services to or on behalf of) the federal government, and includes any applicant for such employment or engagement, and any person or entity committed by legal instrument to undertake such work, project, or activity (or to provide such goods or services) in future.

B. Nothing in this condition shall be understood to authorize or require any recipient, any subrecipient at any tier, or any person or other entity, to violate any federal law, including any applicable civil rights or nondiscrimination law.

Requirements pertaining to prohibited conduct related to trafficking in persons (including reporting requirements and OJP authority to terminate award)

13. The recipient, and any subrecipient (“subgrantee) at any tier, must comply with all applicable requirements (including requirements to report allegations) pertaining to prohibited conduct related to the trafficking of persons, whether on the part of recipients, subrecipients (“subgrantees), or individuals defined (for purposes of this condition) as “employees of the recipient or of any subrecipient.

The details of the recipient’s obligations related to prohibited conduct related to trafficking in persons are posted on the OJP web site at <https://ojp.gov/funding/Explore/ProhibitedConduct-Trafficking.htm> (Award condition: Prohibited conduct by recipients and subrecipients related to trafficking in persons (including reporting requirements and OJP authority to terminate award)), and are incorporated by reference here.

Determination of suitability to interact with participating minors

14. SCOPE. The condition applies to this award if it is indicated – in the application for the award (as approved by DOJ)(or in the application for any subaward, at any tier), the DOJ funding announcement (solicitation), or an associated federal statute – that a purpose of some or all of the activities to be carried out under the award (whether by the recipient, or subrecipient at any tier) is to benefit a set of individuals under 18 years of age.

The recipient, and any subrecipient at any tier, must make determinations of suitability before certain individuals may interact with participating minors. This requirement applies regardless of an individual’s employment status.

The details of this requirement are posted on the OJP website at <https://ojp.gov/funding/Explore/Interact-Minors.htm> (Award condition: Determination of suitability required, in advance, for certain individuals who may interact with participating minors), and are incorporated by reference here.

Compliance with applicable rules regarding approval, planning, and reporting of conferences, meetings, trainings, and other events

15. The recipient, and any subrecipient ("subgrantee") at any tier, must comply with all applicable laws, regulations, policies, and official DOJ guidance (including specific cost limits, prior approval and reporting requirements, where applicable) governing the use of federal funds for expenses related to conferences (as that term is defined by DOJ), including the provision of food and/or beverages at such conferences, and costs of attendance at such conferences.

Information on the pertinent DOJ definition of conferences and the rules applicable to this award appears in the DOJ Grants Financial Guide (currently, as section 3.10 of "Postaward Requirements in the DOJ Grants Financial Guide).

Requirement for data on performance and effectiveness under the award

16. The recipient must collect and maintain data that measure the performance and effectiveness of work under this award. The data must be provided to OJP in the manner (including within the timeframes) specified by OJP in the program solicitation or other applicable written guidance. Data collection supports compliance with the Government Performance and Results Act (GPRA) and the GPRA Modernization Act of 2010, and other applicable laws.

OJP Training Guiding Principles

17. Any training or training materials that recipient—or any subrecipient ("subgrantee") at any tier—develops or delivers with OJP award funds must adhere to the OJP Training Guiding Principles for Grantees and Subgrantees, available at

<https://www.ojp.gov/funding/implement/training-guiding-principles-grantees-and-subgrantees>

Effect of failure to address audit issues

18. The recipient understands and agrees that the DOJ award agency (OJP or OVW, as appropriate) may withhold award funds, or may impose other related requirements, if (as determined by the DOJ awarding agency) the recipient does not satisfactorily and promptly address outstanding issues from audits required by the Part 200 Uniform Requirements (or by the terms of this award), or other outstanding issues that arise in connection with audits, investigations, or reviews of DOJ awards.

Potential imposition of additional requirements

19. The recipient agrees to comply with any additional requirements that may be imposed by the DOJ awarding agency (OJP or OVW, as appropriate) during the performance of this award, if the recipient is designated as "high-risk for purposes of the DOJ high-risk grantee list.

Compliance with DOJ regulations pertaining to civil rights and nondiscrimination – 28 C.F.R. Part 42

20. The recipient, and any subrecipient ("subgrantee") at any tier, must comply with all applicable requirements of 28 C.F.R. Part 42, specifically including any applicable requirements in Subpart E of 28 C.F.R. Part 42 that relate to an equal employment opportunity program.

Compliance with DOJ regulations pertaining to civil rights and nondiscrimination - 28 C.F.R. Part 54

21. The recipient, and any subrecipient ("subgrantee") at any tier, must comply with all applicable requirements of 28 C.F.R. Part 54, which relates to nondiscrimination on the basis of sex in certain "education programs.

Compliance with DOJ regulations pertaining to civil rights and nondiscrimination - 28 C.F.R. Part 38

The recipient, and any subrecipient ("subgrantee") at any tier, must comply with all applicable requirements of 28 C.F.R. Part 38 (as may be applicable from time to time), specifically including any applicable requirements regarding written notice to program beneficiaries and prospective program beneficiaries.

22. Currently, among other things, 28 C.F.R. Part 38 includes rules that prohibit specific forms of discrimination on the basis of religion, a religious belief, a refusal to hold a religious belief, or refusal to attend or participate in a religious practice. Part 38, currently, also sets out rules and requirements that pertain to recipient and subrecipient ("subgrantee") organizations that engage in or conduct explicitly religious activities, as well as rules and requirements that pertain to recipients and subrecipients that are faith-based or religious organizations.

The text of 28 C.F.R. Part 38 is available via the Electronic Code of Federal Regulations (currently accessible at <https://www.ecfr.gov/cgi-bin/ECFR?page=browse>), by browsing to Title 28-Judicial Administration, Chapter 1, Part 38, under e-CFR "current data.

Restrictions on “lobbying

In general, as a matter of federal law, federal funds awards by OJP may not be used by the recipient, or any subrecipient (“subgrantee”) at any tier, either directly or indirectly, to support or oppose the enactment, repeal, modification, or adoption of any law, regulation, or policy, at any level of government. See 18 U.S.C. 1913. (There may be exceptions if an applicable federal statute specifically authorizes certain activities that otherwise would be barred by law).

23. Another federal law generally prohibits federal funds awarded by OJP from being used by the recipient, or any subrecipient at any tier, to pay any person to influence (or attempt to influence) a federal agency, a Member of Congress, or Congress (or an official or employee of any of them) with respect to the awarding of a federal grant or cooperative agreement, subgrant, contract, subcontract, or loan, or with respect to actions such as renewing, extending, or modifying any such award. See 31 U.S.C. 1352. Certain exceptions to this law apply, including an exception that applies to Indian tribes and tribal organizations.

Should any question arise as to whether a particular use of federal funds by a recipient (or subrecipient) would or might fall within the scope of these prohibitions, the recipient is to contact OJP for guidance, and may not proceed without the express prior written approval of OJP.

24. Compliance with general appropriations-law restrictions on the use of federal funds (FY 2023). The recipient, and any subrecipient (“subgrantee”) at any tier, must comply with all applicable restrictions on the use of federal funds set out in federal appropriations statutes. Pertinent restrictions that may be set out in applicable appropriations acts are indicated at <https://ojp.gov/funding/Explore/FY20AppropriationsRestrictions.htm>, and are incorporated by reference here. Should a question arise as to whether a particular use of federal funds by a recipient (or a subrecipient) would or might fall within the scope of an appropriations-law restriction, the recipient is to contact OJP for guidance, and may not proceed without the express prior written approval of OJP.

Reporting potential fraud, waste, and abuse, and similar misconduct

The recipient, and any subrecipients (“subgrantees”) must promptly refer to the DOJ Office of the Inspector General (OIG) any credible evidence that a principal, employee, agent, subrecipient, contractor, subcontractor, or other person has, in connection with funds under this award— (1) submitted a claim that violates the False Claim Act; or (2) committed a criminal or civil violation of laws pertaining to fraud, conflict of interest, bribery, gratuity, or similar misconduct.

25. Potential fraud, waste, abuse, or misconduct involving or relating to funds under this award should be reported to the OIG by—(1) online submission accessible via the OIG webpage at <https://oig.justice.gov/hotline/contact-grants.htm> (select “Submit Report Online”); (2) mail directed to: U.S. Department of Justice, Office of the Inspector General, Investigations Division, ATTN: Grantee Reporting, 950 Pennsylvania Ave., NW. Washington , DC 20530: and/or (3) by facsimile directed to the DOJ OIG Investigations Division (Attn: Grantee Reporting) at (202) 616-9881 (fax).

Additional information is available from the DOJ OIG web site at <https://oig.justice.gov/hotline>.

Restrictions and certifications regarding non-disclosure agreements and related matters

No recipient or subrecipient ("subgrantee) under this award, or entity that receives a procurement contract or subcontract with any funds under this award, may require any employee or contractor to sign an internal confidentiality agreement or statement that prohibits or otherwise restricts, or purports to prohibit or restrict, the reporting (in accordance with law) of waste, fraud, or abuse to an investigative or law enforcement representative of a federal department or agency authorized to receive such information.

The foregoing is not intended, and shall not be understood by the agency making this award, to contravene requirements applicable to Standard Form 312 (which related to classified information), Form 4414 (which related to sensitive compartmented information), or any other form issued by a federal department or agency governing the nondisclosure of classified information.

1. In accepting this award, the recipient—

a. represents that it neither requires nor has required internal confidentiality agreements or statements from employees or contractors that currently prohibit or otherwise currently restrict (or purport to prohibit or restrict) employees or contractors from reporting waste, fraud, or abuse as described above; and

26. b. certifies that, if it learns or is notified that it is or has been requiring its employees or contractors to execute agreements or statements that prohibit or otherwise restrict (or purport to prohibit or restrict), reporting of waste, fraud, or abuse as described above, it will immediately stop any further obligations of award funds, will provide prompt written notification to the federal agency making this award, and will resume (or permit resumption of) such obligations only if expressly authorized to do so by that agency.

2. If the recipient does or is authorized under this award to make subawards ("subgrants), procurement contracts, or both—

a. it represents that—

(1) it has determined that no other entity that the recipient's application proposes may or will receive award funds (whether through a subaward ("subgrant), procurement contract, or subcontract under a procurement contract) either requires or has required internal confidentiality agreements or statements from employees or contractors that currently prohibit or otherwise currently restrict (or purport to prohibit or restrict) employees or contractors from reporting waste, fraud, or abuse as described above; and

(2) it has made appropriate inquiry, or otherwise has an adequate factual basis, to support this representation; and

b. it certifies that, if it learns or is notified that any subrecipient, contractor, or subcontractor entity that receives funds under this award is or has been requiring its employees or contractors to execute agreements or statements that prohibit or otherwise restrict (or purport to prohibit or restrict), reporting of waste, fraud, or abuse as described above, it will immediately stop any further obligations of award funds to or by that entity, will provide prompt written notification to the federal agency making this award, and will resume (or permit resumption of) such obligations only if expressly authorized to do so by that agency.

Compliance with 41 U.S.C. 4712 (including prohibitions on reprisal; notice to employees)

27. The recipient (and any subrecipient at any tier) must comply with, and is subject to, all applicable provisions of 41 U.S.C. 4712, including all applicable provisions that prohibit, under specified circumstances, discrimination against an employee as reprisal for the employee's disclosure of information related to gross mismanagement of a federal grant, a gross waste of federal funds, an abuse of authority relating to a federal grant, a substantial and specific danger to public health or safety, or a violation of law, rule, or regulation related to a federal grant.

The recipient also must inform its employees, in writing (and in the predominant native language of the workforce), of employee rights and remedies under 41 U.S.C. 4712.

Should a question arise as to the applicability of the provisions of 41 U.S.C. 4712 to this award, the recipient is to contact the DOJ awarding agency (OJP or OVW, as appropriate) for guidance.

Encouragement of policies to ban text messaging while driving

28. Pursuant to Executive Order 13513, "Federal Leadership on Reducing Text Message While Driving, 74 Fed. Reg. 51225 (October 1, 2009), DOJ encourages recipients and subrecipients ("subgrantees) to adopt and enforce policies banning employees from text messaging while driving any vehicle during the course of performing work funded by this award, and to establish workplace safety policies and conduct education, awareness, and other outreach to decrease crashes caused by distracted drivers.

- Requirements to disclose whether recipient is designated “high risk by a federal grant-making agency outside of DOJ
- If the recipient is designated “high risk by a federal grant-making agency outside of DOJ, currently or at any time during the course of the period of performance under this award, the recipient must disclose that fact and certain related information to OJP by email at OJP.ComplianceReporting@ojp.usdoj.gov. For purposes of this disclosure, high risk includes any status under which a federal awarding agency provides additional oversight due to the recipient’s past performance, or other programmatic or financial concerns with the recipient. The recipient’s disclosure must include the following: 1. The federal awarding agency that currently designates the recipient high risk, 2. The date the recipient was designated high risk, 3. The high-risk point of contact at that federal awarding agency (name, phone number, and email address), and 4. The reasons for the high-risk status, as set out by the federal awarding agency.
29. The Victims of Crime Act (VOCA) of 1984 states that VOCA funds are available during the federal fiscal year in which the award was actually made, plus the following three fiscal years. At the end of this period, VOCA funds will be deobligated. OJP has no discretion to permit extensions beyond the statutory period (E.g., VOCA funds awarded in FY 2021, are available until the end of FY 2023).
30. Discrimination Findings
31. The recipient assures that in the event that a Federal or State court or Federal or State administrative agency makes a finding of discrimination after a due process hearing on the ground of race, religion, national origin, sex, or disability against a recipient of victim assistance formula funds under this award, the recipient will forward a copy of the findings to the Office for Civil Rights of OJP.
- VOCA Requirements
- The recipient assures that the State and its subrecipients will comply with the conditions of the Victims of Crime Act (VOCA) of 1984, sections 1404(a)(2), and 1404(b)(1) and (2), 34 U.S.C. 20103(a)(2) and (b)(1) and (2) (and the applicable program guidelines and regulations), as required. Specifically, the State certifies that funds under this award will:
32. a) be awarded only to eligible victim assistance organizations, 34 U.S.C. 20103(a)(2);
- b) not be used to supplant State and local public funds that would otherwise be available for crime victim assistance, 34 U.S.C. 20103(a)(2); and
- c) be allocated in accordance with program guidelines or regulations implementing 34 U.S.C. 20103(a)(2)(A) and 34 U.S.C. 20103(a)(2)(B) to, at a minimum, assist victims in the following categories: sexual assault, child abuse, domestic violence, and underserved victims of violent crimes as identified by the State.
33. The recipient authorizes the Office for Victim of Crime (OVC) and/or the Office of the Chief Financial Officer (OCFO), and its representatives, access to ant the right to examine all records, books, papers, or documents related to this grant.
- FFATA reporting: Subawards and executive compensation
- The recipient must comply with applicable requirements to report first-tier subawards (“subgrants) of \$25,000 or more and, in certain circumstances, to report the names and total compensation of the five most highly compensated executives of the recipient and first-tier subrecipients (first-tier “subgrantees) of award funds. The details of recipient obligations, which derive from the Federal Funding Accountability and Transparency Act of 2006 (FFATA), are posted on the OJP web site at <https://ojp.gov/funding/Explore/FFATA.htm> (Award condition: Reporting Subawards and Executive Compensation), and are incorporated by reference here.
34. This condition, including its reporting requirement, does not apply to (1) an award of less than \$25,000, or (2) an award made to an individual who received the award as a natural person (i.e., unrelated to any business or non-profit organization that he or she may own or operate in his or her name).
- Recipient integrity and performance matters: Requirement to report information on certain civil, criminal, and administrative proceedings to SAM and FAPIIS
- The recipient must comply with any and all applicable requirements regarding reporting of information on civil, criminal, and administrative proceedings connected with (or connected to the performance of) either this OJP award or any other grant, cooperative agreement, or procurement contract from the federal government. Under certain circumstances, recipients of OJP awards are required to report information about such proceedings, through the federal System for Award Management (known as “SAM), to the designated federal integrity and performance system (currently, “FAPIIS).
35. The details of recipient obligations regarding the required reporting (and updating) of information on certain civil, criminal, and administrative proceedings to the federal designated integrity and performance system (currently, “FAPIIS) within SAM are posted on the OJP web site at <https://ojp.gov/funding/FAPIIS.htm> (Award condition: Recipient Integrity and Performance Matters, including Recipient Reporting to FAPIIS), and are incorporated by reference here.
36. The recipient must receive and engage in any training and technical assistance activities recommended by the Office for Victims of Crime.

Agency Name:

City of Palm Bay Police Department

Upon saving this page, the Name of the individual that checks this box will appear with the date.

Signature of Authorized Official:



Jessica Hinchman

03/13/2023

Name of Authorized Official

Date Signed:

EEOP Certification Form

Recipient's Name:	City of Palm Bay Police Department		DUNS Number:	06-023-6262		
Address:	130 Malabar Rd SE, Palm Bay, Florida, 32907					
Grant Title:	VOCA-C-2023	Grant Number:	VOCA-C-2023-City of Palm Bay Police Departme-00228		Requested Award Amount:	\$65,259.01
Name and Title of Contract Person: Chief Mariano Augello, Chief of Police						
Telephone Number:		(321) 952-3458		E-Mail Address:	Mariano.Augello@palmbayflorida.org	

Section A - Declaration Claiming Complete Exemption from the EEOP Requirement

Please check all the following boxes that apply:

- ☐ Recipient has less than fifty employees.
- ☐ Recipient is an educational institution.
- ☐ Recipient is a nonprofit organization.
- ☐ Recipient is a medical institution.
- ☐ Recipient is an Indian tribe.
- ☐ Recipient is receiving an award less than \$25,000.

I, [responsible official],
certify that [recipient] is
not required to prepare an EEOP for the reason(s) checked above, pursuant to 28 C.F.R § 42.302.
I further certify that [recipient]
will comply with applicable federal civil rights laws that prohibit discrimination in employment and in the delivery of services.

☒ **Section B - Declaration Claiming Exemption from the EEOP Submission Requirement and Certifying that an EEOP is on File for Review**
If a recipient agency has fifty or more employees and is receiving a single award or subaward of \$25,000 or more, but less than \$750,000,
then the recipient agency does not have to submit an EEOP to the OCR for review as long as it certifies the following (42 C.F.R. § 42.305):
I, Jessica Hinchman [responsible official],
certify that City of Palm Bay Police Department [recipient],
which has fifty or more employees and is receiving a single award or subaward for \$25,000 or more, but less than \$750,000,
has formulated an EEOP in accordance with 28 CFR pt. 42, subpt. E. I further certify that within the last twenty-four months,
the proper authority has formulated and signed into effect the EEOP and, as required by applicable federal law, it is
available for review by the public, employees, the appropriate state planning agency, and the Office for Civil Rights, Office
of Justice Programs, U.S. Department of Justice. The EEOP is on file at the following office:
City of Palm Bay Police Department's Accreditation Office [organization],
130 Malabar Rd SE, Palm Bay, FL 32907 [Address].

Section C - Declaration Stating that an EEOP Utilization Report Has Been Submitted to the Office for Civil Rights for Review
If a recipient agency has fifty or more employees and is receiving a single award or subaward of \$750,000 or more, then
the recipient agency must send an EEOP Utilization Report to the OCR for review.
I, [responsible official],
certify that [recipient],
which has fifty or more employees and is receiving a single award of \$750,000 or more, has formulated an EEOP in
accordance with 28 CFR pt. 42, subpt. E, and sent it for review on [date] to the Office for Civil Rights, Office of Justice
Programs, U.S. Department of Justice.

Upon saving this page, the Name and Title of the individual that checks this box will appear with the date.

Signature of Authorized Official

☒* Jessica Hinchman

03/13/2023

Name of Authorized Official.

Title

Date Signed

Date Signed _____

VOCA Personnel Budget

VOCA Personnel Budget Report

Complete the summary table and salary grid below and provide information about each position requested. The position title included in each summary table must be exactly as it appears on the job description. In the Budget Narrative section indicate if the salary/benefit expenses listed include raises and increases in benefit costs, as well as any other information needed to support the request. Provide a job description for all proposed VOCA-funded staff and indicate the percentage of time by each job duty (do not lump duties under one header, unless each sub-duty also includes percentages). Failure to provide VOCA allowable job descriptions may result in a reduction to the request. The job description must reflect VOCA allowable activities that are equal to or greater than the percentage of the position that is requested as VOCA funded and/or utilized as Match.

RATE: A percentage should be indicated for those benefits that are calculated by using a percentage of the gross salary, e.g., retirement is often calculated in this manner.

Personnel:

Position	Total Actual Cost (from chart below)	Total Amount VOCA Funded	Percent VOCA Funded	VOCA Funded FTE
Victim Advocate A *	\$42,715.13	\$21,357.57	50% *	.50
Personnel Narrative:	Advocate's salary of \$37,918 along with taxes @ \$2,901 & retirement @ \$1,896 are requested for VOCA funding (\$42,726 @ 50%). Victim Advocate serves crime victims in Palm Bay & is part of the 1st response team of crime only, not natural disasters.*			
Sub-Total	\$42,715.13	\$21,357.57		.50

Agency Contribution for Personnel Expenses	\$21,357.56
--	-------------

Pay Schedule: (choose one from the drop-down menu)

Bi-Weekly *

Position Number:	1
Hours per week =	40.000 *
Hourly Rate =	\$18.23 *

		RATE	Yearly Employer Cost	Per Pay Period Approved Budget
Gross Salary	\$37,918.40		\$37,918.40	\$1,458.40
FICA		7.6500% *	\$2,900.76	\$111.57
Retirement		5.0001% *	\$1,895.96	\$72.92
Health Ins.			\$0.00 *	\$0.00
Life Ins.			\$0.00 *	\$0.00
Dental Ins.			\$0.00 *	\$0.00
Workers Comp		0.0000% *	\$0.00	\$0.00
Unemployment (1st \$7K)		0.0000% *	\$0.00	\$0.00
Other:			\$0.01	\$0.00
TOTAL			\$42,715.13	\$1,642.89

Explanation (if applicable):
Adding in \$0.01 to fulfill the approved personnel budget total and complete the budget modification.

Is this position used as a matching expense Y/N?

Yes*

VOCA Personnel Budget

VOCA Personnel Budget Report

Complete the summary table and salary grid below and provide information about each position requested. The position title included in each summary table must be exactly as it appears on the job description. In the Budget Narrative section indicate if the salary/benefit expenses listed include raises and increases in benefit costs, as well as any other information needed to support the request. Provide a job description for all proposed VOCA-funded staff and indicate the percentage of time by each job duty (do not lump duties under one header, unless each sub-duty also includes percentages). Failure to provide VOCA allowable job descriptions may result in a reduction to the request. The job description must reflect VOCA allowable activities that are equal to or greater than the percentage of the position that is requested as VOCA funded and/or utilized as Match.

RATE: A percentage should be indicated for those benefits that are calculated by using a percentage of the gross salary, e.g., retirement is often calculated in this manner.

Personnel:

Position	Total Actual Cost (from chart below)	Total Amount VOCA Funded	Percent VOCA Funded	VOCA Funded FTE
Victim Advocate B *	\$48,012.87	\$24,006.44	50% *	.50
Personnel Narrative:	Advocate's salary of \$42,952 along with taxes @ \$3,286 & retirement @ \$1,775 are requested for VOCA funding (\$48,013 @ 50%). Victim Advocate serves crime victims in Palm Bay & is part of the 1st response team of crime only, not natural disasters.*			
Sub-Total	\$48,012.87	\$24,006.44		.50

Agency Contribution for Personnel Expenses	\$24,006.43
--	-------------

Pay Schedule: (choose one from the drop-down menu)

Bi-Weekly *

Position Number:	2
Hours per week =	40.000 *
Hourly Rate =	\$20.65 *

		RATE	Yearly Employer Cost	Per Pay Period Approved Budget
Gross Salary	\$42,952.00		\$42,952.00	\$1,652.00
FICA		7.6500% *	\$3,285.83	\$126.38
Retirement		4.1326% *	\$1,775.03	\$68.27
Health Ins.			\$0.00 *	\$0.00
Life Ins.			\$0.00 *	\$0.00
Dental Ins.			\$0.00 *	\$0.00
Workers Comp		0.0000% *	\$0.00	\$0.00
Unemployment (1st \$7K)		0.0000% *	\$0.00	\$0.00
Other:			\$0.01	\$0.00
TOTAL			\$48,012.87	\$1,846.65

Explanation (if applicable):
Adding in \$0.01 to fulfill the approved personnel budget total and complete the budget modification.

Is this position used as a matching expense Y/N?

Yes*

VOCA Personnel Budget

VOCA Personnel Budget Report

Complete the summary table and salary grid below and provide information about each position requested. The position title included in each summary table must be exactly as it appears on the job description. In the Budget Narrative section indicate if the salary/benefit expenses listed include raises and increases in benefit costs, as well as any other information needed to support the request. Provide a job description for all proposed VOCA-funded staff and indicate the percentage of time by each job duty (do not lump duties under one header, unless each sub-duty also includes percentages). Failure to provide VOCA allowable job descriptions may result in a reduction to the request. The job description must reflect VOCA allowable activities that are equal to or greater than the percentage of the position that is requested as VOCA funded and/or utilized as Match.

RATE: A percentage should be indicated for those benefits that are calculated by using a percentage of the gross salary, e.g., retirement is often calculated in this manner.

Personnel:

Position	Total Actual Cost (from chart below)	Total Amount VOCA Funded	Percent VOCA Funded	VOCA Funded FTE
2020-2021 Increased Funding *	\$7,058.00	\$7,058.00	100% *	0.00
Personnel Narrative:	Additional funding request from the 2020-2021 VOCA Grant application for approved VOCA allowable costs, due to increased budget authority*			
Sub-Total	\$7,058.00	\$7,058.00		0.00

Agency Contribution for Personnel Expenses

\$0.00

Pay Schedule: (choose one from the drop-down menu)

Bi-Weekly *

Position Number:

3

Hours per week =

0.000 *

Hourly Rate =

\$0.00 *

		RATE	Yearly Employer Cost	Per Pay Period Approved Budget
Gross Salary	\$0.00		\$0.00	\$0.00
FICA		0.0000% *	\$0.00	\$0.00
Retirement		0.0000% *	\$0.00	\$0.00
Health Ins.			\$0.00 *	\$0.00
Life Ins.			\$0.00 *	\$0.00
Dental Ins.			\$0.00 *	\$0.00
Workers Comp		0.0000% *	\$0.00	\$0.00
Unemployment (1st \$7K)		0.0000% *	\$0.00	\$0.00
Other:			\$7,058.00	\$271.46
TOTAL			\$7,058.00	\$271.46

Explanation (if applicable):

Additional funding request from the 2020-2021 VOCA Grant application for approved VOCA allowable costs, due to increased budget authority

Is this position used as a matching expense Y/N?

No *

VOCA Personnel Budget

VOCA Personnel Budget Report

Complete the summary table and salary grid below and provide information about each position requested. The position title included in each summary table must be exactly as it appears on the job description. In the Budget Narrative section indicate if the salary/benefit expenses listed include raises and increases in benefit costs, as well as any other information needed to support the request. Provide a job description for all proposed VOCA-funded staff and indicate the percentage of time by each job duty (do not lump duties under one header, unless each sub-duty also includes percentages). Failure to provide VOCA allowable job descriptions may result in a reduction to the request. The job description must reflect VOCA allowable activities that are equal to or greater than the percentage of the position that is requested as VOCA funded and/or utilized as Match.

RATE: A percentage should be indicated for those benefits that are calculated by using a percentage of the gross salary, e.g., retirement is often calculated in this manner.

Personnel:

Position	Total Actual Cost (from chart below)	Total Amount VOCA Funded	Percent VOCA Funded	VOCA Funded FTE
Increased 21-22 Funding *	\$2,837.00	\$2,837.00	100% *	0.00
Personnel Narrative:	Increased funding based on 21-22 submitted application*			
Sub-Total	\$2,837.00	\$2,837.00		0.00

Agency Contribution for Personnel Expenses

\$0.00

Pay Schedule: (choose one from the drop-down menu)

Bi-Weekly *

Position Number:

4

Hours per week =

0.000 *

Hourly Rate =

\$0.00 *

		RATE	Yearly Employer Cost	Per Pay Period Approved Budget
Gross Salary	\$0.00		\$0.00	\$0.00
FICA		0.0000% *	\$0.00	\$0.00
Retirement		0.0000% *	\$0.00	\$0.00
Health Ins.			\$0.00 *	\$0.00
Life Ins.			\$0.00 *	\$0.00
Dental Ins.			\$0.00 *	\$0.00
Workers Comp		0.0000% *	\$0.00	\$0.00
Unemployment (1st \$7K)		0.0000% *	\$0.00	\$0.00
Other:			\$2,837.00	\$109.12
TOTAL			\$2,837.00	\$109.12

Explanation (if applicable):
Increased funding based on 21-22 submitted application

Is this position used as a matching expense Y/N?

No *

VOCA Contractual/Fee for Service Budget

For each contractual service listed, include a description of the service to be provided, the business name of the contractor, the cost per unit of service, and the estimated units of service to be used. Indicate in the narrative section how the number of services requested was determined. Also, give a description of a unit of service, e.g., a 60 minute unit of legal services, a 60 minute individual therapy session, and a 90 minute group therapy session.

Therapy must be requested at the contracted therapist's per unit rate. The OAG will reimburse a maximum of the following rates, per 15 minute increment/unit.

Individual Therapy- \$25 per unit
Family Therapy- \$12.25 per unit/per person
Group Therapy- \$8 per unit/per person

EXAMPLE - Budget Narrative:
Therapy, Inc., will provide therapy for adult survivors of incest. It is anticipated that this service will be used approximately 10 times during the year.

Contractual Services - Contracts for specialized services:				
Name of Business or Contractor / Budget Narrative		Cost Per Unit of Service	Estimated Units of Service	Total
Name of Business or Contractor:	Budget Narrative:	\$		\$
Contractual Subtotal				\$0.00

VOCA Equipment Budget

Items included in this section must be furniture and/or equipment costing \$2,500 or more. If awarded funds in this category, prior approval is required before purchasing items. Provide a justification for the equipment purchase requests. If the agency is requesting funds to purchase computer hardware or software, this constitutes maintaining or establishing a computer network system. Complete the Special Conditions Certification form accordingly.

EXAMPLE - Narrative Response:
The computer will increase the advocate's ability to reach and better serve crime victims. The cost listed above is for a complete computer package which includes the computer, monitor, software and printer.

ALL EQUIPMENT PURCHASES MUST BE PRE-APPROVED PRIOR TO THE ACTUAL PURCHASE

Equipment:				
Description of Equipment and a Budget Narrative		Number	Cost Per Item	Total
Description of Equipment:	Budget Narrative:		\$	\$
Equipment Subtotal				\$0.00

VOCA Operating Budget

Office supplies such as paper, pencils, toner, printing, books, postage; transportation for victims; monthly service costs for telephone or utilities; staff travel (for direct service to crime victims or meeting attendance to coordinate victim services), etc. Furniture and equipment costing less than \$2,500 should be requested from this budget category. Items requested should not be grouped and each item must be requested as a separate line item, with the exception of general office supplies. In the narrative section, provide a brief description of the operating expenses and note if the cost is pro-rated. Indicate how the number and cost of services requested were determined (by FTE; by % use; by sq/ft; etc.). If the agency is requesting funds to purchase computer hardware or software, this constitutes maintaining or establishing a computer network system. Complete the Special Conditions Certification form accordingly.

EXAMPLE- Narrative Response:
The Victim Advocate will need monthly telephone service calculated at \$20 per month, which is the standard rate budgeted for new positions in this agency.

Operating:				
Description of Operating Cost and a Budget Narrative		Number	Cost Per Item	Total
Description of Operating Cost: Covid Expenses	Budget Narrative: covid related expenses	1	\$10,000.00	\$10,000.00
Operating Subtotal				\$10,000.00

VOCA Training Budget

- Training requested must be to enhance delivery of victim services.
- Travel associated with training must adhere to the State of Florida Travel Rules.
- If awarded funds in this category, additional information may be required prior to incurring costs associated with training.
- The narrative must include the name of the training, detailed information on the training, how attendance at the requested training will benefit crime victims and specific costs requested. VOCA funds will reimburse registration, lodging, travel and meals.

Florida Administrative Rules related to travel expenses:

[Click Here](#)

Section 112.061, Florida Statutes- Travel Expenses:

[Click Here](#)

Reference Guide for State Expenditures:

[Click Here](#)

Training Expenses:				
Description of Training Expenses and a Budget Narrative		Number	Cost Per Item	Total
Description of Training Expenses:	Budget Narrative:		\$	\$
Training Subtotal				\$0.00

VOCA Budget Request

Budget Summary By Category	Total VOCA Budget Request	Total VOCA Approved Budget
Personnel (10A)	\$55,259.01	\$55,259.00
Contractual Services (10B)	\$0.00	\$
Equipment (10C)	\$0.00	\$
Operating Expenses (10D)	\$10,000.00	\$10,000.00
Training Expenses (10E)	\$0.00	\$
Total	\$65,259.01	\$65,259.00

Required Match Part 11	\$
------------------------	----

Total paid staff for agency's victim services program (total number of full-time equivalent staff (FTE) for the current fiscal year):	2.0000 *
---	----------

Number of staff requested from VOCA, expressed in FTE's:	1.0000
Number of staff requested as matching expenses, expressed in FTE's:	
Total staff requested, expressed in FTE's:	1.0000

Type of AgencyPolice Department

Type of Victims ServedAll

Child Abuse (Include services for child physical abuse/neglect and child sexual assault/abuse)	\$3,349.48
Domestic and Family Violence	\$36,286.02
Adult Sexual Assault	\$390.77
Underserved (includes DUI/DWI crashes, survivors of homicide victims, assault, adults molested as children, elder abuse, victims with disabilities, robbery, other violent crimes)	\$4,354.33

MATCH (financial support from other sources)

Value of in-kind match	\$
Cash match	\$
Total match	\$0.00

MATCH (financial support from other sources)

Match waiver	
Match waiver upload:	

Funding Source Chart

Applicants must provide information that demonstrates community support of its services; financial support from non-federal sources; non-federal resources for the required 20% program match (unless in-kind match is utilized); and, if a new program, shows that 25-50% of the total financial support is from non-federal sources.

Budget and Staffing

Provide the amount of funding that is allocated to victim services within the applicant agency for the current fiscal year and the amount requested for the proposed VOCA project. Do not report the entire agency budget, unless the entire budget is devoted to victim services programs. Round amounts to the nearest dollar, and include all expenses which are budgeted for the victim services program (i.e., personnel costs which include salaries for directors, clerical/support staff, victim advocates, counselors, etc.; training costs; equipment such as computers, fax machines, printers, copiers, telephones, and furnishings, etc.; operating costs such as utilities, postage, printing, office supplies, travel, counseling supplies, etc.)

Please note: Do not include in-kind match.

What is the fiscal year of your sub grantee agency?
(choose one from the drop-down menu to the right)

October 1 to September 30 *

Other Defined:

Funding Source		Agency Total Victim Services Budget (Current Fiscal Year)	Proposed VOCA Project Budget
Federal Funding *Describe below		\$	\$
VOCA grant request (excluding match)			\$44,043.19
State Funds *Describe below		\$	\$
Local, Public or Private Funds		\$106,623.00	\$106,043.00
Other: (Describe at right)	VOCA Funded for FY 2019	\$	\$
Totals		\$106,623.00	\$150,086.19
*For the judicial circuit you are requesting funding with this application			

*If the applicant agency currently receives Federal or State funding for victim services, indicate the source(s) and the use of those funds. Do not include VOCA funding. (Response is limited to 1000 characters.)
If this is not applicable, please indicate "N/A."
Only VOCA funding is received currently. *

Use of VOCA and Match Funds

INSTRUCTIONS: For this request, check the category of service and subcategory that best identifies the types of services or activities that will be provided by the VOCA-funded project as described below.

Note: Report only those program activities that will be implemented with VOCA and Match funds.

INFORMATION & REFERRAL

Check all that apply

- ☒ Information about the criminal justice process
- ☒ Referral to other victim service programs
- ☒ Information about victim rights, how to obtain notification, etc.
- Referral to other services, supports and resources (includes legal, medical, faith-based organizations, address confidentiality programs, etc.)

PERSONAL ADVOCACY/ACCOMPANIMENT

Check all that apply

- ☒ Victim advocacy/accompaniment to emergency medical care
- Performance of medical forensic exam or interview, or medical evidence collection
- ☒ Victim advocacy/accompaniment to medical forensic exam
- ☒ Immigration assistance (e.g. special visa, continued presence application, and other immigration relief)
- ☒ Law enforcement interview advocacy/accompaniment
- ☒ Intervention with employer, creditor, landlord, or academic institution
- Prosecution interview advocacy/accompaniment (includes accompaniment with prosecuting attorney and with victim/witness)
- Child and/or dependent care assistance (provided by agency)
- ☒ Criminal advocacy/accompaniment
- ☒ Transportation assistance (provided by agency)
- ☒ Civil advocacy/accompaniment (includes victim advocate assisting with protection orders)
- ☒ Interpreter services
- ☒ Individual advocacy (assistance in applying for public benefits, return of personal property or effects)
- ☒ Assistance with victim compensation *

EMOTIONAL SUPPORT OR SAFETY SERVICES

Check all that apply

- ☒ Crisis intervention (in-person, includes safety planning, etc.)
- Therapy (traditional, cultural, or alternative healing: art, writing, or play therapy; etc.)
- Hotline/crisis line counseling
- Support groups (facilitated or peer)
- Individual counseling
- Emergency financial assistance (includes emergency loans and petty cash, payment for items such as food and/or clothing, changing windows and/or locks, taxis, prophylactic and non prophylactic meds, durable medical equipment, etc.)
- ☒ On-scene crisis response (e.g., community crisis response)

SHELTER/HOUSING SERVICES

Check all that apply

- Emergency shelter or safe house
- Relocation assistance
- Transitional housing

CRIMINAL/CIVIL JUSTICE SYSTEM ASSISTANCE

Check all that apply

<input checked="" type="checkbox"/>	Notification of criminal justice events (e.g., case status, arrest, court proceedings, case disposition, release, etc.)		Immigration attorney assistance (e.g., special visas, continued presence application, and other immigration relief)
	Victim impact statement assistance		Other civil legal attorney assistance (e.g., landlord/tenant, employment, etc.)
	Assistance with restitution (includes assistance in requesting and when collection efforts are not successful)		Prosecution interview advocacy/accompaniment (includes accompaniment with prosecuting attorney and with victim/witness)
	Emergency justice-related assistance	<input checked="" type="checkbox"/>	Criminal advocacy/accompaniment
	Civil legal attorney assistance in obtaining protection or restraining order	<input checked="" type="checkbox"/>	Civil advocacy/accompaniment (includes victim advocate assisting with protection orders)
	Civil legal attorney assistance with family law issues (e.g., custody, visitation, or support)		

Statement of Need

Statement of Need: The statement of need must provide a description about why this project is needed. Be clear and avoid acronyms.

Underserved Victims: Applicants are encouraged to identify gaps in available services for "underserved" victims and to seek funding to provide services to these victims. Underserved populations may include, but are not limited to, child-on-child abuse, child abuse by non-caretaker, crimes against the elderly, non-English speaking persons, persons with disabilities, victims of federal crimes, victims of workplace violence and members of racial or minorities.

- 1) Briefly describe the need for services to victims of crime that will be addressed using VOCA funding. If needed, define the deficiency of services to victims.
*Limited social services in Brevard County make it essential to continue the VOCA funded work of the PBPD Victim Services Unit (VSU). VSU provides 24-hour advocacy to victims of domestic violence & other crimes as a first response team to provide contact/assistance to affected individuals. In 2021, PBPD received 16,409 calls for crime related incidents with 11,959 involving violence. Annual crime stats include 6 murders, 1354 thefts, 562 burglaries, 581 adult/child abuses, 821 domestic violence, 1359 assaults, 234 aggravated assaults, 3592 disturbances, 72 forcible rapes, 33 robberies and 272 stalking cases. Using multiple resources, VSU aides those affected understand & process their own experiences in a broader social & cultural context. VSU's partnership with Serene Harbor Domestic Violence Shelter has on-going demand for housing of DV victims from Palm Bay. Judicial outcomes include successful prosecutions through the State Attorney's Office as a direct result of VSU collaboration. **
- 2) Provide information about crime statistics for the service area that will be served with VOCA funding. For example, if the applicant agency only serves particular cities or counties in the requested judicial circuit, statistics related only to the specific city or county must be provided. Specifically, detail the statistics related to the need described in #1.
*In 2021, Palm Bay Police Department received over 60,000 police-related calls for service. The agency's report to the National Incident Based Reporting System (NIBRS) for 2021 related crimes will include: homicides, thefts, burglaries, domestic violence incidents, assaults, aggravated assaults, forcible rapes, motor vehicle thefts, and robberies. To mitigate the impact on victims and prevent future victimization, the VSU offers: safety planning, crisis counseling, information & referrals to other providers, transportation, assistance with victims' compensation, injunction filing, court accompaniment, personal advocacy, and other services as needed. A primary focus of the VSU is to provide the necessary resources to help individuals recover from their victimization from the onset as a first response team to crime through the completion of the judicial process. **
- 3) Provide demographic information **about the population of the service area requested in the application**. For example, if the applicant agency only serves particular cities in the requested judicial circuit, demographic information related only to the city must be provided. At a minimum, provide information about gender, race, or national origin and age for the service area.
*Palm Bay is the largest city in Brevard County at 98 square miles located on the east coast of Central Florida with an estimated population of 124,727. This predominantly urban community provides affordable housing to low-income individuals/families where the average household income is \$62,365. Recent demographics for Palm Bay reflect the population as 51.2% male, 48.8% female and a median age of 40.3 years; 73.7% Caucasian, 17.7% African American, 1.6% Asian. 0.65% American Indian and Alaska Native, and 4.1% are two or more races. The poverty rate in Palm Bay is 13% with the Hispanic race having over 21% of residents living belowthe poverty level. Palm Bay has nearly 10,000 veterans of which 5.8% live in poverty, 32.4% have a disability, and over half fall in the age group of 65 and older. VSU will provide services as need to all victims of crime regardless of gender, ethnicity/race, age, and sexual orientation. **
- 4) Provide demographic information **about the population to be served through the proposed VOCA project**. If the applicant agency is a current VOCA subgrantee, utilize the information included in the 4 most recently submitted Quarterly Performance Reports. If the applicant agency is a new applicant agency provide demographic information collected on crime victims served.
*The ongoing VOCA funded Palm Bay VSU has assisted over 2,100 victims over the last four quarters. The demographics of those served through the program include: 63.5% female and 36.4% male; the top three served ethnicities are White/Caucasian (60.3%), African American (21.9%), and Hispanic (7.3%); with 43.7% of victims aging between 25-59 and nearly 100 children. Victims will disabilities provided assistance are primarily Veterans (23.7%) or have Cognitive disabilities (38.7%). The primary victimization for those served by Palm Bay VSU is domestic family violence (40.7%), while the major victimizations ranging from violent crimes involving assault (13.6%), fraud and theft crimes (23.3%), and harassment (9.9%). Service types provided include information and referral, personal advocacy, emotion support and civil/criminal justice assistance. VSU will provide services as need to all victims of crime regardless of gender, ethnicity/race, age, and sexual orientation. **

Project Proposal

The project proposal must clearly outline what needs to be done and by whom in order to address the needs identified in the statement of need.
The project proposal pertains only to the services related to the proposed Total VOCA Project (VOCA grant plus match activities).

- 1) Describe which services will be provided to the crime victims described in the statement of need. Summarize which services will be provided by each proposed VOCA funded personnel position or contractor. Specifically, indicate how the proposed expenses in each budget category are associated with the provision of services to crime victims. The response should not include match sources.
*VSU provides advocacy services for victimization which span domestic violence, identity theft/fraud, child physical/sexual abuse, homicide survivors, elder abuse, robbery, stalking, violation of injunction, and other violent/non-violent crimes. VSU provides an on-call 24-hour advocacy as part of a first response team. VSU will assist victims with crisis counseling, information/referral to other providers, securing emergency shelter, filing injunctions, transportation, followup contacts, and other resources. Operating expense for laptops allows VSU to respond on-scene to complete victim assistance referrals eliminating delays. Enhances VSU's ability to provide immediate aide to victims with VOCA funded advocacy services. The requested training for crimes against children will help the VSU to serve the youngest victims of Palm Bay in the best manner possible. The VSU staffs two paid Victim Advocates and six Volunteer Advocates who provide direct services to crime victims in Palm Bay. **
- 2) Provide a listing of other agencies that will coordinate services with the applicant for the VOCA project and the services provided by each agency.
*VSU coordinates with several social service providers in the community such as the State Attorney's Office for prosecution; Serene Harbor & Salvation Army for shelter and relocation services; Legal Aide for legal representation at injunction hearings and divorce proceedings; Women's Center, Family Counseling Center, and Florida Tech Counseling Psychological services for counseling and support groups; Probation and Parole for facilitating defendant violations; Brevard County Sheriff's Office for coordination of serving injunctions; Melbourne Police Department for supplemental material multi-jurisdictional cases; Children and Families for protection and welfare of children and the elderly; Children's Home Society for family resources; the Sharing Center for victim supplies and needs; and any other businesses and social service agencies as the needs arise. **
- 3) Describe in detail how the coordination of services will be accomplished with those agencies included in the response to Question 2. How will the coordination be accomplished, for example, email, phone call, local coalition meetings, etc. Indicate if Memorandum of Agreement are in place or not, or other formal coordination plans are in place.
*VSU provides victims and children transportation to services and refers them to the appropriate social service providers. With the exception of Serene Harbor, who obtained a MOU for legal representation, coordination of services is done on an informal basis with no MOU based on a reciprocal referral arrangement. Victims are referred to the Women's Center for counseling and support group; Legal Aide for free representation at injunction and/or divorce hearings; to the Salvation Army & Serene Harbor for shelter & to provide assistance with relocation funding; Children & Families to provide safety/welfare for children or elderly victims; the State Attorney to ensure victim cooperation for mandatory attorney appearances, to update and obtain the needed documentation to violate perpetrators, and to keep them engaged in the process with the goal of increasing the likelihood of successful prosecution. VSU along with most agencies serve jointly on the Brevard County DV Task Force & Fatality Re **
- 4) Does a duplication of service exist? (Choose one from the drop-down menu):
If yes, please explain. No *
- 5) The VOCA Rules mandate that grant recipients use volunteers in the victim services program.
Describe how volunteers will be utilized to provide services to crime victims. If the agency does not currently utilize volunteers, please explain how they will be recruited and incorporated into the victim services program.
*VSU heavily relies on Volunteer Advocates to provide 24-hour on-call emergency advocacy to victims of crime during evening, weekend, and holiday hours. The volunteers also work as part of the first response team both in-person and via telephone. During the initial contact, the Volunteer Advocate completes an assessment of each victim to determine the appropriate services needed which may include securing emergency shelter for the victim and their children; facilitating emergency injunctions; providing crisis counseling; information or referrals including notifying eligible victims about victims' compensation. The on-call volunteer may transport the victims to any social services agency and/or any appointment that is a result of their being victimized. VSU may also utilize volunteers to assist with processing victim paperwork, computer data entry, distribute VSU brochures, attend community outreach events to identify crime victims and refer them to the appropriate services. **

- 6) Identify the number of volunteer hours supporting the work of this VOCA award for subgrantee agency's victimization program/services.

6 * Volunteers provided
4800 * Hours of Service annually
2.3077 FTE equivalent (hours provided divided by 2080)
- 7) Are the services requested in the application allowable under the Victim Compensation Program?

No*
- 8) If the agency selected "Yes, in number 7, include a justification for not billing the Victim Compensation Program for the allowable services.

The VSU does not provide services that are allowable under the Victim Compensation Program and therefore our agency does not bill the program for services rendered. *

The agencies that receive VOCA grant funding are required to comply with the Federal statutes and regulations that prohibit discrimination in federally assisted programs or activities. Recipients may not discriminate in employment on the basis of race, color, national origin, religion, sex, and disability. Also, recipients may not discriminate in the delivery of services or benefits on the basis of race, color, national origin, religion, sex, disability, and age. In order to ensure VOCA-funded agencies fulfill the expectations of the Federal civil rights obligations all organizations that receive VOCA funding must complete the online civil rights training curriculum for recipients offered by the Office for Civil Rights. If awarded VOCA grant funding will the applicant agency complete the required training and comply with all applicable Federal statutes and regulations related to civil rights and nondiscrimination?

(Choose one from the drop-down menu below)

Yes *

10) Are any portions of the requested positions or requested costs, to be funded or to be used as Match, being requested in another VOCA grant application?

No *

11) If the agency selected "Yes, in number 10, include the position title, application number, cost, percentage requested in the grant and/or the percentage to be utilized as match. If funded, this documentation will also be required with each monthly invoice submission.

*

Victims Served and Types of Services

Agency Name: City of Palm Bay Police Department

The number of victims indicated should include the number of new victims provided services by VOCA funded and matching staff during the grant period. The figures indicated should be based on historical data and/or the anticipated need of the population served through the VOCA project. If awarded funding, the applicant agency will be expected to fulfill these performance measures. Recipients of VOCA funding are required to provide services to victims of Federal crimes and to provide assistance with the VOCA Crime Victim Compensation program.

VOCA Grant Request (from the Budget Summary Page)					\$65,259.01
# of Victims to be Served	Type of Victim	\$ Amount per Category	% of Total Grant Amount	# of Other Types of Victims to be Served	For other types of crimes, identify and list each separately below.
40	Adult Physical Assault (Includes Aggravated and Simple Assault)	\$2,232.99	3.42 %	30	Criminal Mischief
7	Adult Sexual Assault	\$390.77	.60 %	120	Battery/Aggregated
0	Adults Sexually Abused/Assaulted as Children	\$0.00	0.00 %	10	Disorder/disturbance
0	Arson	\$0.00	0.00 %	6	Shootings
0	Bullying (Verbal, Cyber or Physical)	\$0.00	0.00 %	10	Suspicious Incident
70	Burglary	\$3,907.73	5.99 %	20	Theft
30	Child Physical Abuse or Neglect	\$1,674.74	2.57 %	2	Trespass
1	Child Pornography	\$55.82	.09 %	30	Violation of Court Order
30	Child Sexual Abuse/Assault	\$1,674.74	2.57 %	2	Attempted Murder
650	Domestic and/or Family Violence	\$36,286.02	55.60 %	0	
8	DUI/DWI Incidents	\$446.60	.68 %	0	
2	Elder Abuse or Neglect	\$111.65	.17 %	0	
0	Hate Crime: Racial/Religious/Gender/ Sexual Orientation/Other (Explanation Required)	\$0.00	0.00 %	0	
0	Human Trafficking: Labor	\$0.00	0.00 %	0	
0	Human Trafficking: Sex	\$0.00	0.00 %	0	
2	Identity Theft/Fraud/Financial Crime	\$111.65	.17 %	0	
1	Kidnapping	\$55.82	.09 %	0	
0	Mass Violence (Domestic/International)	\$0.00	0.00 %	0	
0	Other Vehicular Victimization (e.g., Hit and Run)	\$0.00	0.00 %	0	
16	Robbery	\$893.19	1.37 %	0	
70	Stalking/Harassment	\$3,907.73	5.99 %	0	
12	Survivors of Homicide Victims	\$669.90	1.03 %	0	
0	Teen Dating Victimization	\$0.00	0.00 %	0	
0	Terrorism (Domestic/International)	\$0.00	0.00 %	0	

Total Victims Served	1,169	\$52,419.34	80.33 %	230	SubTotal	\$12,839.67	\$.20
----------------------	-------	-------------	---------	-----	----------	-------------	-------

Indicate the number of victims projected to receive the following services. In this section, only count a victim once, regardless of how many times the victim received a particular service. The total amount for any one service may not exceed the total number of victims projected to be served. See the VOCA Definitions for a description of each service.

# of Victims to be Served	Type of Service	# of Other Types of Services to be Provided	For other types of services, identify and list each separately below.
920	Information and Referral	0	
80	Personal Advocacy/Accompaniment	0	
440	Emotional Support or Safety Services	0	
0	Shelter/Housing Services	0	
160	Criminal/Civil Justice System Assistance	0	
100	Number of Victims Assisted with a Victim Compensation Application	0	
Total Services	1,700	0	Subtotal of "Other" Services

Required Documentation

Job Descriptions

A job description is required for all proposed VOCA-funded personnel and match personnel and must indicate the percentage of time allocated for each task totaling 100% of the job duties (see instructions in the Personnel budget section). Job descriptions must reflect VOCA allowable activities that are equal to or greater than the percentage of the position that is VOCA funded and/or utilized as Match. If the Project Proposal, Statement of Need or Letters of Support indicate the position will provide crime victim services for another organization, that duty must be included in the job description.

Failure to provide VOCA allowable job descriptions may result in a reduction to the request.

Documentation of the agency’s 501(c) 3 ruling from the Internal Revenue Service

This documentation must be uploaded separately. Provide documentation to document the nonprofit status of the applicant agency. This may include:

- 1. proof that the Internal Revenue Service recognizes the organization as being tax exempt under 501(c)(3) of the Internal Revenue Code;
- 2. a statement from a state taxing body or state secretary of state certifying that the organization is a nonprofit organization and that no part of the organization's net earnings may benefit any private shareholder or individual;
- 3. a certified copy of a certificate of incorporation or similar document establishing nonprofit status;
- 4. any of the above, if it applies to a state or national parent organization, with a statement by the state or national parent organization that the applicant is a local nonprofit affiliate

Current Listing of Agency’s Board of Directors

Attach a current listing of all Board Members to include name, affiliation, and contact information (address, phone number).

Standard Assurance Requirement

Pursuant to the Standard Assurances, the following two items must be provided to the Office of the Attorney General. Attach a document that addresses each of the following:

- 1. The subgrantee’s quarterly report data collection process. The agency must submit an enumerated, step-by-step process; explaining the agency's process for data collection. This document must be a summary and no more than 1 page. Do not include sample documents.
- 2. A listing to include the names and total compensation of the five most highly compensated executives of the organization.

990 Requirement

Upload a copy of the applicant agency’s most recent 990, if the agency is a not-for-profit.

Required Documentation Uploads

Upload Name:	Upload Type:	Date:
-----------------	-----------------	-------

OAG Only - Upload Section

Upload Name:	Upload Type:	Date:
-----------------	-----------------	-------



LEGISLATIVE MEMORANDUM

TO: Honorable Mayor and Members of the City Council

FROM: Suzanne Sherman, City Manager

THRU: Larry Wojciechowski, Finance Director

DATE: 3/16/2023

RE: Acknowledgement of the City's monthly financial report for January 2023 (Unaudited).

Attached for your information is the monthly financial report which provides an overview of the City's financial activities for January 2023. January is the fourth month of the fiscal year and represents 33% of the annual budget year.

Citywide cash and investments increased by \$57.9 million or 20.2% in comparison to the prior year. This is primarily due to increased balances in Impact Fee funds, Utilities funds, General Fund and ARPA funds. This also contributed to the increase in Citywide revenues.

The General Fund is the City's primary operating fund. General Fund revenues received through January were \$52.5 million and are 49.3% of the annual budget. General Fund expenditures through the end of January were \$27.9 million and are 26.2% of the annual budget. General Fund total cash & investments on January 31, 2023 was \$62.0 million, which is \$13.1 million or 26.9 % higher than one year ago.

General Fund revenues collected through January 31, 2023, overall were 24.3% higher than the revenues collected during the same period last year. The overall increase was mainly attributable to an increase in revenue collections from Ad Valorem Taxes and State shared revenues compared to the same period last year.

General Fund expenditures through January 31, 2023, overall were 15.2% higher than expenditures incurred during the same period last year. Pages 14 through 16 provide a summary of all funds' budget, revenues and expenditures posted for January 31, 2023.

REQUESTING DEPARTMENT:

Finance

FISCAL IMPACT:

None.

RECOMMENDATION:

Motion to acknowledge receipt of the January 2023 Financial Report.

ATTACHMENTS:**Description**

January 31, 2023 Monthly Financial Report



MONTHLY FINANCIAL REPORT (UNAUDITED)

JANUARY 2023

City of Palm Bay, Florida

Report Summary



Financial Report Summary	Page 1
General Fund	
➤ Year-to-Date Revenue	Page 2
➤ Year-to-Date Expenditures	Page 3
➤ Cash & Investments	Page 4
➤ Operating Statement & Change in Fund Balance	Page 5
➤ Fund Balance History	Page 6
Impact Fee Funds	
➤ Cash & Investments	Page 7
➤ Fund Equity	Page 8
Utilities Fund	
➤ Cash & Investments	Page 9
Stormwater Fund	
➤ Cash & Fund Equity	Page 10
Building Fund	
➤ Cash & Fund Equity	Page 11
General Obligation Road Program Funds	
➤ Cash & Fund Equity	Page 12
Financial Activity by Fund	
➤ General Fund, Special Revenue Funds, and Impact Fee Funds	Page 14
➤ Debt Service Funds and Capital Projects Funds	Page 15
➤ Enterprise Funds and Internal Service Funds	Page 16

MONTHLY FINANCIAL REPORT (UNAUDITED)

JANUARY 2023

CITY OF PALM BAY, FLORIDA



The City of Palm Bay, Florida's (the "City") monthly financial report presents an overview and analysis of the City's financial activities during the month of January 2023. January is the fourth month of the fiscal year and represents 33% of the annual budget.

Financial Report Summary

- Citywide revenues^{1*} of \$99.6 million are at 24.1% of the annual budget. Citywide expenditures^{1*} of \$59.0 million are at 14.3% of the annual budget. Traditionally revenue collections are two months in arrears. For this reason, certain revenues for grants and other governmental resources are accrued at year end to reflect the period in which it represents.
- Citywide cash and investments increased by \$57.9 million, or 20.2%, in comparison to the prior year. This was primarily due to increased balances in Impact Fee funds (\$15.7m), Utilities funds (\$12.7m), General Fund (13.1m) and the ARPA Fund (\$7.8m).
- Citywide revenues^{1*} increased by \$13.6 million, or 15.8% in comparison to the prior year.

Citywide - Cash & Investments ¹		Citywide - Revenues ^{1*}		Citywide - Expenditures ^{1*}	
1/31/2023	\$ 344,776,295.19	1/31/2023	\$ 99,554,070.13	1/31/2023	\$ 59,040,676.06
1/31/2022	286,913,228.35	1/31/2022	85,948,348.17	1/31/2022	55,560,318.18
Increase	20.2% \$ 57,863,066.84	Increase	15.8% \$ 13,605,721.96	Increase	6.3% \$ 3,480,357.88

¹ Not including Cash, Revenues, or Expenditures from PB Municipal Foundation.

* Not including interfund transfers

- General Fund revenues of \$52.5 million are at 49.3% of the annual budget. This is an increase of \$10.3 million, or 24.3%, in comparison to the prior year.
- General Fund expenditures of \$27.9 million are at 26.2% of the annual budget. This is an increase of \$3.7 million, or 15.2%, in comparison to the prior year.
- General Fund cash and investments increased by \$13.1 million, or 26.9%, in comparison to the prior year. Of this increased General Fund cash, \$230,662 is reserved.

General Fund - Cash & Investments		General Fund - Revenues		General Fund - Expenditures	
1/31/2023	\$ 61,988,432.89	1/31/2023	\$ 52,540,971.38	1/31/2023	\$ 27,911,813.87
1/31/2022	48,850,057.97	1/31/2022	42,263,072.27	1/31/2022	24,226,563.56
Increase	26.9% \$ 13,138,374.92	Increase	24.3% \$ 10,277,899.11	Increase	15.2% \$ 3,685,250.31

The General Fund is the City's primary operating fund and is used to account for all resources except those that are required to be accounted for in another fund.

This report contains unaudited information. If you have any questions or comments on the financial reports, please contact Larry Wojciechowski, Finance Director, or Ruth Chapman, Assistant Finance Director.

City Website: <http://www.palmbayflorida.org/>
Finance Website: www.palmbayflorida.org/finance

MONTHLY FINANCIAL REPORT (UNAUDITED)
JANUARY 2023
CITY OF PALM BAY, FLORIDA



General Fund (GF) Revenues - Summary

➤ **FY 2023 YTD Revenue Variance**
As Compared to Prior Year

	Prior YTD	Current YTD	% Variance	Annual Budget
Ad Valorem Taxes (1)	\$ 32,774,456	\$ 41,260,141	25.9%	\$ 46,501,681
Local Option Fuel Tax (2)	455,650	743,635	63.2%	4,159,113
Utility Service Taxes (3)	1,905,358	2,121,721	11.4%	9,699,000
Communication Service Tax	461,379	471,746	2.2%	2,784,721
Franchise Fees (4)	1,037,091	1,226,625	18.3%	6,248,250
State Shared Revenues (5)	839,549	970,061	15.5%	5,950,921
Half Cent Sales Tax	1,313,206	1,427,543	8.7%	7,868,633
Licenses and Permits (6)	137,458	451,209	228.3%	746,300
Grants and Other Entitlements (7)	103,889	53,164	-48.8%	662,080
Charges for Services	1,918,525	2,055,539	7.1%	5,876,418
Fines and Forfeitures (8)	201,836	125,096	-38.0%	493,500
Interest, Rents & Other Revenues (9)	151,341	873,518	477.2%	961,900
Interfund Transfers & Other Sources (10)	963,334	760,973	-21.0%	2,411,759
Fund Balance	-	-	0.0%	12,123,787
	\$ 42,263,072	\$ 52,540,971	24.3%	\$ 106,488,063

- (1) Increase primarily due to higher year-to-date collections of Ad Valorem Taxes in FY23.
(2) Increase primarily due to higher year-to-date collections of Local Option Fuel Taxes in FY23
(3) Increase primarily due to higher year-to-date collections of Utility Service Taxes in FY23.
(4) Increase primarily due to higher year-to-date collections of Franchise Fees in FY23.
(5) Increase primarily due to higher year-to-date collections of State Shared Revenues in FY23.
(6) Increase primarily due to higher year-to-date collections of driveway permits and BTR's in FY23.
(7) Decrease primarily due to lower year-to-date collections of Brevard Public Schools' grant in FY23.
(8) Decrease primarily due to lower year-to-date collections of Code Compliance fines in FY23.
(9) Increase primarily due to increased YTD interest earned in FY23.
(10) Decrease primarily due to no sales proceeds received in FY23.

MONTHLY FINANCIAL REPORT (UNAUDITED)
JANUARY 2023
CITY OF PALM BAY, FLORIDA



General Fund (GF) Expenditures - Summary

➤ FY 2023 YTD Expenditure Variance
As Compared to Prior Year

	Prior YTD	Current YTD	% Variance	Annual Budget
Legislative (1)	\$ 247,860	\$ 278,030	12.2%	\$ 854,287
City Manager (2)	321,521	414,477	28.9%	1,701,322
City Attorney (3)	95,320	130,699	37.1%	510,796
Procurement (4)	205,518	170,455	-17.1%	695,246
Finance (5)	405,817	449,860	10.9%	1,488,553
Information Technology (6)	1,075,157	1,465,224	36.3%	6,938,258
Human Resources	156,099	156,634	0.3%	746,425
Growth Management (7)	495,981	666,388	34.4%	2,242,808
Comm & Economic Dev. (8)	201,699	280,406	39.0%	1,014,517
Recreation	637,799	587,429	-7.9%	2,310,544
Parks and Facilities	1,567,941	1,600,234	2.1%	7,660,079
Police	7,346,765	7,962,311	8.4%	30,878,903
Fire	5,579,608	5,932,628	6.3%	23,908,329
Public Works	1,948,700	2,015,634	3.4%	8,872,023
Non-Departmental	1,903,163	1,986,680	4.4%	8,498,776
Transfers (9)	2,037,616	3,814,726	87.2%	8,167,197
	\$ 24,226,564	\$ 27,911,814	15.2%	\$ 106,488,063

(1) Increase primarily due to approved retro-pay following wage study in December 2022.

(2) Increase primarily due to approved retro-pay following wage study and hiring second Deputy City Manager in December 2022.

(3) Increase primarily due to approved retro-pay following wage study in December 2022.

(4) Decrease primarily due to vacant position(s) in FY23, including Chief Procurement Officer position.

(5) Increase primarily due to approved retro-pay following wage study in December 2022.

(6) Increase primarily due to more personnel, approved retro-pay following wage study, and higher operating costs in FY23.

(7) Increase primarily due to more personnel in Admin & Land Development Divisions & approved retro-pay following wage study.

(8) Increase primarily due to more personnel, including Asst. Director position, approved retro-pay, & \$51,000 for Strategic Plan in FY23.

(9) Increase primarily due to higher budgeted transfers to Road Maintenance CIP, Debt Service, & Environmental Fee Fund in FY23.

	YTD Actual	YTD Budget	Annual Budget	% Spent
Debt Service	\$ 2,437,327.89	\$ 2,263,266	\$ 6,789,799	35.9%
Personnel	19,033,676.72	20,771,648	62,314,945	30.5%
Operating	4,978,753.55	7,543,440	22,630,320	22.0%
Capital	84,657.71	4,458,534	13,375,601	0.6%
Contributions	-	-	-	0.0%
Transfers	1,377,398.00	459,133	1,377,398	100.0%
Reserves	-	-	-	0.0%
	\$ 27,911,813.87	\$ 35,496,021	\$ 106,488,063	26.2%

MONTHLY FINANCIAL REPORT (UNAUDITED)**JANUARY 2023**

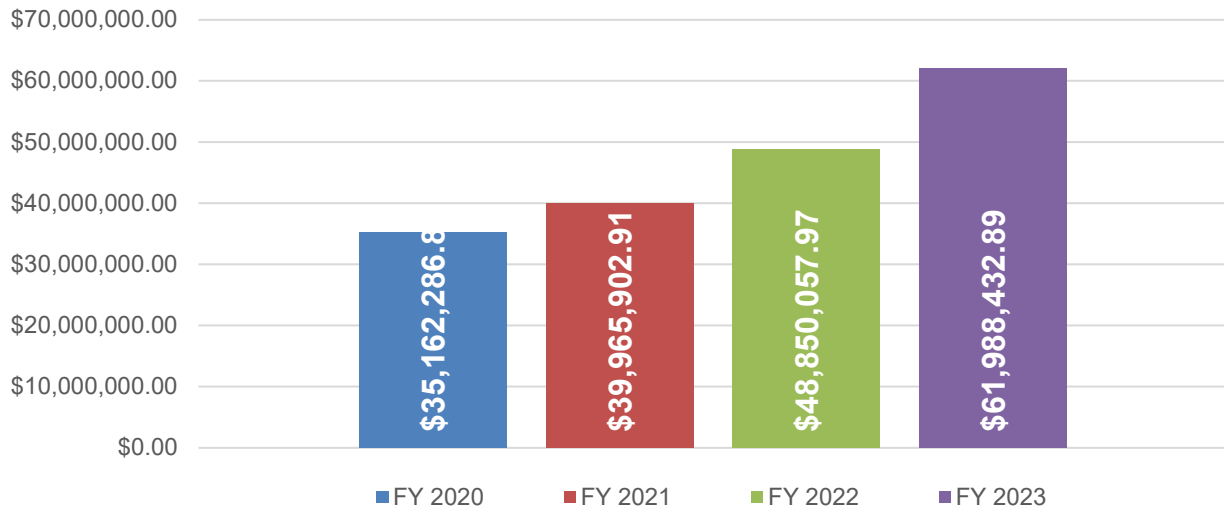
CITY OF PALM BAY, FLORIDA



The total budgeted expenditures for FY23 are \$106,488,063 (including encumbrances from prior year and budget amendments). Of this amount, \$62,314,945, or 58.5%, is related to personnel costs.

General Fund (GF) Cash & Investments - Summary

➤ Year-to-Date (YTD) Cash & Investments Comparisons



General Fund Cash & Investments		General Fund Cash & Investments	
Prior Month Ending Balance	\$ 63,450,774.87	January 2023 Ending Balance	\$ 61,988,432.89
Cash Increase (Decrease)	(1,462,341.98)	Cash Advanced to Other Funds:	
		CDBG Fund #126	(272,586.13)
Ending Balance 1/31/2023	\$ 61,988,432.89	Total Available Cash & Investments	\$ 61,715,846.76

MONTHLY FINANCIAL REPORT (UNAUDITED)
JANUARY 2023
CITY OF PALM BAY, FLORIDA



General Fund (GF) Balance - Summary

CITY OF PALM BAY, FLORIDA
OPERATING STATEMENT AND CHANGES IN FUND BALANCES
GENERAL FUND
For the Month Ended January 31, 2023

	Prior YTD	Current YTD
<u>REVENUES</u>		
Ad Valorem Taxes	\$ 32,774,456	\$ 41,260,141
Local Option Fuel Tax	455,650	743,635
Utility Service Taxes	1,905,358	2,121,721
Communication Service Tax	461,379	471,746
Franchise Fees	1,037,091	1,226,625
State Shared Revenues	839,549	970,061
Half Cent Sales Tax	1,313,206	1,427,543
Licenses and Permits	137,458	451,209
Grants and Other Entitlements	103,889	53,164
Charges for Services	1,918,525	2,055,539
Fines and Forfeitures	201,836	125,096
Interest, Rents and Other Revenues	151,341	873,518
Interfund Transfers and Other Sources	963,334	760,973
Total Revenues	42,263,072	52,540,971
<u>EXPENDITURES</u>		
Legislative	247,860	278,030
City Manager	321,521	414,477
City Attorney	95,320	130,699
Procurement	205,518	170,455
Finance	405,817	449,860
Information Technology	1,075,157	1,465,224
Human Resources	156,099	156,634
Growth Management	495,981	666,388
Economic Development	201,699	280,406
Parks and Recreation	637,799	587,429
Facilities	1,567,941	1,600,234
Police	7,346,765	7,962,311
Fire	5,579,608	5,932,628
Public Works	1,948,700	2,015,634
Non-Departmental	1,903,163	1,986,680
Transfers	2,037,616	3,814,726
Total Expenditures	24,226,564	27,911,814
Excess (Deficiency) of Revenues Over Expenditures	18,036,509	24,629,158
Fund Balance - Beginning	30,613,782	34,490,191
Fund Balance - Ending	\$ 48,650,291	59,119,349

General Fund (GF) Balance - Summary

The minimum General Fund unrestricted fund balance, as established by Resolution 2021-03 (effective with the preparation of the City's September 30, 2022, Annual Comprehensive Financial Report and adoption of the City's Fiscal Year 2022 Budget), is two months of regular budgetary General Fund operating expenditures. The following is a history of the City's General Fund unrestricted fund balance.

General Fund Balance - History			
	Minimum <u>Required</u>	Unrestricted <u>Fund Balance</u>	Unrestricted <u>Fund Balance %</u>
FY 2022	\$ 13,838,672	\$ 33,185,274	40.0%
FY 2021	7,553,655	29,713,480	39.3%
FY 2020	6,758,163	23,658,524	35.0%
FY 2019	6,784,007	18,205,817	26.8%
FY 2018	6,478,266	14,940,492	23.1%

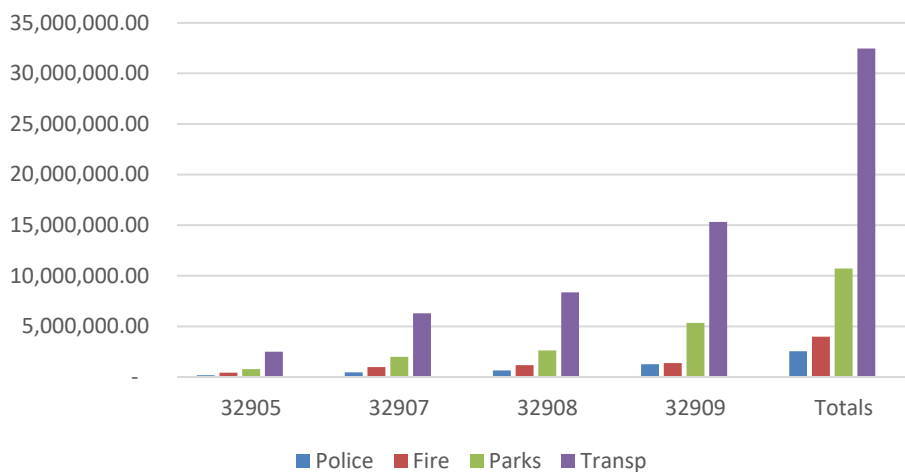
MONTHLY FINANCIAL REPORT (UNAUDITED)**JANUARY 2023**

CITY OF PALM BAY, FLORIDA

**Impact Fees by Nexus Zone - Cash & Investments – Summary***

1/31/2023	Zone 1	Zone 2	Zone 3	Zone 4	
	32905	32907	32908	32909	Totals
Police	172,736.98	453,604.22	648,810.87	1,263,048.45	2,538,200.52
Fire	428,371.63	987,465.29	1,177,836.41	1,382,385.71	3,976,059.04
Parks	767,844.48	1,995,180.19	2,619,441.10	5,339,033.27	10,721,499.04
Transp	2,496,880.05	6,284,664.82	8,360,721.05	15,314,945.88	32,457,211.80
Totals	3,865,833.14	9,720,914.52	12,806,809.43	23,299,413.31	49,692,970.40

*Not including Transportation Impact Fees Zone 32909 segregated amount of \$72,186.41 per I.L.A. with Brevard County.

Impact Fees Cash & Investments

MONTHLY FINANCIAL REPORT (UNAUDITED)

JANUARY 2023

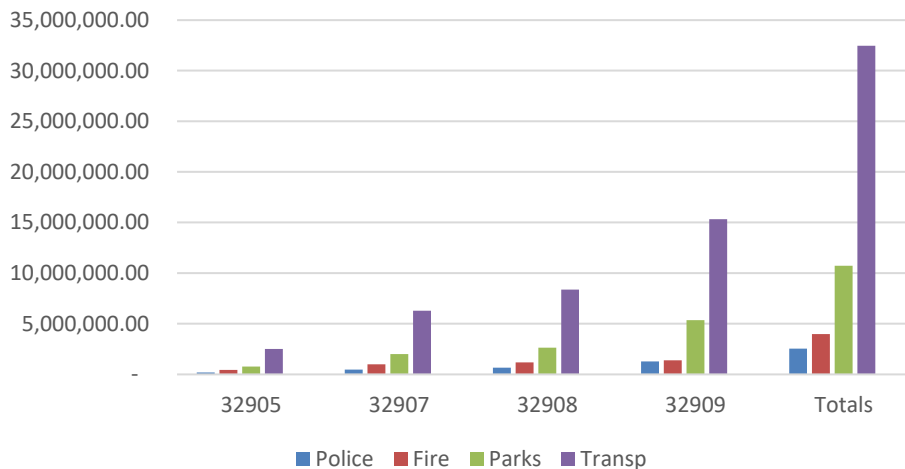
CITY OF PALM BAY, FLORIDA



Impact Fees by Nexus Zone – Fund Balance - Summary

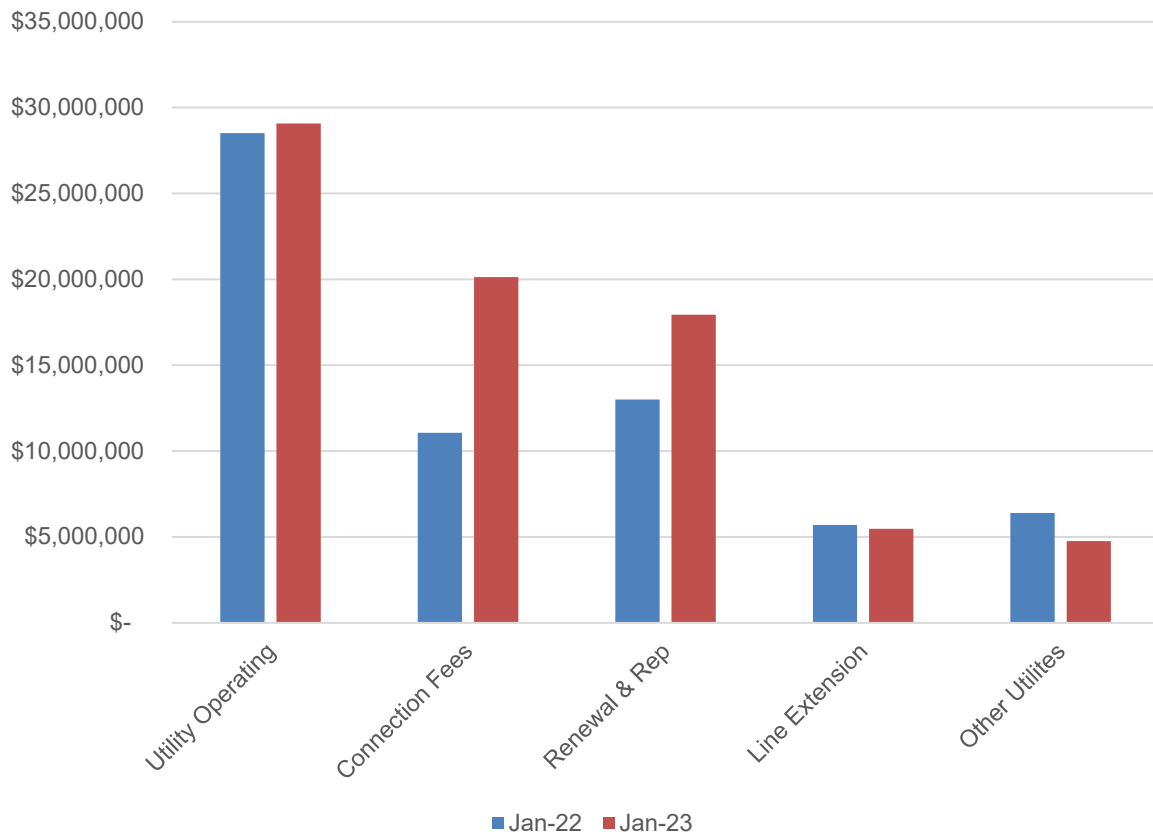
1/31/2023	32905	32907	32908	32909	Totals
Police	172,736.98	453,604.22	648,810.87	1,263,048.45	2,538,200.52
Fire	428,371.63	987,465.29	1,177,836.41	1,376,960.56	3,970,633.89
Parks	767,844.48	1,995,180.19	2,619,441.10	5,339,033.27	10,721,499.04
Transp	2,496,880.05	6,284,664.82	8,360,721.05	15,315,461.59	32,457,727.51
Totals	3,865,833.14	9,720,914.52	12,806,809.43	23,294,503.87	49,688,060.96

Fund Equity by Zone



Utilities Fund Cash & Investments - Summary

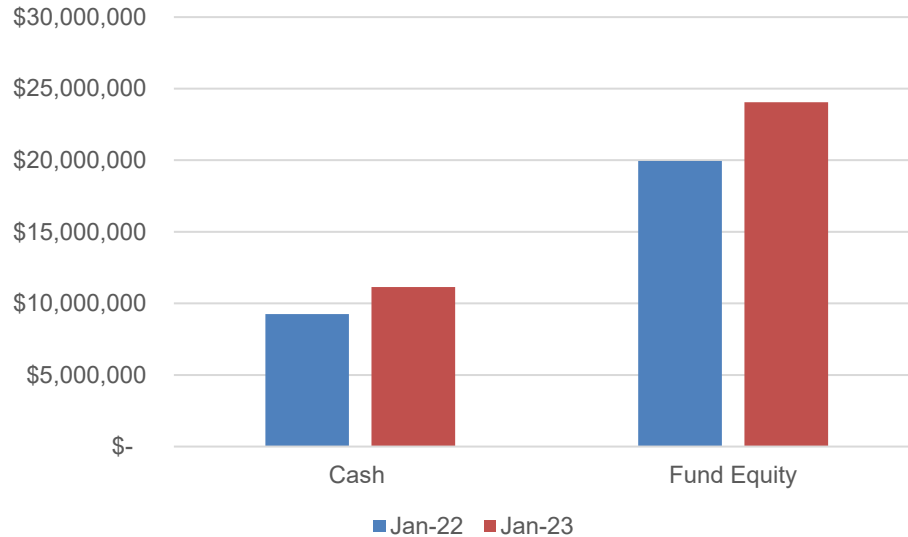
Year-to-Date (YTD) Comparison: Water & Sewer



Overall, the Water & Sewer Funds cash and investments increased by \$12.7 million, or 19.6%, year over year.

Stormwater Fund Cash & Equity - Summary

➤ Year-to-Date (YTD) Cash & Fund Equity

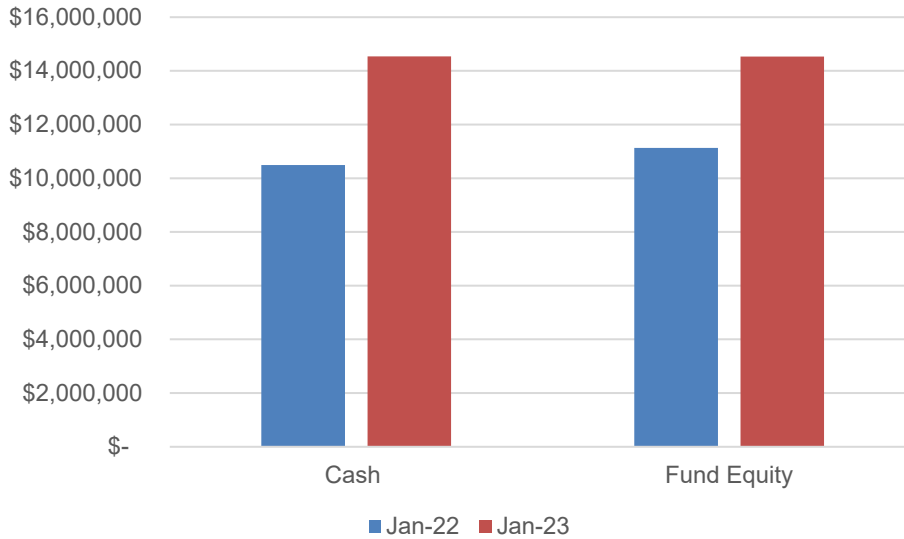


Overall, the Stormwater cash and investment balance increased by \$1,887,747, or 20.4%, year over year.

Overall, the Stormwater fund equity increased by \$4,107,694, or 20.6%, year over year.

Building Fund Cash & Equity - Summary

➤ Year-to-Date (YTD) Cash & Fund Equity

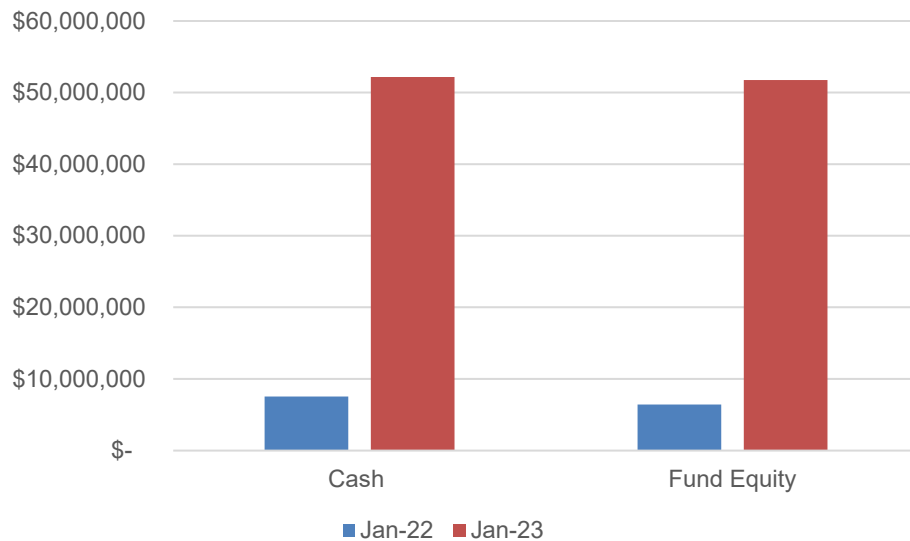


Overall, the Building cash and investment balance increased by \$4,047,189, or 38.6%, year over year.

Overall, the Building fund equity increased by \$3,402,414, or 30.6%, year over year.

General Obligation Road Program Fund Cash & Equity - Summary

➤ Year-to-Date (YTD) Cash & Fund Equity

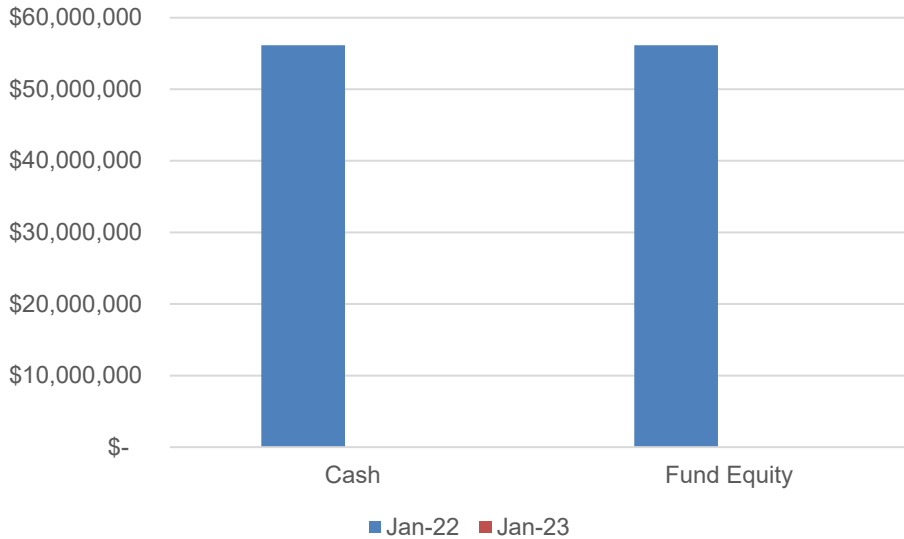


The 2019 General Obligation Road Program cash and investment balance increased by \$44,640,682, or 592.3%, year over year.

The 2019 G.O. Road Program Fund equity increased by \$45,321,297, or 706.6%, year over year.

General Obligation Road Program Fund Cash & Equity - Summary

➤ Year-to-Date (YTD) Cash & Fund Equity



The 2021 General Obligation Road Program cash and investment balance decreased by \$56,138,245, or 100.0%, year over year.

The 2021 G.O. Road Program Fund equity decreased by \$56,138,245, or 100.0%, year over year.

MONTHLY FINANCIAL REPORT (UNAUDITED)
JANUARY 2023
CITY OF PALM BAY, FLORIDA



Unaudited Financial Activity - All Funds
City of Palm Bay, Florida
As of January 31, 2023 (unaudited)
33% of fiscal year completed

		Budget		Revenues		Expenditures	
Fund #	Description	Original Budget	Revised Budget	Current Year to Date	Percent of Revised	Current Year to Date	Percent of Revised
General Fund							
001	General Fund	\$93,375,216	\$106,488,063	\$52,540,971	49.3%	\$27,911,814	26.2%
Special Revenue Funds							
101	Law Enforcement Trust Fund	0	13,158	13,239	100.6%	8,175	62.1%
103	Palm Bay Municipal Foundation	30,000	30,000	3	0.0%	2,402	8.0%
105	Code Nuisance Fund	400,000	400,000	55,047	13.8%	45,681	11.4%
111	State Housing Grant Fund	863,744	1,930,081	11,508	0.6%	328,471	17.0%
112	Comm Devel Block Grant Fund	1,013,936	2,307,893	6,753	0.3%	33,602	1.5%
114	Home Invest Grant Fund	853,835	1,041,859	31,930	3.1%	78,108	7.5%
123	NSP Program Fund	0	2,790	37,593	1347.4%	26	0.9%
124	Coronavirus Relief Tr. Fund	0	0	0	0.0%	-	0.0%
126	CDBG Coronavirus Fund	142,375	318,722	11,652	3.7%	35,476	11.1%
128	ARPA Fund	0	15,788,562	199,854	1.3%	121,121	0.8%
129	Opioid Settlement Fund	0	0	86,398	0.0%	-	0.0%
131	Donations Fund	0	0	12,299	0.0%	12,340	0.0%
161	Environmental Fee Fund	366,828	366,828	402,490	109.7%	12	0.0%
181	Bayfront Comm Redev Fund	2,277,904	2,277,904	2,412,399	105.9%	3,206	0.1%
Impact Fee Funds							
180	Police Impact Fees - 32905	63,400	63,400	16,674	26.3%	4	0.0%
183	Police Impact Fees - 32907	159,250	240,011	83,945	35.0%	48,535	20.2%
184	Police Impact Fees - 32908	200,400	200,400	89,477	44.6%	19	0.0%
186	Police Impact Fees - 32909	350,600	350,600	157,313	44.9%	29	0.0%
187	Fire Impact Fees - 32905	95,400	111,650	27,278	24.4%	12	0.0%
188	Fire Impact Fees - 32907	264,600	280,850	133,956	47.7%	19	0.0%
189	Fire Impact Fees - 32908	350,800	530,800	143,007	26.9%	18,444	3.5%
190	Fire Impact Fees - 32909	551,000	776,529	241,918	31.2%	222,029	28.6%
191	Parks Impact Fees - 32905	191,100	355,680	15,107	4.2%	10	0.0%
192	Parks Impact Fees - 32907	476,000	1,202,701	229,230	19.1%	9,823	0.8%
193	Parks Impact Fees - 32908	751,500	1,214,137	301,418	24.8%	48	0.0%
194	Parks Impact Fees - 32909	1,003,000	1,003,000	508,811	50.7%	28	0.0%
196	Trans Impact Fees - 32905	852,000	852,000	48,197	5.7%	39	0.0%
197	Trans Impact Fees - 32907	1,603,200	4,806,446	772,872	16.1%	2,903	0.1%
198	Trans Impact Fees - 32908	2,504,500	7,053,425	1,016,203	14.4%	1,902	0.0%
199	Trans Impact Fees - 32909	4,015,500	9,900,326	1,812,360	18.3%	916,354	9.3%

MONTHLY FINANCIAL REPORT (UNAUDITED)
JANUARY 2023
CITY OF PALM BAY, FLORIDA



Unaudited Financial Activity - All Funds
City of Palm Bay, Florida
As of January 31, 2023 (unaudited)
33% of fiscal year completed

		Budget		Revenues		Expenditures	
Fund #	Description	Original Budget	Revised Budget	Current Year to Date	Percent of Revised	Current Year to Date	Percent of Revised
Debt Service Funds							
201	Debt Service Fund	536,673	536,673	0	0.0%	0	0.0%
214	2004 Pension Bond Debt Svc Fd	210,100	210,100	70,576	33.6%	190,001	90.4%
221	2013 Pension Bonds DS Fund	1,445,911	1,445,911	482,344	33.4%	1,376,227	95.2%
223	2015 Franchise Fee Note DS Fd	531,338	531,338	289,079	54.4%	510,188	96.0%
224	2015 Sales Tax Bonds DS Fd	824,664	824,664	276,847	33.6%	377	0.0%
225	2015 Sales Tax Bonds DS Fd - TIF	227,318	227,318	228,674	100.6%	0	0.0%
226	2016 Franchise Fee Note DS Fd	347,807	347,807	116,784	33.6%	272,173	78.3%
227	2018 LOGT Note DS Fd	769,088	769,088	773,473	100.6%	669,846	87.1%
228	2019 GO Bonds DS Fd	6,980,575	6,980,575	6,272,138	89.9%	3,867,710	55.4%
229	2019 Pension Bonds DS Fund	2,209,924	2,209,924	742,210	33.6%	1,415,956	64.1%
230	2020 Special Oblig Ref Note	328,782	328,782	110,445	33.6%	291,114	88.5%
231	2021 Pension Bonds DS Fund	3,450,450	3,450,450	3,033,955	87.9%	785,375	22.8%
Capital Projects Funds							
301	Community Investment Fund	2,500	3,817,193	88,760	2.3%	28,147	0.7%
306	2015 FF Nt Procds I-95 Intchg Fd	50	385,397	297	0.1%	204,999	53.2%
307	Road Maintenance CIP Fd	1,000,000	2,402,000	1,087,303	45.3%	52	0.0%
308	'18 LOGT Nt Procds-Rd I-95 Fd	50	309,658	2,315	0.7%	0	0.0%
309	'19 GO Bond Proceeds-Road Fd	11,194,184	62,832,124	56,989,274	90.7%	4,693,176	7.5%
310	'21 GO Bond Proceeds-Road Fd	0	57,043,799	570,136	1.0%	56,982,780	99.9%

MONTHLY FINANCIAL REPORT (UNAUDITED)**JANUARY 2023**

CITY OF PALM BAY, FLORIDA

**Unaudited Financial Activity - All Funds****City of Palm Bay, Florida****As of January 31, 2023 (unaudited)****33% of fiscal year completed**

		Budget		Revenues		Expenditures	
Fund #	Description	Original Budget	Revised Budget	Current Year to Date	Percent of Revised	Current Year to Date	Percent of Revised
Proprietary Funds							
Utility Funds							
421	Utilities Operating Fund	41,847,507	46,292,097	10,498,384	22.7%	10,925,065	23.6%
423	Utility Connection Fee Fund	8,261,085	8,785,578	1,239,155	14.1%	586,999	6.7%
424	Utility Renewal / Replace Fd	11,981,574	25,926,864	3,901,550	15.0%	819,509	3.2%
425	Main Line Extension Fee Fund	5,178,464	6,105,894	574,651	9.4%	1,251,031	20.5%
426	2016 Utility Bond Fund	5,313,170	5,313,170	1,784,303	33.6%	3,000	0.1%
427	2001 Bond Fund	1,930,600	1,930,600	745,415	38.6%	0	0.0%
431	USA1 Assessment Fund	0	0	994	0.0%	2,001	0.0%
432	Unit 31 Assessment Fund	297,731	155,807	836	0.5%	4	0.0%
433	Utility SRF Loan Fund	3,777	20,878,814	0	0.0%	1,938,434	9.3%
434	2020 Utility Note Fund	221,755	1,333,759	95,066	7.1%	261,554	19.6%
Other Enterprise Funds							
451	Building Fund	5,516,984	12,276,842	2,511,093	20.5%	1,432,976	11.7%
461	Stormwater Fund	15,189,293	22,397,398	2,910,907	13.0%	1,783,486	8.0%
471	Solid Waste Fund	13,482,670	13,288,102	4,566,899	34.4%	3,382,723	25.5%
Internal Service Funds							
511	Employee Health Insurance Fd	16,786,307	16,786,307	5,574,449	33.2%	3,864,564	23.0%
512	Risk Management Fund	5,105,867	5,105,867	1,921,560	37.6%	1,453,723	28.5%
513	Other Employee Benefits Fd	4,280,960	4,280,960	1,439,560	33.6%	888,001	20.7%
521	Fleet Services Fund	4,590,687	7,545,090	1,606,383	21.3%	1,732,898	23.0%



LEGISLATIVE MEMORANDUM

TO: Honorable Mayor and Members of the City Council

FROM: Suzanne Sherman, City Manager

DATE: 3/16/2023

RE: Acknowledgement of the March 2023 GO Road Bond Paving report update.

The GO Roads Paving program funded \$150 million in general obligation bond approved by the voters in November 2018. Public Works engineering and inspection staff is tasked with managing the design and construction for the eight year paving construction program. The program requires staff to prepare an annual paving program to be reviewed by the Infrastructure Advisory Oversight Board (IAOB) and then approved by City Council at the beginning of the year.

Attached is the monthly paving program update report. Changes since last month's report include:

- Total miles completed is 330 miles or 42% of the 791 miles of the Road Paving Program.
- Unit 30 full depth reclamation is 100% complete and 45% of the overall paving is completed.
- Emerson Drive from Amador to Jupiter paving and Glencove widening completed.
- Started milling operations on Knecht Road project as of February 23, 2023.

REQUESTING DEPARTMENT:

Public Works

FISCAL IMPACT:

The financial spreadsheet of the current budget for each road project is attached. All projects which are complete or under contract have been reviewed and show actual expenses/ encumbrances to date.

RECOMMENDATION:

Motion to acknowledge the March 2023 GO Road Bond Paving update.

ATTACHMENTS:

Description

March 2023 Road Bond Paving Update

Road Bond Paving Update – March 3, 2023

The City has already taken two draws of \$50 million for a total of \$100 million to cover the paving contracts. The following is an update on the paving program:

- Table below provides a summary of completed (Blue), in construction (Orange) and advertised (Red) for Road Paving Phases 1 thru 5.
- Total miles completed is 330 miles or 42% of the 791 miles of Road Paving Program.
- Unit 48 & Emerson Drive FDR/paving from C-1 Canal to Fairhaven completed.
- Unit 30 FDR is 100% completed and 45% paving completed.
- Emerson Drive from Amador to Jupiter paving and Glencove widening completed.
- Started milling operation on Knecht Rd streets as on February 23, 2023

Units	Phase	Miles	Costs	Status
Unit 41 and Eldron	1	11.73	\$3,074,558.88	Completed
Unit 31 and 32	1	41.47	\$10,269,206.00	Completed
Unit 42 and Garvey	1	33.51	\$7,727,462.09	Completed
Units 11, 15, 18, 23 and 56	1	56.63	\$10,020,961.74	Completed
Pt Malabar Rd from Palm Bay to Babcock St	2	1.66	\$996,581.93	Completed
Emerson Dr from Minton Rd to C-1	2	2.55	\$1,118,119.41	Completed
Unit 17	2	13.16	\$1,464,994.56	Completed
Unit 46	2	23.96	\$2,062,215.61	Completed
Unit 5	2	6.49	\$926,774.75	Completed
Unit 1,2,3,4,27,35,43 & 47	2	24.13	\$3,617,733.39	Completed
Unit 24 & 25	2	45.13	\$7,861,368.60	Completed
Palm Bay Colony & Kirby Industrial	2	6.09	\$1,138,313.50	Completed
Driskell Heights/Florida/Farview	2	4.75	\$1,104,797.93	Completed
Unit 20	2	16.57	\$2,666,360.95	Close-out
Unit 48 & Emerson from C-1 to Fairhaven	3	22.97	\$5,074,199.68	Punch list
Unit 30	3	30 .10	\$11,636,071.35	FDR & Paving
Emerson from Amador Ave to Jupiter Blvd	2	1.96	\$1,166,360.95	Punch list
Knecht RD & Pt Malabar from Babcock to US 1	2	9.45	\$3,782,442.49	NTP 2/6/23
Northeast Area Misc.	2	17.63	\$6,689,672.60	NTP 4/4/23
Country Club 1-10	2	20.9	Est \$8,028,694.67	Procurement 3/3
Units 13, 14 and Madden and Osmosis	3	33.13	Est \$10,945,848.18	Reviewing bids
Units 22 & 37	3	25.58	Est \$5,300,108.29	Waiting on pipes
Unit 57	3	2.58	Est \$2,055,484.95	Waiting on pipes
Units 26, 38, 39 & 40	5	19.39	Est \$2,010,076.81	Redo design plans
Phase 4 Projects: Unit 6, 44, 45, 50, and 55	4	96.7	Est \$13,838,501.03	Phase 4 estimates
Phase 5 Projects: Melbourne Poultry Colony, Unit 21, 07, 08, 29, 28, 19, 10, 09, 36, 12, 16	5	223.71	Est \$37,673,563	Phase 5 estimates
Phase 5 Unit 49	5	28.4	Est \$16,153,442	Phase 5 estimates

Projects complete or under contract	\$82,398,110.40
Estimated future projects	\$96,005,718.93
Total expected expenditures	\$178,403,829.33
Difference	-\$28,403,829.33



LEGISLATIVE MEMORANDUM

TO: Honorable Mayor and Members of the City Council

FROM: Terese Jones, City Clerk

DATE: 3/16/2023

RE: Appointment of one (1) member to the Planning and Zoning Board.

As you may recall, Kay Maragh resigned from the above subject board. The vacancy has been announced at several regular Council meetings and application solicited for the same.

The aforementioned vacancy represents the 'at-large' position. The following applications have been received:

Jeffrey Mcleoad
729 Bautzen Avenue, NW 32907

Jimmy Backus
253 Gardner Road, SW 32908

Henry A. Stephens, Jr
454 Alama Street, SE 32909

Vicki Northrup
241 Gardner Road, SW 32908

David A. Karaffa
496 Binney Street, NE

REQUESTING DEPARTMENT:
Legislative

FISCAL IMPACT:
None

RECOMMENDATION:
Motion to approve the appointment of one (1) member to the Planning and Zoning Board representing the 'at-large' position. The individual appointed will complete Ms. Maragh's term which expires February 28, 2025.

ATTACHMENTS:**Description**

J.McLeod

J.Backus

H.Stephens

V.Northrup

D.Karaffa



Office of The
Jan 11 2023
City Clerk

APPLICATION FOR MEMBERSHIP / City Boards or Committees

City of Palm Bay • 120 Malabar Road • Palm Bay, FL 32907
Phone: 321-952-3414 • www.palmbayflorida.org • Fax: 321-953-8971

BOARD/COMMITTEE

Name of Board/Committee: Citizen's Budget Advisory Board and Planning and Zoning Board
Full Name: Jeffrey McLeod
Home Address: 729 Bautzen Ave NW
City: Palm Bay Zip Code: 32907
Telephone Number: 3219604490 Fax Number:
Email Address: jeffrymc@gmail.com

EMPLOYMENT

Employer: Retired Occupation: Attorney at Law (Ret)
Address:
City: State: Zip Code:
Telephone Number: Fax Number:
Email Address:
Job Responsibilities:

EDUCATION

High School Name: Cornwall College
Location: Montego Bay, jamaica Years Completed: 7 Major/Degree: HS Diploma, advan
College Business or Trade School: University of Michigan
Location: Ann Arbor Michigan Years Completed: 4 Major/Degree: BGS
Professional School: University of Detroit Mercy school of law, night student
Location: Detroit Michigan Years Completed: 4 Major/Degree: Juris Doctor
Other:
Location: Years Completed: Major/Degree:

APPLICANT INFORMATION

Have you ever held a business tax receipt? ☐ Yes ☒ No *If yes, please provide the following:*

Title:

Issue Date: Issuing Authority:

If any disciplinary action has been taken, please state the type and date of the action taken:

Disciplinary Action: NA Disciplinary Date:

Are you a resident of the City? ☒ Yes ☐ No *If yes, how long?* 16 Years 7 Months

How long have you been a resident of Brevard County? 16 Years 7 Months

Are you a United States citizen? ☒ Yes ☐ No

Are you a registered voter of the City? ☒ Yes ☐ No

Are you employed by the City? ☐ Yes ☒ No *If yes, what department?*

Do you presently serve on a City board(s)? ☐ Yes ☒ No *If yes, please list board(s):*

Have you previously served on a City board(s)? ☒ Yes ☐ No *If yes, please list board(s):*

Charter Review Commission 2022

Are you currently serving on a board, authority, or commission for another governmental agency?

☐ Yes ☒ No *If yes, what board(s):*

Have you ever been convicted or pled guilty to a criminal charge or pled nolo contendere (no contest) to a criminal charge? ☐ Yes ☒ No *If yes, what charge:*

Where: When:

Disposition was: ☐ Convicted ☐ Pled Guilty ☐ Pled No Contest

Have your civil rights been restored? ☐ Yes ☐ No

Are you a member or participant of any community organizations? ☒ Yes ☐ No

If yes, please list: Cornwall College Alumni Central Florida Chapter

BCASCA Brevard Caribbean American Sports and Cultural Association (a 501(c) (3) Charitable Org.

Served as board secretary for 6yrs. life member of the organization.

What are your hobbies / interests? Community Service. Coaching Cricket and soccer. Writing, fundraising for
Raising money to provide scholarships for indigent students at my high school. Traveling, Enjoying my retirement

Why do you want to serve on this board / committee? I want to contribute to the growth, development and
I believe my experience practicing law and my analytical mind and my prior community service will be an asset

Section 760.80, Florida Statutes, requires certain information on statutorily created boards to be filed on an annual basis. Please complete the following.

Race: African American Gender: Male Physically Disabled: ☐

APPLICATION CERTIFICATION

By filing this application with the City of Palm Bay and placing my signature below, I do hereby acknowledge the following:

1. This Application, when completed and filed with the Office of the City Clerk, is a PUBLIC RECORD under Chapter 119, Florida Statutes, and is open to public inspection.
2. I am responsible for keeping the information on this form current and that any changes or updates will be provided to the Office of the City Clerk.
3. I consent to filing the Statement of Financial Interests if required for this board.
<http://www.ethics.state.fl.us>
4. If appointed to a board/committee, I acknowledge that it is my obligation and duty to comply with the following:

Code of Ethics for Public Officials (Florida Statutes, Chapter 112, Part III)
Florida Sunshine Law (Florida Statutes, Chapter 286)
<http://www.flsenate.gov/Statutes>
5. I understand the responsibilities associated with being a board/committee member, and I will have adequate time to serve on this board/committee.

The information provided on this form is true and correct, and consent is hereby given to the City Council or its designated representative to verify any and/or all information provided.

Signature:



Date: 1/11/2023

Mail the application to:
City of Palm Bay
Office of the City Clerk
120 Malabar Road, SE
Palm Bay, Florida 32907

Fax the application to:
321-953-8971

SUBMIT FORM



Office of The

FEB 16 2023

City Clerk

APPLICATION FOR MEMBERSHIP / City Boards or Committees

City of Palm Bay • 120 Malabar Road • Palm Bay, FL 32907
Phone: 321-952-3414 • www.palmbayflorida.org • Fax: 321-953-8971

BOARD/COMMITTEE

Name of Board/Committee: Planning and Zoning Board
Full Name: Jimmy Backus
Home Address: 253 Gardner rd sw
City: Palm Bay Zip Code: 32908
Telephone Number: 678 886-5570 Fax Number:
Email Address: JimmyBackus49@gmail.com

EMPLOYMENT

Employer: U.S.P.S Postal Service Occupation: tech Carrier
Address: 640 E New Haven Ave
City: Melbourne State: FL Zip Code: 32901
Telephone Number: 321-723-6164 Fax Number:
Email Address:
Job Responsibilities: Deliver

EDUCATION

High School Name: Norview High School
Location: 6501 Chesapeake Blvd Years Completed: 2 Major/Degree: Business Law
College Business or Trade School: Bentley Heights University
Location: 892 Berne St Years Completed: 2 Major/Degree: Accounting
Professional School: Tidewater Community College
Location: 1700 College Crescent Va Beach, Va Years Completed: 1 Major/Degree: Business Finance
Other:
Location: Years Completed: Major/Degree:

Revised March 2019

Application for Membership/Boards and Committees Page 1 of 3

What are your hobbies / interests? Golf, Tennis

Why do you want to serve on this board / committee? My Pasture is to serve in Palm

Bay and to assist in area as Palm Bay develops and grow

Section 760.80, Florida Statutes, requires certain information on statutorily created boards to be filed on an annual basis. Please complete the following.

Race: African American Gender: Male Physically Disabled: ☐

APPLICATION CERTIFICATION

By filing this application with the City of Palm Bay and placing my signature below, I do hereby acknowledge the following:

1. This Application, when completed and filed with the Office of the City Clerk, is a PUBLIC RECORD under Chapter 119, Florida Statutes, and is open to public inspection.
2. I am responsible for keeping the information on this form current and that any changes or updates will be provided to the Office of the City Clerk.
3. I consent to filing the Statement of Financial Interests if required for this board.
<http://www.ethics.state.fl.us>
4. If appointed to a board/committee, I acknowledge that it is my obligation and duty to comply with the following:
Code of Ethics for Public Officials (Florida Statutes, Chapter 112, Part III)
Florida Sunshine Law (Florida Statutes, Chapter 286)
<http://www.flsenate.gov/Statutes>
5. I understand the responsibilities associated with being a board/committee member, and I will have adequate time to serve on this board/committee.

The information provided on this form is true and correct, and consent is hereby given to the City Council or its designated representative to verify any and/or all information provided.

Signature: [Signature] Date: 2-16-23

Mail the application to:

City of Palm Bay
Office of the City Clerk
120 Malabar Road, SE
Palm Bay, Florida 32907

Fax the application to:

321-953-8971

SUBMIT FORM

APPLICANT INFORMATION

Have you ever held a business tax receipt? ☐ Yes ☐ No If yes, please provide the following:

Title:

Issue Date: Issuing Authority:

If any disciplinary action has been taken, please state the type and date of the action taken:

Disciplinary Action: Disciplinary Date:

Are you a resident of the City? ☒ Yes ☐ No If yes, how long? Years Months

How long have you been a resident of Brevard County? Years Months

Are you a United States citizen? ☒ Yes ☐ No

Are you a registered voter of the City? ☒ Yes ☐ No

Are you employed by the City? ☐ Yes ☒ No If yes, what department?

Do you presently serve on a City board(s)? ☒ Yes ☐ No If yes, please list board(s):

Have you previously served on a City board(s)? ☐ Yes ☒ No If yes, please list board(s):

Are you currently serving on a board, authority, or commission for another governmental agency?

☐ Yes ☒ No If yes, what board(s):

Have you ever been convicted or pled guilty to a criminal charge or pled nolo contendere (no contest)

to a criminal charge? ☐ Yes ☒ No If yes, what charge:

Where: When:

Disposition was: ☐ Convicted ☐ Pled Guilty ☐ Pled No Contest

Have your civil rights been restored? ☐ Yes ☐ No

Are you a member or participant of any community organizations? ☒ Yes ☐ No

If yes, please list:



Office of The

FEB 21 2023

City Clerk

APPLICATION FOR MEMBERSHIP / City Boards or Committees

City of Palm Bay • 120 Malabar Road • Palm Bay, FL 32907
Phone: 321-952-3414 • www.palmbayflorida.org • Fax: 321-953-8971

BOARD/COMMITTEE

Name of Board/Committee:
Full Name:
Home Address:
City: Zip Code:
Telephone Number: Fax Number:
Email Address:

EMPLOYMENT

Employer: Occupation:
Address:
City: State: Zip Code:
Telephone Number: Fax Number:
Email Address:
Job Responsibilities:

EDUCATION

High School Name:
Location: Years Completed: Major/Degree:
College Business or Trade School:
Location: Years Completed: Major/Degree:
Professional School:
Location: Years Completed: Major/Degree:
Other:
Location: Years Completed: Major/Degree:

APPLICANT INFORMATION

Have you ever held a business tax receipt? ☐ Yes ☒ No *If yes, please provide the following:*

Title:

Issue Date: Issuing Authority:

If any disciplinary action has been taken, please state the type and date of the action taken:

Disciplinary Action: Disciplinary Date:

Are you a resident of the City? ☒ Yes ☐ No *If yes, how long?* 16 Years 6 Months

How long have you been a resident of Brevard County? 16 Years 6 Months

Are you a United States citizen? ☒ Yes ☐ No

Are you a registered voter of the City? ☒ Yes ☐ No

Are you employed by the City? ☐ Yes ☒ No *If yes, what department?*

Do you presently serve on a City board(s)? ☐ Yes ☒ No *If yes, please list board(s):*

Have you previously served on a City board(s)? ☐ Yes ☒ No *If yes, please list board(s):*

Are you currently serving on a board, authority, or commission for another governmental agency?

☐ Yes ☒ No *If yes, what board(s):*

Have you ever been convicted or pled guilty to a criminal charge or pled nolo contendere (no contest) to a criminal charge? ☐ Yes ☒ No *If yes, what charge:*

Where: When:

Disposition was: ☐ Convicted ☐ Pled Guilty ☐ Pled No Contest

Have your civil rights been restored? ☐ Yes ☐ No

Are you a member or participant of any community organizations? ☒ Yes ☐ No

If yes, please list:

What are your hobbies / interests? Florida history, medieval history, marine biology, scuba diving, bicycling

Why do you want to serve on this board / committee? I wish to help steer Palm Bay to responsible, sustainable growth, including environmental preservation where needed.

Section 760.80, Florida Statutes, requires certain information on statutorily created boards to be filed on an annual basis. Please complete the following.

Race: white

Gender: male

Physically Disabled: ☒

APPLICATION CERTIFICATION

By filing this application with the City of Palm Bay and placing my signature below, I do hereby acknowledge the following:

1. This Application, when completed and filed with the Office of the City Clerk, is a PUBLIC RECORD under Chapter 119, Florida Statutes, and is open to public inspection.
2. I am responsible for keeping the information on this form current and that any changes or updates will be provided to the Office of the City Clerk.
3. I consent to filing the Statement of Financial Interests if required for this board.
<http://www.ethics.state.fl.us>
4. If appointed to a board/committee, I acknowledge that it is my obligation and duty to comply with the following:
Code of Ethics for Public Officials (Florida Statutes, Chapter 112, Part III)
Florida Sunshine Law (Florida Statutes, Chapter 286)
<http://www.flsenate.gov/Statutes>
5. I understand the responsibilities associated with being a board/committee member, and I will have adequate time to serve on this board/committee.

The information provided on this form is true and correct, and consent is hereby given to the City Council or its designated representative to verify any and/or all information provided.

Signature:

Henry Adolph Stephens Jr.

Date:

2-21-2023

Mail the application to:
City of Palm Bay
Office of the City Clerk
120 Malabar Road, SE
Palm Bay, Florida 32907

Fax the application to:
321-953-8971

SUBMIT FORM

**APPLICATION FOR MEMBERSHIP / City Boards or Committees**

City of Palm Bay • 120 Malabar Road • Palm Bay, FL 32907
Phone: 321-952-3414 • www.palmbayflorida.org • Fax: 321-953-8971

BOARD/COMMITTEE

Name of Board/Committee: PLANNING + ZONING
Full Name: VICKI NORTHRUP
Home Address: 241 GARDNER Rd SW
City: Palm Bay Zip Code: 32908
Telephone Number: 321-750-2132 Fax Number:
Email Address: VNORTHRUP@BRIGHTHOUSE.COM

EMPLOYMENT

Employer: Retired Occupation:
Address:
City: State: Zip Code:
Telephone Number: Fax Number:
Email Address:
Job Responsibilities:

EDUCATION

High School Name: E.W. Seaforth
Location: Birmingham, MI Years Completed: 3 Major/Degree: Diploma
College Business or Trade School: Barry Univ
Location: Miami, FL Years Completed: 4 Major/Degree: Bachelors
Professional School: Baker College
Location: Michigan Years Completed: 2 Major/Degree: M.B.A.
Other:
Location: Years Completed: Major/Degree:

APPLICANT INFORMATION

Have you ever held a business tax receipt? ☒ Yes ☐ No If yes, please provide the following:

Vicki Northrup Consulting

Title: OWNER

Issue Date: 2016 Issuing Authority: County + W. Melbourne City

If any disciplinary action has been taken, please state the type and date of the action taken:

Disciplinary Action: NONE Disciplinary Date:

Are you a resident of the City? ☒ Yes ☐ No If yes, how long? 15 Years Months

How long have you been a resident of Brevard County? 15 Years Months

Are you a United States citizen? ☒ Yes ☐ No

Are you a registered voter of the City? ☒ Yes ☐ No

Are you employed by the City? ☐ Yes ☒ No If yes, what department?

Do you presently serve on a City board(s)? ☒ Yes ☐ No If yes, please list board(s):

Bayfront Redw.

Have you previously served on a City board(s)? ☒ Yes ☐ No If yes, please list board(s):

Bayfront, Community Redw., Charter Review

Are you currently serving on a board, authority, or commission for another governmental agency?

☐ Yes ☒ No If yes, what board(s):

Have you ever been convicted or pled guilty to a criminal charge or pled nolo contendere (no contest) to a criminal charge? ☐ Yes ☒ No If yes, what charge:

Where: When:

Disposition was: ☐ Convicted ☐ Pled Guilty ☐ Pled No Contest

Have your civil rights been restored? ☐ Yes ☐ No

Are you a member or participant of any community organizations? ☐ Yes ☒ No

If yes, please list:

What are your hobbies / interests? monitoring startups, companies
with Biz Dev, marketing, sales

Why do you want to serve on this board / committee? assist city with growth
smart planning

Section 760.80, Florida Statutes, requires certain information on statutorily created boards to be filed on an annual basis. Please complete the following.

Race: white Gender: female Physically Disabled: ☐

APPLICATION CERTIFICATION

By filing this application with the City of Palm Bay and placing my signature below, I do hereby acknowledge the following:

1. This Application, when completed and filed with the Office of the City Clerk, is a PUBLIC RECORD under Chapter 119, Florida Statutes, and is open to public inspection.
2. I am responsible for keeping the information on this form current and that any changes or updates will be provided to the Office of the City Clerk.
3. I consent to filing the Statement of Financial Interests if required for this board.
<http://www.ethics.state.fl.us>
4. If appointed to a board/committee, I acknowledge that it is my obligation and duty to comply with the following:

Code of Ethics for Public Officials (Florida Statutes, Chapter 112, Part III)
Florida Sunshine Law (Florida Statutes, Chapter 286)
<http://www.flsenate.gov/Statutes>
5. I understand the responsibilities associated with being a board/committee member, and I will have adequate time to serve on this board/committee.

The information provided on this form is true and correct, and consent is hereby given to the City Council or its designated representative to verify any and/or all information provided.

Signature: [Signature] Date: 2/21/23

Mail the application to:
City of Palm Bay
Office of the City Clerk
120 Malabar Road, SE
Palm Bay, Florida 32907

Fax the application to:
321-953-8971

SUBMIT FORM



Office of The
MAR 6 - 2023
City Clerk

APPLICATION FOR MEMBERSHIP / City Boards or Committees

City of Palm Bay • 120 Malabar Road • Palm Bay, FL 32907
Phone: 321-952-3414 • www.palmbayflorida.org • Fax: 321-953-8971

BOARD/COMMITTEE

Name of Board/Committee: Planning and Zoning Board
Full Name: David A. Karaffa
Home Address: 496 Binney St. NE
City: Palm Bay Zip Code: 32907
Telephone Number: 540 255 2883 Fax Number:
Email Address: Karaffa RN@gmail.com

EMPLOYMENT

Employer: CVS Health / Aetna Insurance Occupation: Manager
Address: 1 CVS Health Drive
City: Woonsocket State: RI Zip Code: 02895
Telephone Number: 401 765 1500 Fax Number:
Email Address:
Job Responsibilities: Manager of Clinical Training

EDUCATION

High School Name: Lee-Davis High School
Location: Mechanicsville VA Years Completed: 4 Major/Degree: Honors Diploma
College Business or Trade School: Blue Ridge College
Location: Verona VA Years Completed: 3 Major/Degree: Nursing
Professional School:
Location: Years Completed: Major/Degree:
Other:
Location: Years Completed: Major/Degree:

APPLICANT INFORMATION

Have you ever held a business tax receipt? ☐ Yes ☒ No If yes, please provide the following:

Title:

Issue Date: Issuing Authority:

If any disciplinary action has been taken, please state the type and date of the action taken:

Disciplinary Action: Disciplinary Date:

Are you a resident of the City? ☒ Yes ☐ No If yes, how long? 5 Years 6 Months

How long have you been a resident of Brevard County? 6 Years 0 Months

Are you a United States citizen? ☒ Yes ☐ No

Are you a registered voter of the City? ☒ Yes ☐ No

Are you employed by the City? ☐ Yes ☒ No If yes, what department?

Do you presently serve on a City board(s)? ☒ Yes ☐ No If yes, please list board(s):

Planning and Zoning, Non-Voting Member for schools

Have you previously served on a City board(s)? ☒ Yes ☐ No If yes, please list board(s):

Board of Supervisors Augusta Co. VA

Are you currently serving on a board, authority, or commission for another governmental agency?

☐ Yes ☒ No If yes, what board(s):

Have you ever been convicted or pled guilty to a criminal charge or pled nolo contendere (no contest) to a criminal charge? ☐ Yes ☒ No If yes, what charge:

Where: When:

Disposition was: ☐ Convicted ☐ Pled Guilty ☐ Pled No Contest

Have your civil rights been restored? ☐ Yes ☐ No

Are you a member or participant of any community organizations? ☒ Yes ☐ No

If yes, please list: Life Point Church Palm Bay FL

What are your hobbies / interests? Husband, Father, I repair Volkswagens as a hobby

Why do you want to serve on this board / committee? I am already a non-voting member and would like to serve as a voting member

Section 760.80, Florida Statutes, requires certain information on statutorily created boards to be filed on an annual basis. Please complete the following.

Race: White Gender: M Physically Disabled: ☐

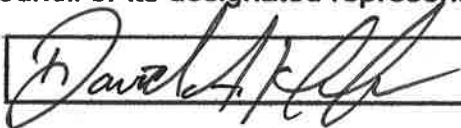
APPLICATION CERTIFICATION

By filing this application with the City of Palm Bay and placing my signature below, I do hereby acknowledge the following:

1. This Application, when completed and filed with the Office of the City Clerk, is a PUBLIC RECORD under Chapter 119, Florida Statutes, and is open to public inspection.
2. I am responsible for keeping the information on this form current and that any changes or updates will be provided to the Office of the City Clerk.
3. I consent to filing the Statement of Financial Interests if required for this board.
<http://www.ethics.state.fl.us>
4. If appointed to a board/committee, I acknowledge that it is my obligation and duty to comply with the following:
Code of Ethics for Public Officials (Florida Statutes, Chapter 112, Part III)
Florida Sunshine Law (Florida Statutes, Chapter 286)
<http://www.flsenate.gov/Statutes>
5. I understand the responsibilities associated with being a board/committee member, and I will have adequate time to serve on this board/committee.

The information provided on this form is true and correct, and consent is hereby given to the City Council or its designated representative to verify any and/or all information provided.

Signature:



Date:

3/1/2023

Mail the application to:

City of Palm Bay
Office of the City Clerk
120 Malabar Road, SE
Palm Bay, Florida 32907

Fax the application to:

321-953-8971

SUBMIT FORM



LEGISLATIVE MEMORANDUM

DATE: 3/16/2023

RE: Ordinance 2023-10, amending the Code of Ordinances, Chapter 50, Elections, Subchapter 'Filling of Vacancies', by modifying provisions contained therein pursuant to the Palm Bay City Charter, first reading.

ATTACHMENTS:

Description

Ordinance 2023-10

ORDINANCE 2023-10

AN ORDINANCE OF THE CITY OF PALM BAY, BREVARD COUNTY, FLORIDA, AMENDING THE CODE OF ORDINANCES, TITLE V, LEGISLATIVE, CHAPTER 50, ELECTIONS, SUBCHAPTER 'FILLING OF VACANCIES', BY MODIFYING PROVISIONS CONTAINED THEREIN PURSUANT TO THE PALM BAY CITY CHARTER; PROVIDING FOR THE REPEAL OF ORDINANCES OR PARTS OF ORDINANCES IN CONFLICT HERewith; PROVIDING FOR INCLUSION IN THE CITY OF PALM BAY CODE OF ORDINANCE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

BE IT ENACTED BY THE CITY COUNCIL OF THE CITY OF PALM BAY, BREVARD COUNTY, FLORIDA, as follows:

SECTION 1. The City of Palm Bay Code of Ordinances, Title V, Legislative, Chapter 50, Elections, Subchapter 'Filling of Vacancies', is hereby amended and shall henceforth read as follows:

"Section 50.50 MAYOR — PERMANENT VACANCY.

(A) When a permanent vacancy occurs in the office of mayor as a result of death, resignation, illness, disability, forfeiture of office, written court order, or other lawful written order or action, such vacancy shall be filled in accordance with the following procedures:

(1) ~~When there is one (1) year or less remaining in the term of said office, the deputy mayor shall assume the responsibilities of that office until the remainder of the term, or~~ >>By appointment of the majority of the remaining members within sixty (60) days. If the majority of the remaining members of the City Council fail to fill the vacancy through appointment within the sixty-day period, a special election to fill the vacancy shall be called and held in a manner coordinated by the City Clerk with the Supervisor of Elections and adopted by resolution of the City Council. All vacancy elections will run concurrent with the regularly scheduled city elections. Appointments will be to serve until the next general election cycle.<<

(2) ~~When more than one (1) year is left remaining in the term of said office and no general municipal election is scheduled within one (1) year, a special election shall be scheduled to be held no sooner than ninety (90) days or more than one hundred eighty (180) days following the date of the vacancy. The deputy mayor shall act as the mayor until a new mayor is elected. The individual elected shall serve the remainder of the unexpired term. The acting mayor will then resume the position of deputy mayor for the remaining balance of his/her appointment and remain on the city council to complete his/her elected term.~~ >>The vacancy shall be announced at not less than two (2) public meetings of council. A solicitation period of thirty (30) days, or as close thereto, shall be given for the receipt of applications. When the number of applications received exceeds the number of vacant positions, each councilmember shall rank the individuals from 1 - __, with Number 1 representing the councilmember's first choice. Council may decide prior to the initial ranking, to have additional rounds of voting at a subsequent meeting. If there are five (5) or more applicants, only the five (5) applicants receiving the lowest ranking shall advance to a subsequent round of voting. Council shall then rank the applicants and the applicant receiving the lowest total shall fill the vacancy. In the event of a tie, the applicant with the highest number shall be eliminated and Council shall then rank the remaining applicants. Appointments shall be made at a public council meeting following the two announcements, or if no applications are received within the time frame designated, at a special council meeting called for that purpose.<<

Section 50.51 MAYOR — TEMPORARY VACANCY — COURT ORDER, OTHER LAWFUL ORDER OR ACTION.

(A) When a temporary vacancy occurs in the office of mayor as a result of a written suspension by court order or other written lawful order or action, such vacancy shall be filled in accordance with the following procedures:

(1) The deputy mayor shall assume the responsibilities of the office until the suspension by court order or other lawful order or action becomes final, the mayor is returned to office, or the term of office expires, whichever occurs first.

(2) If the mayor is not reinstated, the position shall be filled in accordance with § 50.50(A)(1) or (2), whichever is applicable.

Section 50.52 MAYOR — TEMPORARY VACANCY — ILLNESS OR DISABILITY.

(A) When a temporary vacancy occurs in the office of mayor as a result of an illness or mental or physical disability, such vacancy shall be filled in accordance with the following procedures:

(1) The mayor is required to notify the city council of such illness or disability pursuant to section 3.063 of the city charter. The determination of such illness or disability shall be made by an affirmative vote of at least three (3) councilmembers.

(2) After the determination of such illness or disability by the city council, should the mayor be absent from twelve (12) consecutive regular council meetings, the office shall be deemed vacated.

(3) The deputy mayor shall assume the responsibilities of the office until the mayor is able to return to office, the term of office expires, or the office is filled in accordance with § 50.50(A)(1) or (2), whichever occurs first.

Section 50.53 DEPUTY MAYOR.

During any period the deputy mayor assumes the position of mayor, due to either a permanent or temporary vacancy, the city council shall select one of its members to serve as acting deputy mayor for the balance of the appointment of deputy mayor or until such time as the office of mayor is filled as provided in § 50.50(A)(1) or (2), whichever is applicable.

Section 50.54 COUNCIL SEAT.

The vacant council seat, created by the council action taken in § 50.53 above, shall be filled on an interim basis by a majority vote of the council. The individual chosen shall fill the position of councilmember and shall forfeit the seat of councilmember when the elected mayor resumes office or the newly elected mayor assumes the duties of the office of mayor.

Section 50.55 COUNCILMEMBER — PERMANENT VACANCY.

(A) When a permanent vacancy occurs in the office of councilmember as a result of death, resignation, illness, disability, forfeiture of office, written court order, or other lawful written order or action, such vacancy shall be filled in accordance with the following procedures:

~~(1) When there is one (1) year or less remaining in the term of said office, the council shall, by a majority vote, choose a qualified successor to serve the remainder of the term.~~ >>By appointment of the majority of the remaining members within sixty (60) days. If the majority of the remaining members of the City Council fail to fill the vacancy through appointment within the sixty-day period,

a special election to fill the vacancy shall be called and held in a manner coordinated by the City Clerk with the Supervisor of Elections and adopted by resolution of the City Council. All vacancy elections will run concurrent with the regularly scheduled city elections. Appointments will be to serve until the next general election cycle.<<

~~(2) — When more than one (1) year is left remaining in the term of said office and no general municipal election is scheduled within one (1) year, a special election shall be scheduled to be held no sooner than ninety (90) days or more than one hundred eighty (180) days following the date of the vacancy. The individual elected shall serve the remainder of the unexpired term.~~ >>The vacancy shall be announced at not less than two (2) public meetings of council. A solicitation period of thirty (30) days, or as close thereto, shall be given for the receipt of applications. When the number of applications received exceeds the number of vacant positions, each councilmember shall rank the individuals from 1 - __, with Number 1 representing the councilmember's first choice. Council may decide prior to the initial ranking, to have additional rounds of voting at a subsequent meeting. If there are five (5) or more applicants, only the five (5) applicants receiving the lowest ranking shall advance to a subsequent round of voting. Council shall then rank the applicants and the applicant receiving the lowest total shall fill the vacancy. In the event of a tie, the applicant with the highest number shall be eliminated and Council shall then rank the remaining applicants. Appointments shall be made at a public council meeting following the two announcements, or if no applications are received within the time frame designated, at a special council meeting called for that purpose.<<

Section 50.56 COUNCILMEMBER — TEMPORARY VACANCY — SUSPENSION BY COURT ORDER, OTHER LAWFUL ORDER OR ACTION.

(A) When a temporary vacancy occurs in the office of councilmember as a result of a written suspension by court order or other lawful written order or action, such vacancy shall be filled in accordance with the following procedures:

(1) The council shall, by a majority vote, choose a qualified successor to assume the responsibilities of the office until the suspension by court order or other lawful order or action becomes final, the councilmember is returned to office, or the term of office expires, whichever occurs first.

(2) If the councilmember is not reinstated, the position shall be filled in accordance with § 50.55(A)(1) or (2), whichever is applicable.

Section 50.57 COUNCILMEMBER— TEMPORARY VACANCY — ILLNESS OR DISABILITY.

(A) When a temporary vacancy occurs in the office of councilmember as a result of an illness or mental or physical disability, such vacancy shall be filled in accordance with the following procedures:

(1) The councilmember is required to notify the city council of such illness or disability pursuant to section 3.063 of the city charter. The determination of such illness or disability shall be made by an affirmative vote of at least three (3) councilmembers.

(2) After the determination of such illness or disability by the city council, should the councilmember be absent from twelve (12) consecutive regular council meetings, the office shall be deemed vacated.

(3) The council shall, by a majority vote, choose a qualified successor to assume the responsibilities of the office until the councilmember returns to office, the term of office expires, or the office is filled in accordance with § 50.55(A)(1) or (2), whichever occurs first.

Section 50.58 DISABILITY DEFINED.

For purposes of this subchapter, a disability is defined as a physical or mental impairment that substantially limits the ability of the mayor or councilmember to perform the essential duties of their elected positions. A permanent disability means there is no expectation of recovery; a temporary disability means that after a period of time there is an expectation of recovery.

Section 50.59 QUALIFIED SUCCESSOR.

Individuals appointed by the city council to fill temporary vacancies shall meet the city's qualifications for candidates seeking public office."

SECTION 2. All ordinances or parts of ordinances in conflict herewith are hereby repealed and all ordinances or parts of ordinances not in conflict herewith are hereby continued in full force and effect.

SECTION 3. It is the intention of the City Council of the City of Palm Bay that the provisions of this Ordinance shall be made a part of the City of Palm Bay Code of Ordinances and the sections may be renumbered to accomplish such intention.

SECTION 4. If any portion, clause, phrase, sentence or classification of this ordinance is held or declared to be either unconstitutional, invalid, inapplicable, inoperative or void, then such declaration shall not be construed to affect other portions of the ordinance; it is hereby declared to be the express opinion of the City Council of the City of Palm Bay that any such unconstitutional, invalid, inapplicable, inoperative or void portion or portions of this ordinance did not induce its passage, and that without the inclusion of any such portion or portions of this ordinance, the City Council would have enacted the valid constitutional portions thereof.

SECTION 5. The provisions within this ordinance shall take effect immediately upon the enactment date.

Read in title only at Meeting 2023-XX, held on _____, 2023; and read in title only and duly enacted at Meeting 2023-XX, held on _____, 2023.

Rob Medina, MAYOR

ATTEST:

Terese M. Jones, CITY CLERK

Reviewed by CAO: _____

Strikethrough words shall be deleted; highlighted words that will included will be placed in between two arrow symbols (>> <<). Deletions and additions constitute the proposed amendment. Words remaining are now in effect and remain unchanged.



LEGISLATIVE MEMORANDUM

TO: Honorable Mayor and Members of the City Council

FROM: Suzanne Sherman, City Manager

THRU: Fred Poppe, Recreation Director

DATE: 3/16/2023

RE: Consideration of a revision to the co-sponsorship for the West Indian Caribbean Culture and Sports, Inc. for the Family Fun Days event to be held on the first Saturday of every month in 2023.

At the Regular Council Meeting held on November 17, 2022, City Council approved a co-sponsorship for West Indian Caribbean Culture and Sports, Inc. (WICCS) for Family Fun Day to be held at Fred Poppe Regional Park on the first Saturday of every month in 2023. The previously approved co-sponsorship for the Family Fun Day event included fee waivers totaling \$300 per event, to include the special event fee (\$150) and a green space fee (\$150), as well as in-kind wages (labor) for a recreation staff member to be on site for restroom usage at the community center (two hours, \$25/hr.) and maintenance staff (four hours, \$35/hr.). Council approved a co-sponsorship of \$1,900 of in-kind wages (labor) and \$3,000 in fee waivers, for a total co-sponsorship request of \$4,900 for ten occurrences. Note that the revised request is for a total of nine occurrences; three already occurred, one was cancelled for the holiday parade, and six remain.

For the revised request, WICCS is requesting that the fees continue to be waived for the special event fee (\$150.00) and the green space fee (\$150.00). This request includes a recreation staff member to be on site for restroom usage at the community center for 3 hours @ \$25/hr. (\$75.00). The hours for recreation staff have increased from the previous request due to daylight savings time (the event ends at sunset). Parks and Facilities Department is requesting to have one maintenance staff on site to assist with tables and chairs, restroom upkeep, trash, and debris removal for 5 hours at \$35/hr. (\$175.00). An extra hour has been added for Parks and Facilities due to the delivery and set up of the tables and chairs request. Tables and Chairs do not have a current rental fee, thus there is only a co-sponsorship value for labor costs. WICCS has agreed to provide volunteer assistance for the removal, set-up, breakdown, and return of the tables and chairs. Lastly, this revised request includes in-kind labor costs for set up and breakdown of (1) 20 x 20 tent at \$290.00 per occurrence for Parks and Facilities.

This brings the total co-sponsorship request to \$840 per occurrence. There are six remaining events for Fiscal Year 2023, starting April 1st. The total remaining cost for the fiscal year will be \$5,040.00. This event has had three occurrences prior to this revision request. For the previous three occurrences, special event fees and facility rental fees have been waived for a total of \$675.00 and in-kind labor was provided totaling \$470.00, for a grand total of \$1,145.00. These totals are lower than previously projected due to the use of the cricket pavilion for two of the occurrences.

In total, to include the previous three occurrences and the remaining six occurrences, this co-sponsorship request is valued at \$6,185. Note that if the event were to increase to 401 - 800 attendees, the City would need to add another maintenance staff for an additional 4 hours at @ \$35/hr. per occurrence.

This event started in January of 2020 at the Scout Pavilion and out grew the location's capacity. The event now takes place behind the Ted Whitlock Community Center from 1 pm – Sunset. This event will continue to advance the City of Palm Bay's commitment to multicultural community pride, as the organization will continue to promote culture and artistic awareness. WICCS offers free activities for the youth, free food, free drinks and free entertainment. It typically attracts anywhere from 50-250 people at one given time. WICCS is an active member in events throughout the city.

REQUESTING DEPARTMENT:

City Manager's Office, Recreation

FISCAL IMPACT:

The value of this revised co-sponsorship for six occurrences is estimated to be a total of \$5,040.00, \$2,790.00 of in-kind wages for Parks and Facilities (001-4526-519-14-10), \$450.00 of in-kind wages for recreational (001-4120-572-2-1310) and \$1,800 in fee waivers (lost revenue) from the Recreation Department. This is in addition to the previous \$675 in fee waivers (loss revenue) and \$470 of in-kind wages from the previous three occurrences under the last co-sponsorship request, for a total co-sponsorship value of \$6,185 for the nine occurrences for the fiscal year.

RECOMMENDATION:

Motion to approve the revised co-sponsorship with Western Indian Caribbean Cultural and Sports, Inc. for the Family Fun Day event to be held at Fred Poppe Park on the first Saturday of every month for the remainder of Fiscal Year 2023 (6 occurrences) for a total of \$3,240 of in-kind wages (labor) and \$1,800 in fee waivers.

ATTACHMENTS:

Description

City In-Kind Cost Breakdown

WICCS Expense Sheet

In-Kind City Impact Estimate

City of Palm Bay - Special Event

It Starts in Parks

DATE: 3/6/2023

INVOICE #: 30062023

CUSTOMER ID: WICCS Family Funday

Event Time

1:00 PM - Sunset

Set up Begins morning of at 11 am

BILL TO

W.I.C.C.S

Event Date

First Saturdays

6 Remaining Occurrences (April 1st - September 3rd)

Event Name: WICCS Family Fun Day

Projected Attendance: 100 at one time

Location: Fred Poppe Regional Park

Description	AMOUNT
Special Event Fee	\$200 * (6 occurrences) * 25% Non-Profit Discount \$900.00
Green Space Fee	\$200 * (6 occurrences) * 25% Non-Profit Discount \$900.00
Maintenance Staff for event	1 staff @ 5 Hours @ \$35/hr @ 6 occurrences \$1,050.00
Additional Recreation Staff Fee	\$25/hr @ 3 Hours @ 6 occurrences \$450.00
Set up & Breakdown of 1 (20 x 20 Tent)	Labor \$290 @ 6 occurrences Included in Maintenance Staff \$1,740.00
Tables and Chairs	Labor
In-Kind TOTALs	\$840 per occurrence * 6 \$5,040.00

Any Questions please contact: Daniel Waite 321-626-2912 ext. 2065 E: Daniel.Waite@pbfl.org



WEST INDIAN CARIBBEAN CULTURE AND SPORTS

EXPENSE SHEET

Category	Amount
Park Rental and Green Space	\$ 600.00
Porta Potty Rental	\$ 400.00
Portable hand Wash Stations	\$ 200.00
(2) 20x20 Tent for sitting area	\$ 700.00
(2) 20x10 Tent for food and drinks area	\$ 200.00
100 Chairs and 8 tables	\$ 200.00
Food	\$ 1,000.00
Beverages	\$ 400.00
Plates, cups, and silverware	\$ 150.00
Music/ Entertainment	\$ 400.00
Bounce House	\$ 195.00
Volunteer	\$ 800.00

Red strikethrough indicates offset from City co-sponsorship action

TOTAL : ~~\$ 5,245.00~~ \$3,145



LEGISLATIVE MEMORANDUM

TO: Honorable Mayor and Members of the City Council

FROM: Terese Jones, City Clerk

DATE: 3/16/2023

RE: Committee/Council Reports

Committee Reports:

- Space Coast Transportation Planning Organization
- Space Coast League of Cities
- Tourist Development Council

Council Reports

REQUESTING DEPARTMENT:

Legislative